



PASEO DE COLINAS TOWNHOMES

OWNER:
CAPISTRANO UNIFIED SCHOOL DISTRICT
OWNER'S AGENT:
PROJECT DIMENSIONS
IRVINE, CA
ARCHITECT:
KTGY
IRVINE, CA
CIVIL ENGINEERS:
FUSCOE ENGINEERING, INC.
IRVINE, CA
LANDSCAPE ARCHITECT:
MJS LANDSCAPE ARCHITECTURE
NEWPORT BEACH, CA



Architecture + Planning
888.456.5849
ktgy.com

PROJECT DIMENSIONS
4 Park Plaza, Suite 700
Irvine, CA 92614

PASEO DE COLINAS TOWNHOMES
LAGUNA NIGUEL, CA # 2018-1173

SITE DEVELOPMENT PERMIT APPLICATION

Plot Date: 5.16.2024
Updated Submittal: TBD

SHEET INDEX

ARCHITECTURE

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| | |
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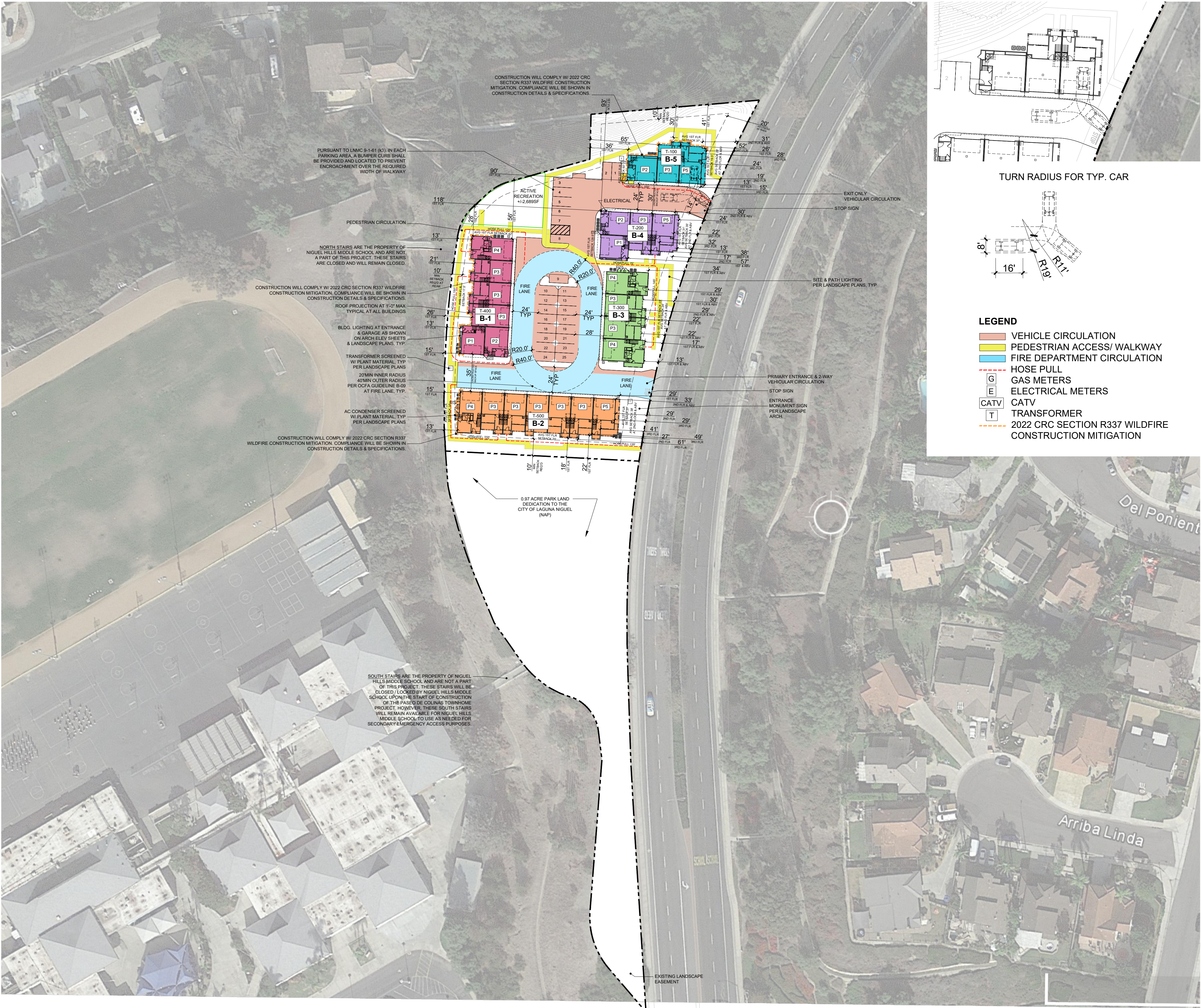
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SHEET INDEX

A0.0



| | |
|---------------------------|--|
| Site Information | |
| Property Address | 29001 Paseo de Colinas Laguna Niguel, CA 92677 |
| Zone Designation | PI / RM / PR / MC Zone |
| Gross Site Area | 2.471 AC |
| Net Site Area | 1.50 AC |
| Park Land Dedication Area | 0.97 AC |
| Buildable Site Area | 1.42 AC (excludes sloped site/park)* |
| Dwelling Units | 24 DU |
| Density | 16.86 DU/AC |

| | |
|----------------------------------|--|
| Project and Building Information | |
| Construction Type | Type V-B Wood Frame |
| Occupancy | R-3 (Townhome) |
| Number of Stories | 3-story (occupancy on Level 1, 2, and 3) |
| Avg. Area / Story / Unit | 500 SF |
| Total Net Building Area | 37,489 SF |
| Sprinkler | NFPA 13D (per CRC) |
| 2022 CRC SECTION R337 | Construction of Building 1 (west facing side), Building 2 (west facing side), & Building 5 (north facing side) shall comply with 2022 CRC SECTION R337 requirements. Compliance shall be shown in construction documents, details, & specifications. |

| Plan | Type | Net Area | Quantity |
|--------|--------------|----------|-------------------|
| Plan 1 | 2 Bd, 2 Ba | 1,236 sf | 2 DU (2,472 sf) |
| Plan 2 | 2 Bd, 2 Ba | 1,259 sf | 3 DU (3,777 sf) |
| Plan 3 | 3 Bd, 2.5 Ba | 1,617 sf | 12 DU (19,404 sf) |
| Plan 4 | 4 Bd, 3.5 Ba | 1,930 sf | 4 DU (7,720 sf) |
| Plan 5 | 2 Bd, 2 Ba | 1,372 sf | 3 DU (4,116 sf) |
| Total: | | | 24 DU 37,489 sf |

Parking Required per RM Development Standards

| | |
|------------------------|-------------|
| 2 bed: 8 x 2 spaces | 16 Spaces |
| 3 bed: 12 x 2.5 spaces | 30 Spaces |
| 4 bed: 4 x 3 spaces | 12 Spaces |
| Guest: 24 x 0.5 space | 12 Spaces |
| | 70 Spaces |
| | (2.92/unit) |

Parking Provided

| | |
|--|-------------|
| Garages: | 48 Spaces |
| Open Parking: (*2 handicap spaces req'd) | 25 Spaces |
| Total | 73 Spaces |
| | (3.04/unit) |

Open Space per RM Development Standards

| | |
|----------------------------|--|
| Common Open Area Req'd | 0.36 AC (15,682 SF = 25%) |
| Common Open Area Provided | 0.41 AC (17,974 SF = 28.9%) |
| Active Recreation Req'd | 0.14 AC (6,099 SF = 10% at >15' Wide/300 SF) |
| Active Recreation Provided | 0.15 AC** (6,462 SF = 10.4%**) |

Overall Setback per RM Development Standards

| | |
|----------|---|
| Required | 10' min at any point; 25' min average over the entire perimeter |
| Provided | 10' min at any point; 34' min average over the entire perimeter |
| | 25' along Paseo de Colinas at 1st floor |
| | 28' along Paseo de Colinas at 2nd floor |
| | 33' along Paseo de Colinas at 3rd floor |

Building Height per RM Delvelopment Standards

| | |
|----------|--|
| Required | 35' |
| Provided | 35' to top of roof; 36' to top of chimney (see elevation sheets) |



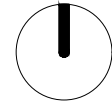
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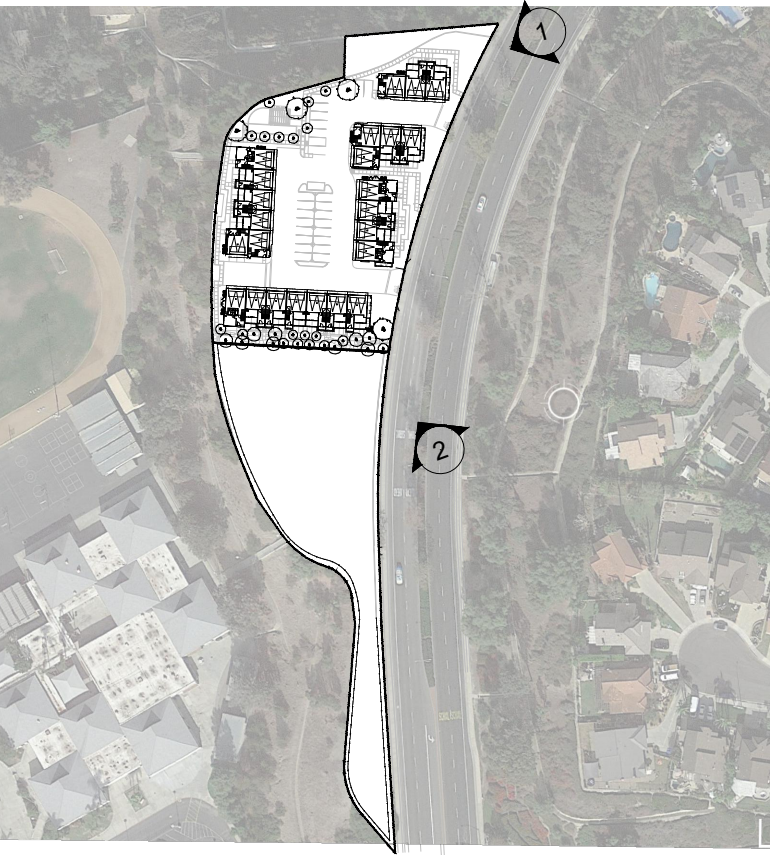
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0 25 50 100

ARCHITECTURAL SITE PLAN

A1.0



KEY MAP N.T.S.



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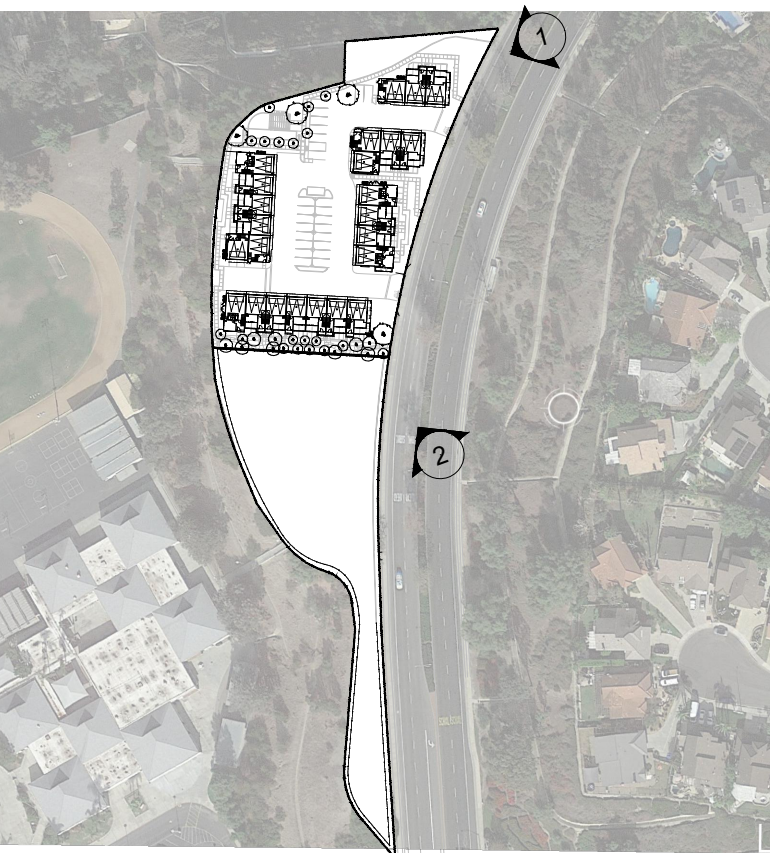
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STREET PERSPECTIVE
VIEW 1

A1.1



KEY MAP N.T.S.



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STREET PERSPECTIVE
VIEW 2

A1.2



FRONT/LEFT

- LEGEND

 - 1 Smooth Trowel White Stucco Finish
 - 2 Concrete "S" Profile Roof Tile
 - 3 Stucco over Foam Eave w/ 1x3 Fascia Over
 - 4 Stucco Scalloped Sill Trim
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 - 32 Stone Veneer



RIGHT



REAR



LEFT



FRONT



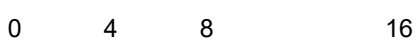
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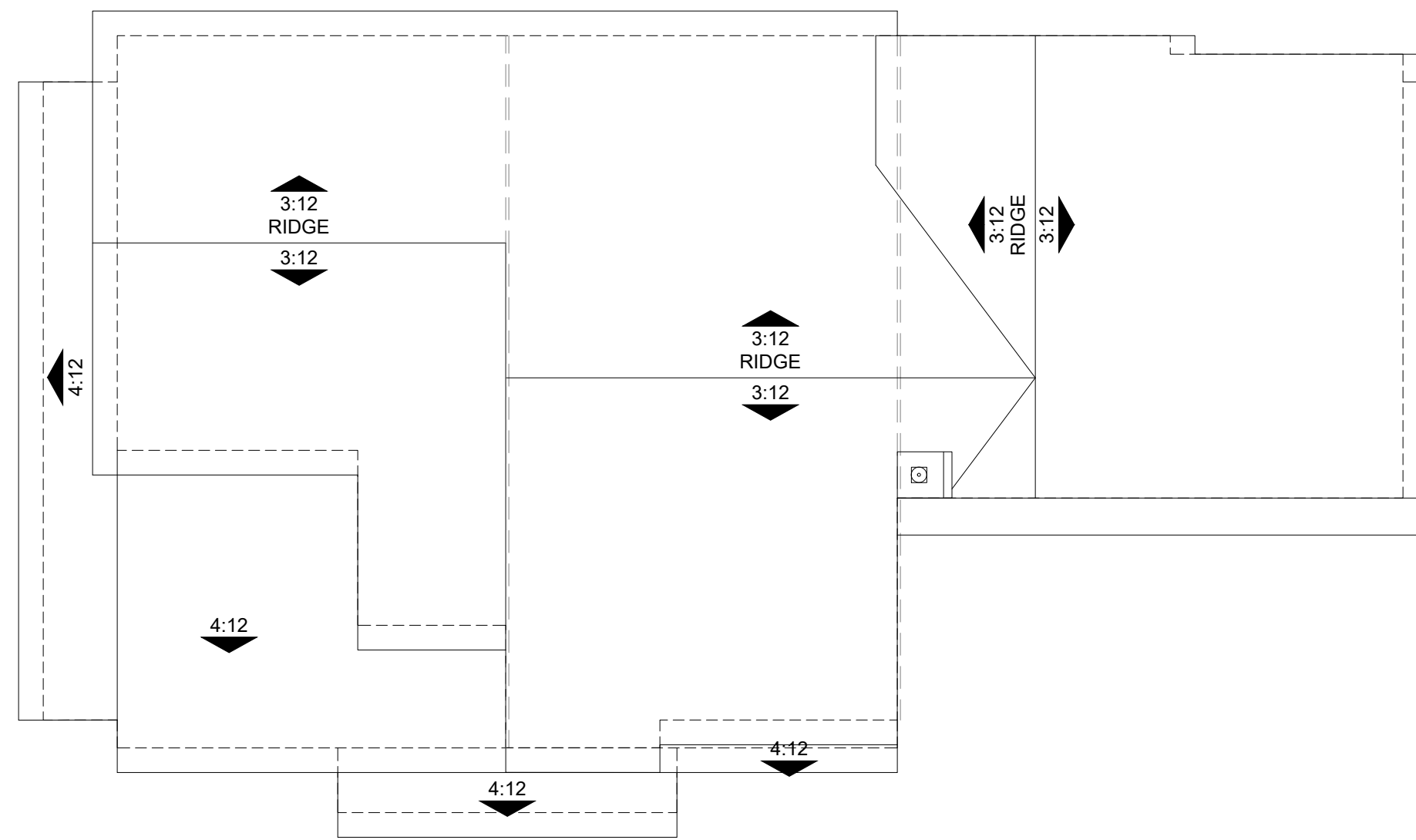
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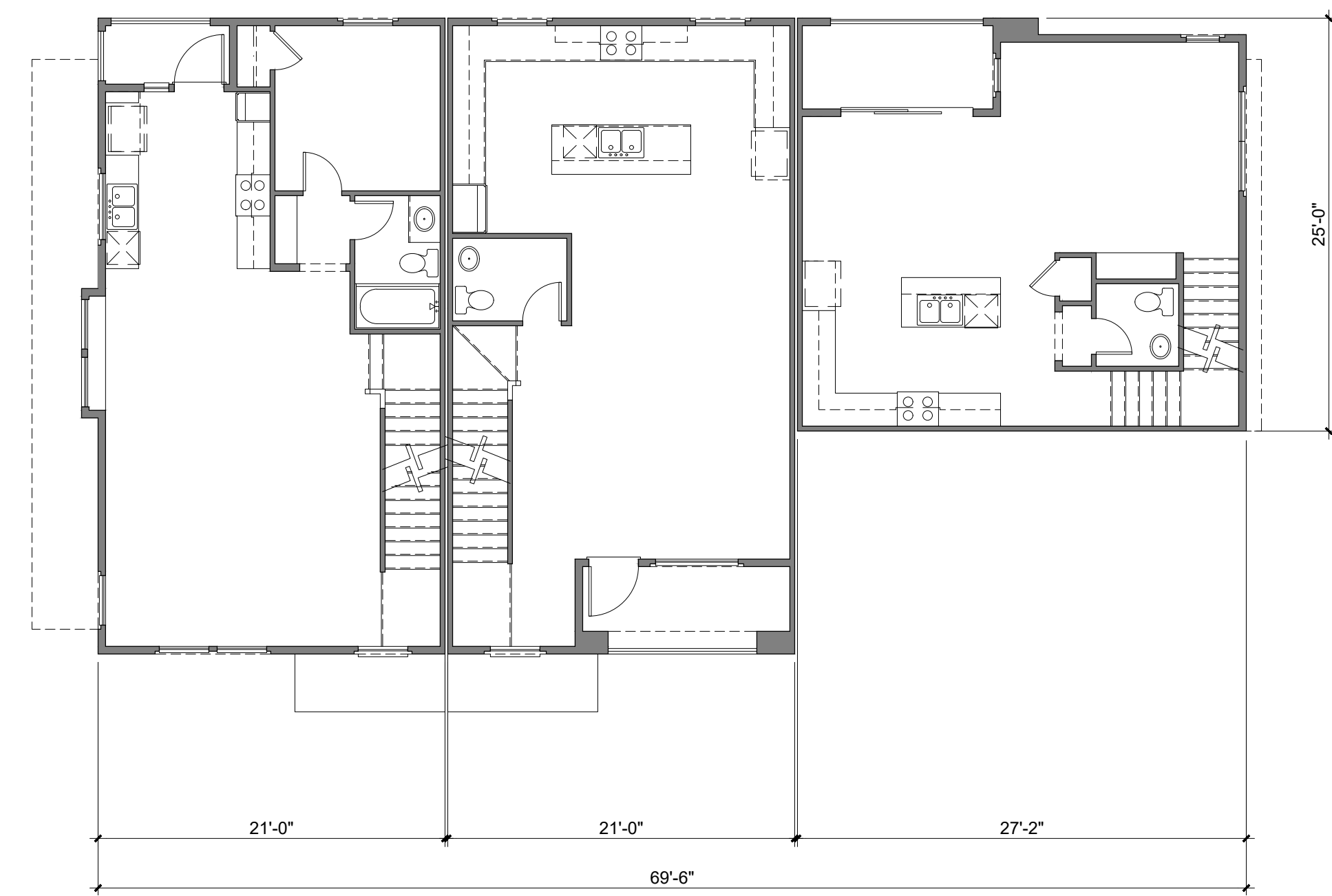


BUILDING ELEVATIONS
BUILDING 5, T100 (3-PLEX)
COLOR SCHEME 2

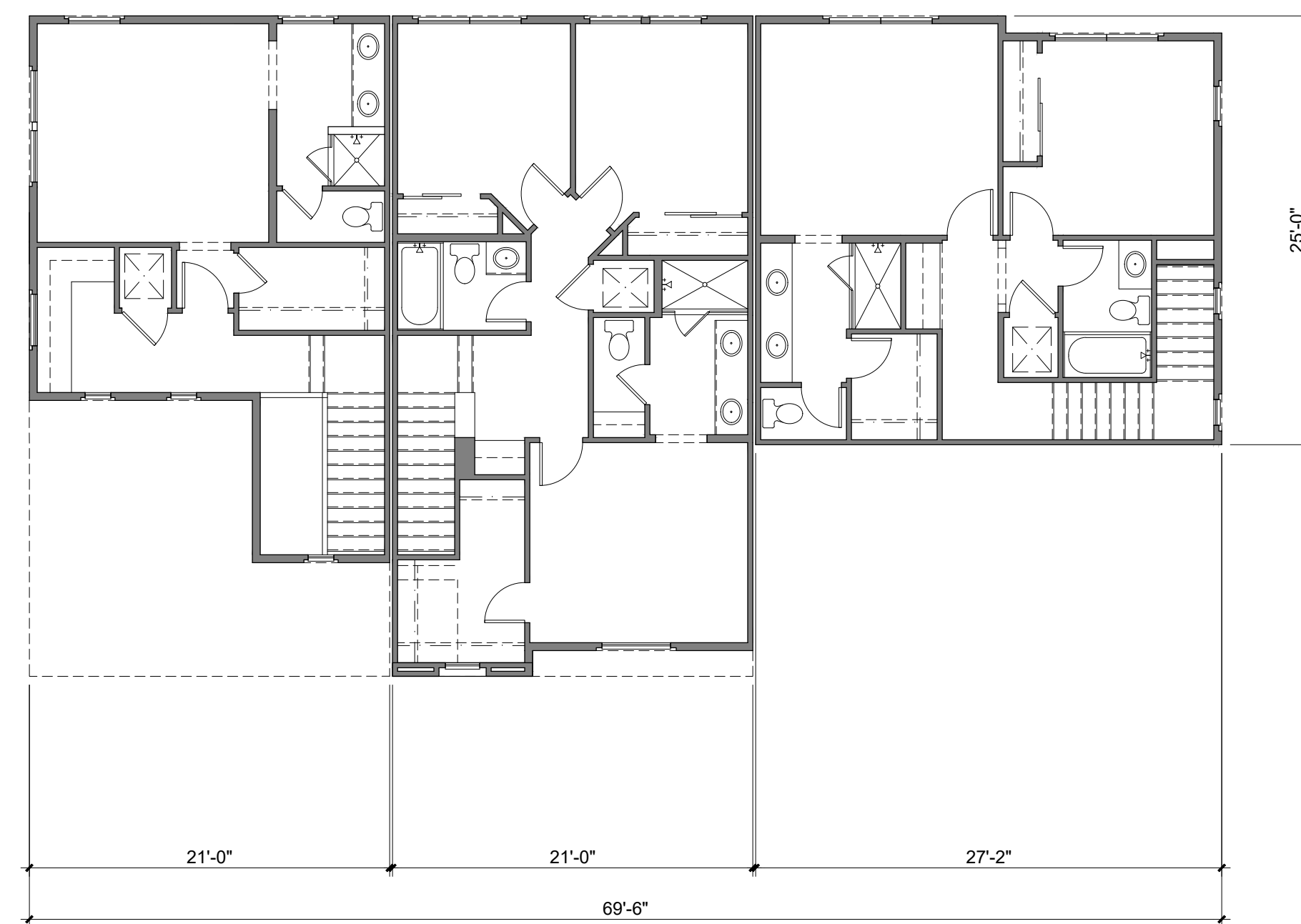


NOTE: NO ROOF MOUNTED EQUIPMENT
ROOF OVERHANG: 12" EAVE; 6" RAKE

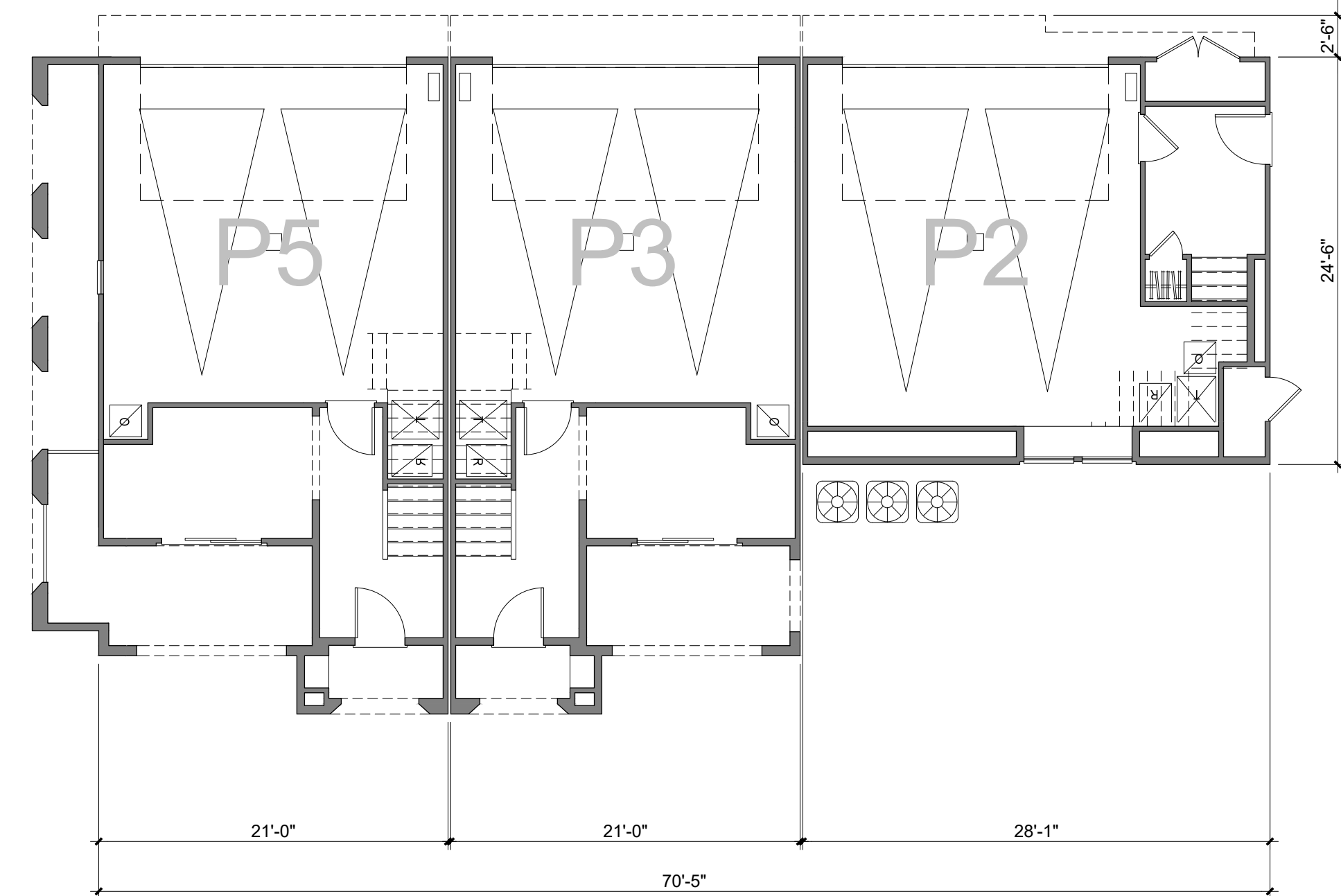
ROOF PLAN



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

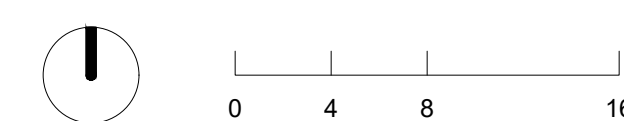


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BUILDING PLANS
BUILDING 5, T100 (3-PLEX)

A2.2



FRONT/LEFT

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PLAN 1 PLAN 2

RIGHT



PLAN 2 PLAN 3 PLAN 5

REAR



PLAN 5

LEFT



PLAN 5 PLAN 3 PLAN 1

FRONT



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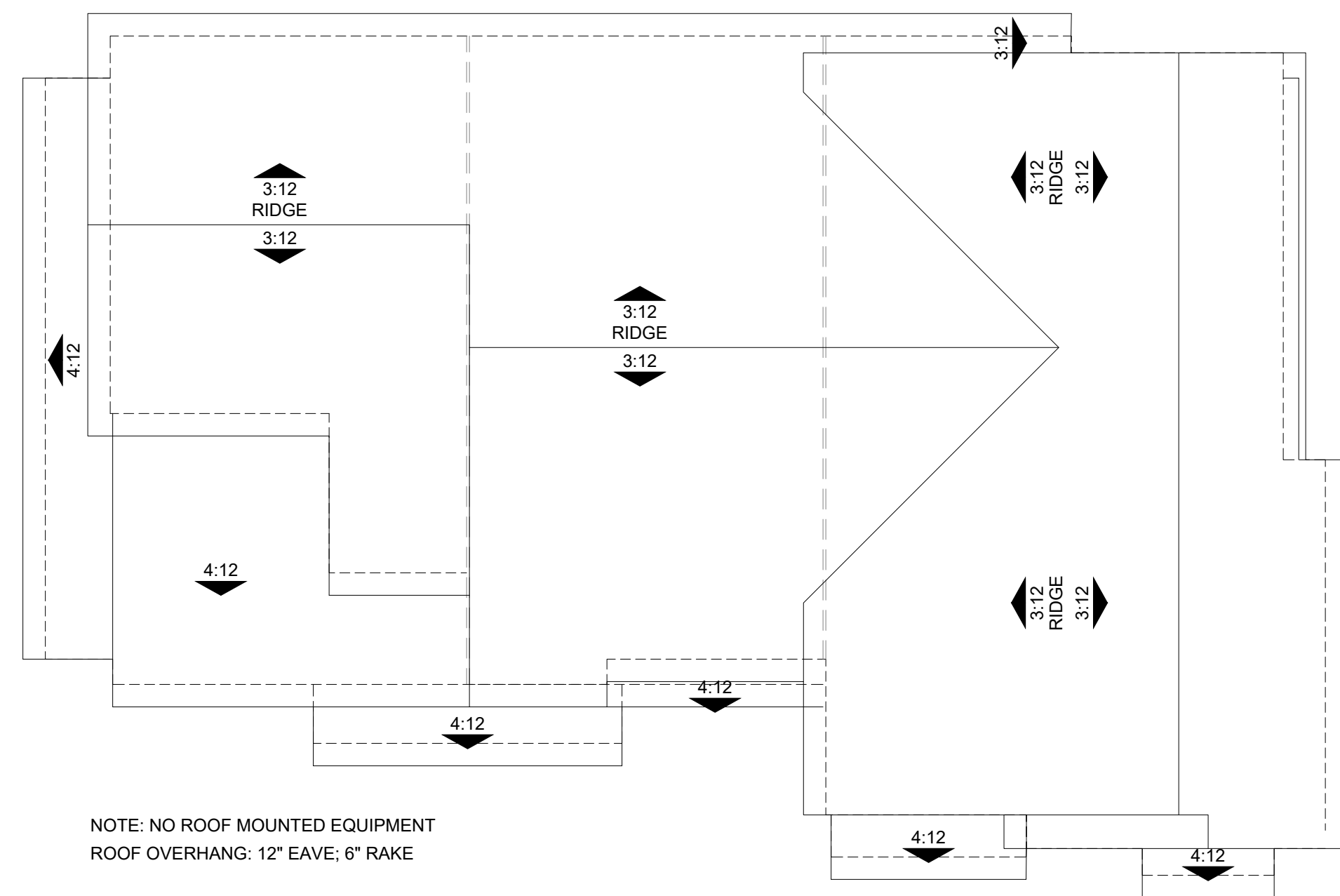
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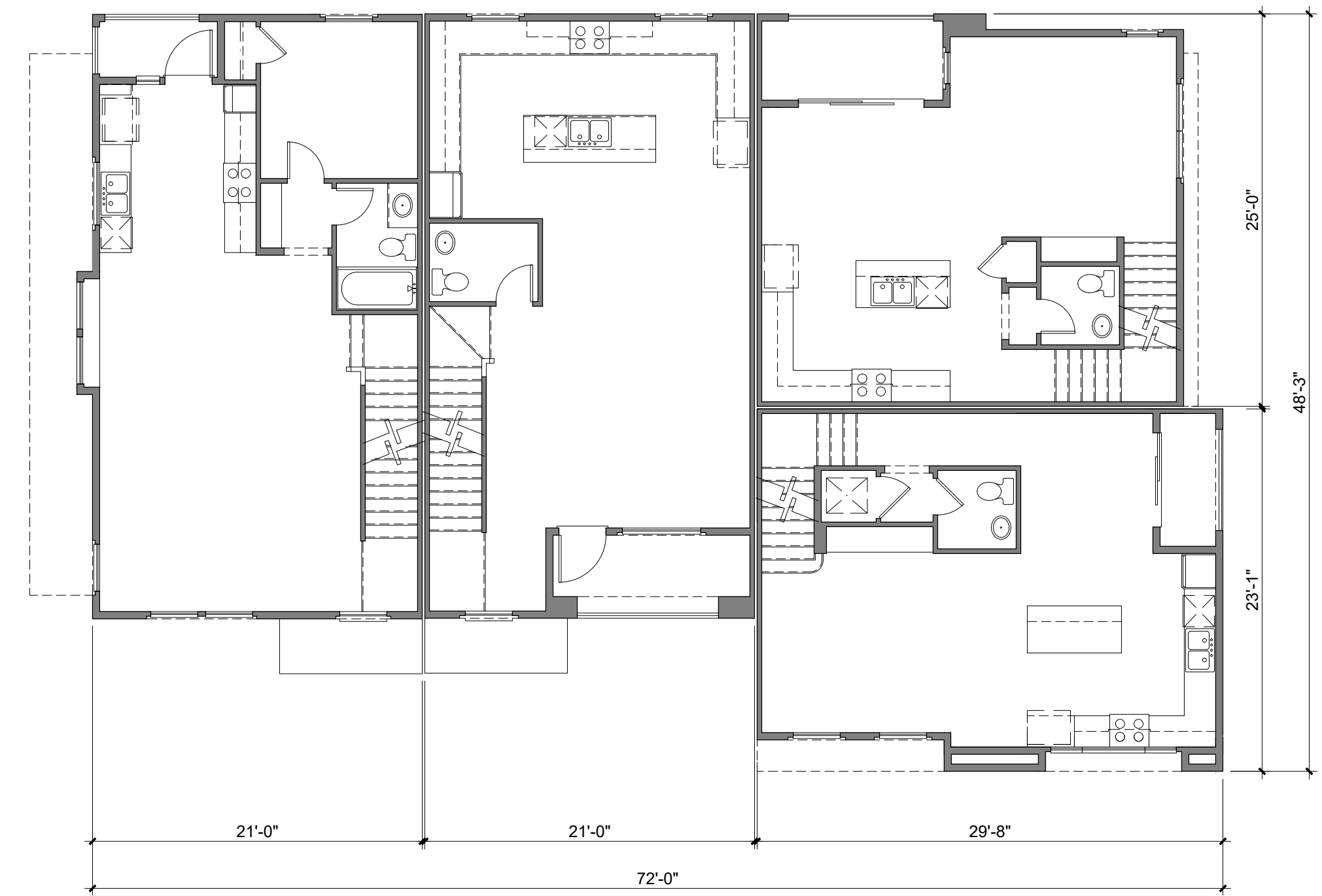
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BUILDING ELEVATIONS
BUILDING 4, T200 (4-PLEX)
COLOR SCHEME 2

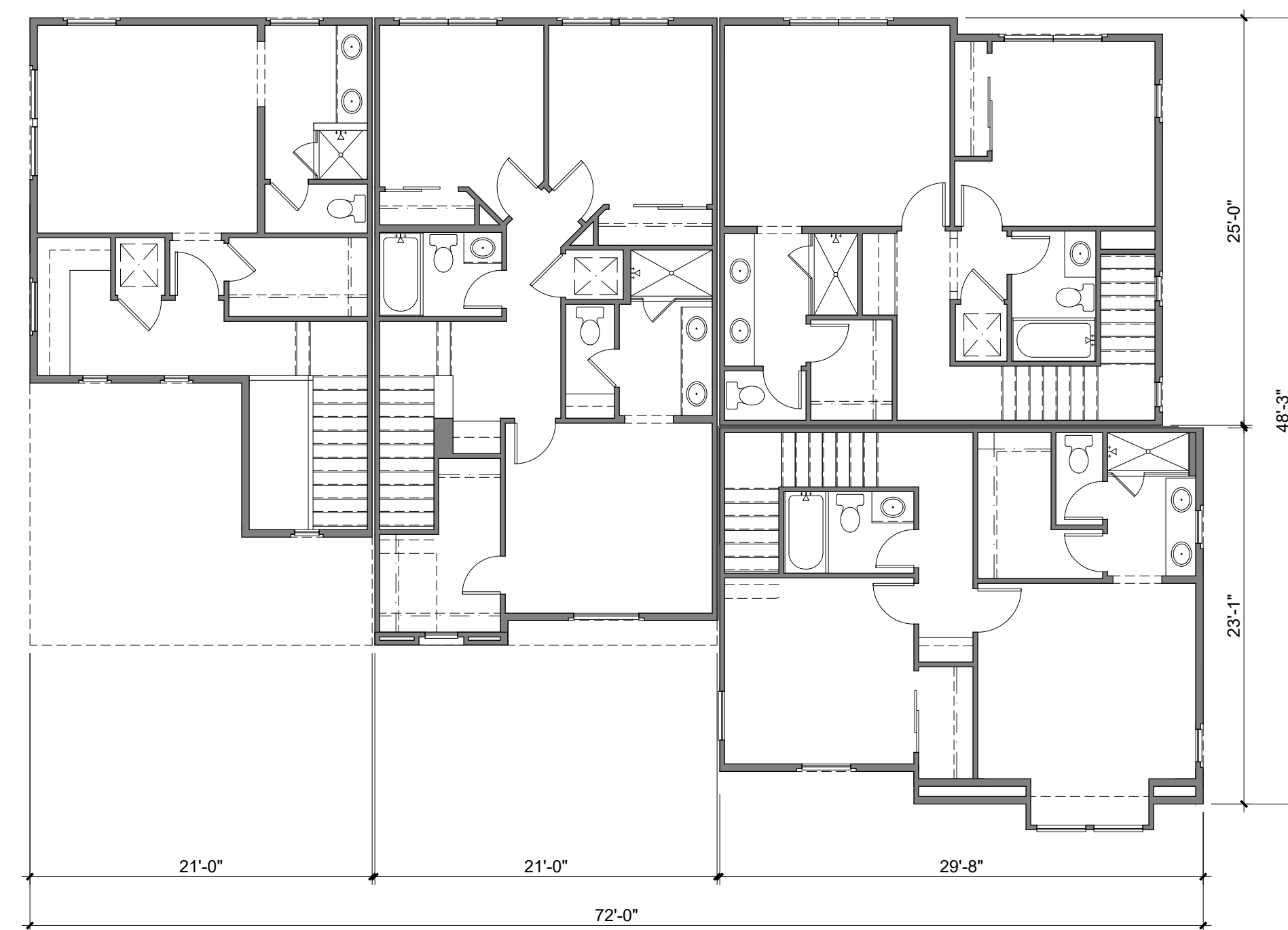
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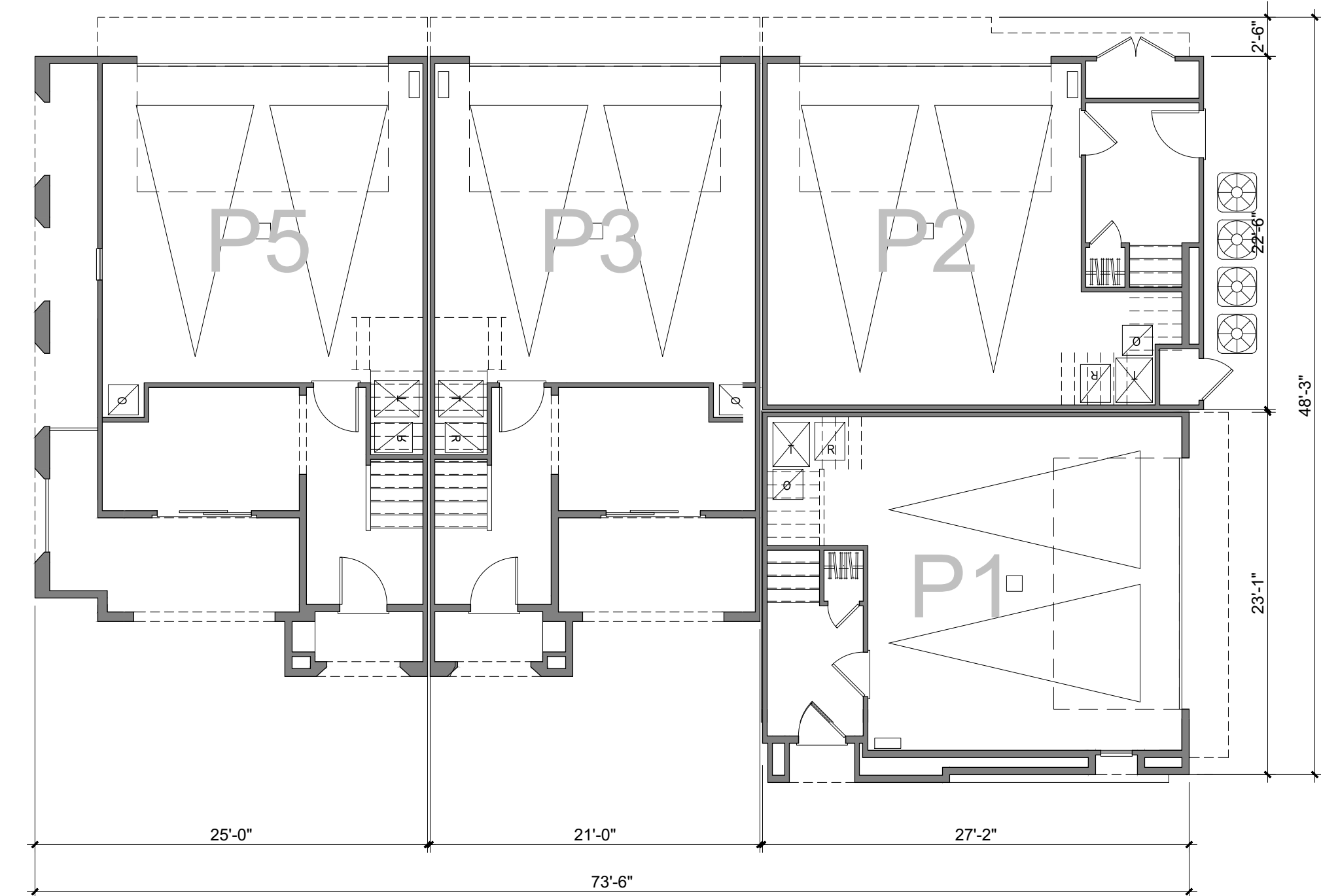
ROOF PLAN



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



FRONT/LEFT

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PLAN 4

RIGHT



PLAN 4 PLAN 3 PLAN 3 PLAN 4

REAR



PLAN 4

LEFT



T.O.CHIMNEY
T.O.ROOF
T.O.PL
9'-1"
FF
T.O.PL
9'-1"
FF
T.O.PL
8'-1"
FF
T.O.FG

36'-0"
35'-0"
OVERALL BLDG HGT

PLAN 4 PLAN 3 PLAN 3 PLAN 4

FRONT



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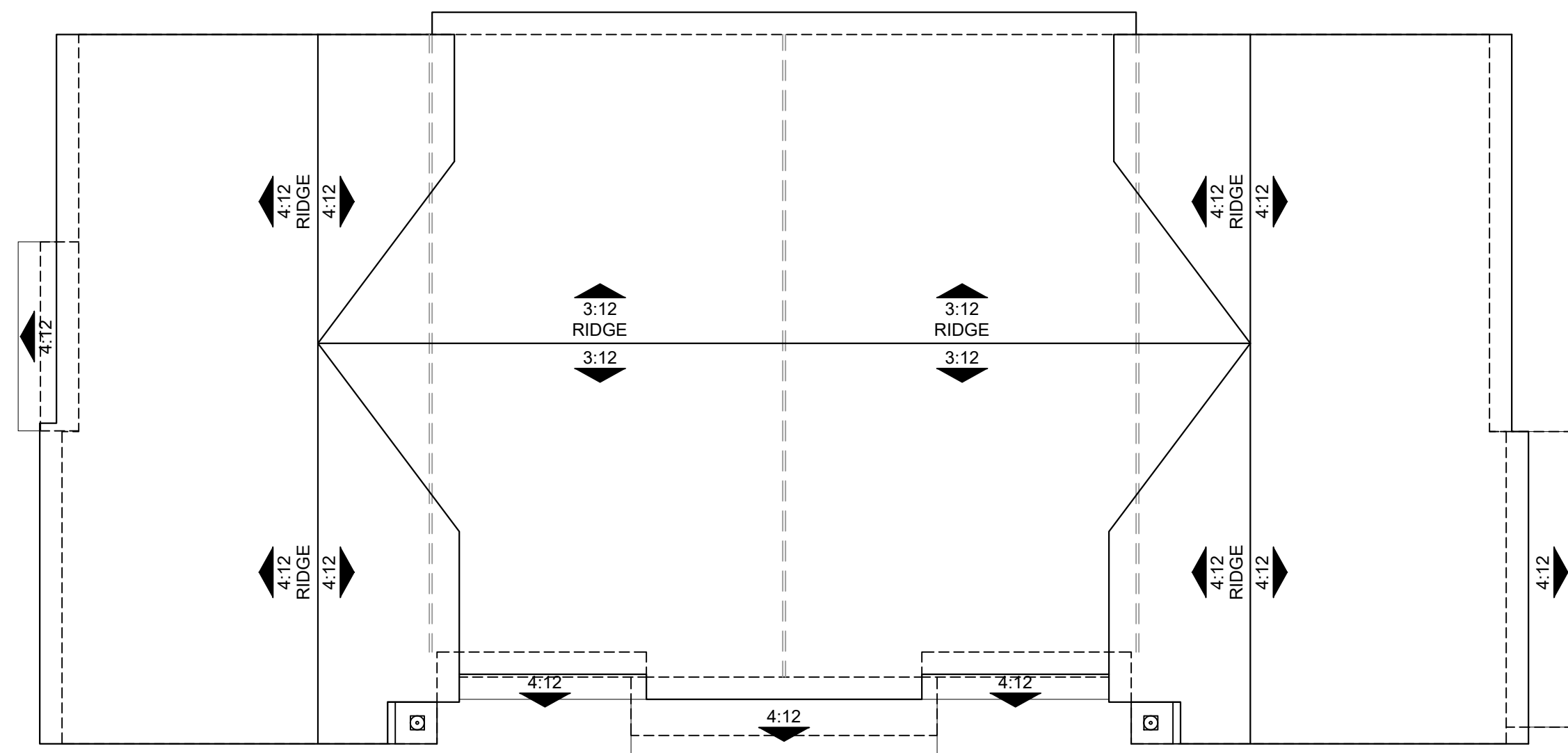
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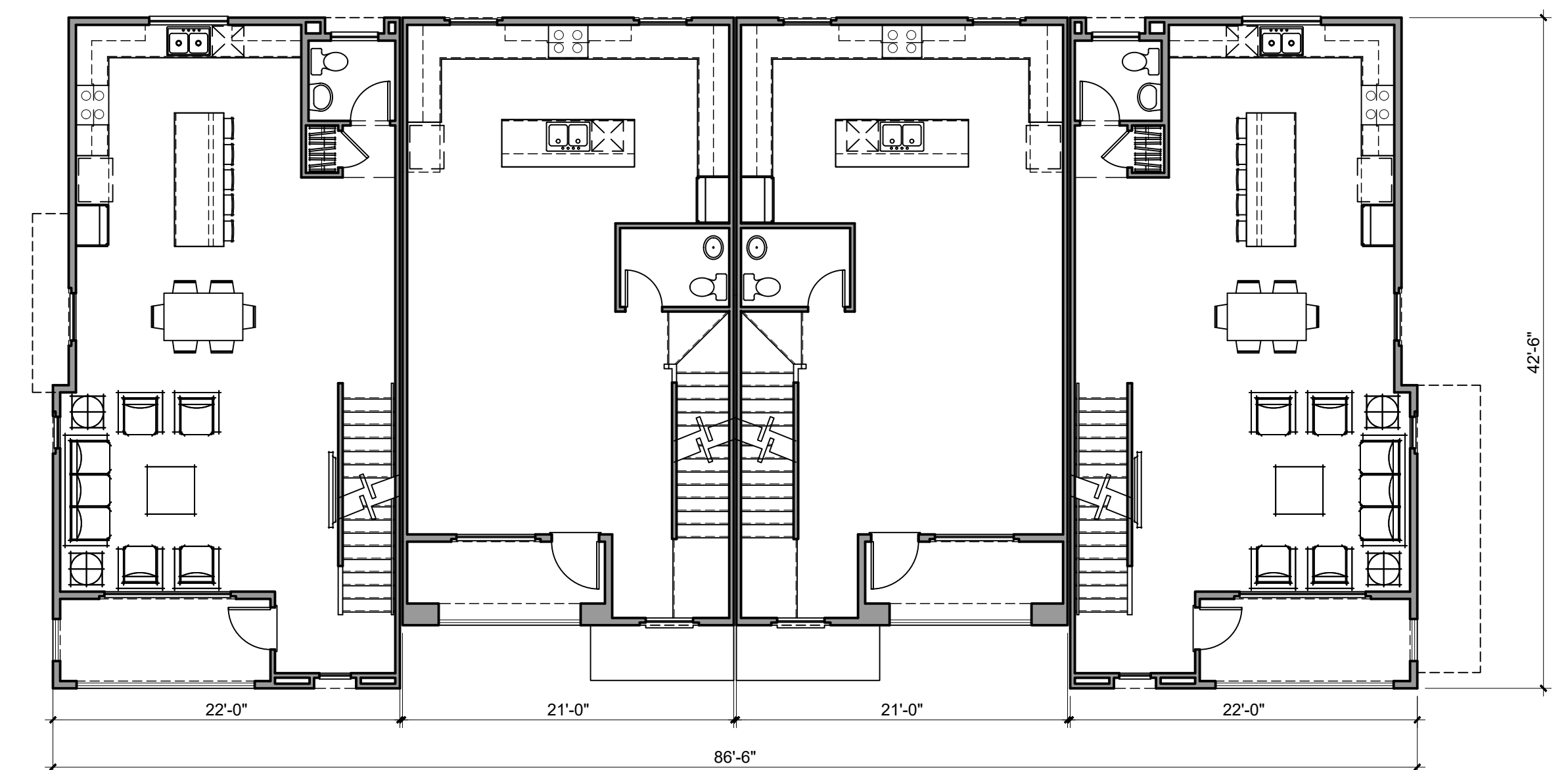
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BUILDING ELEVATIONS
BUILDING 3, T300 (4-PLEX)
COLOR SCHEME 2

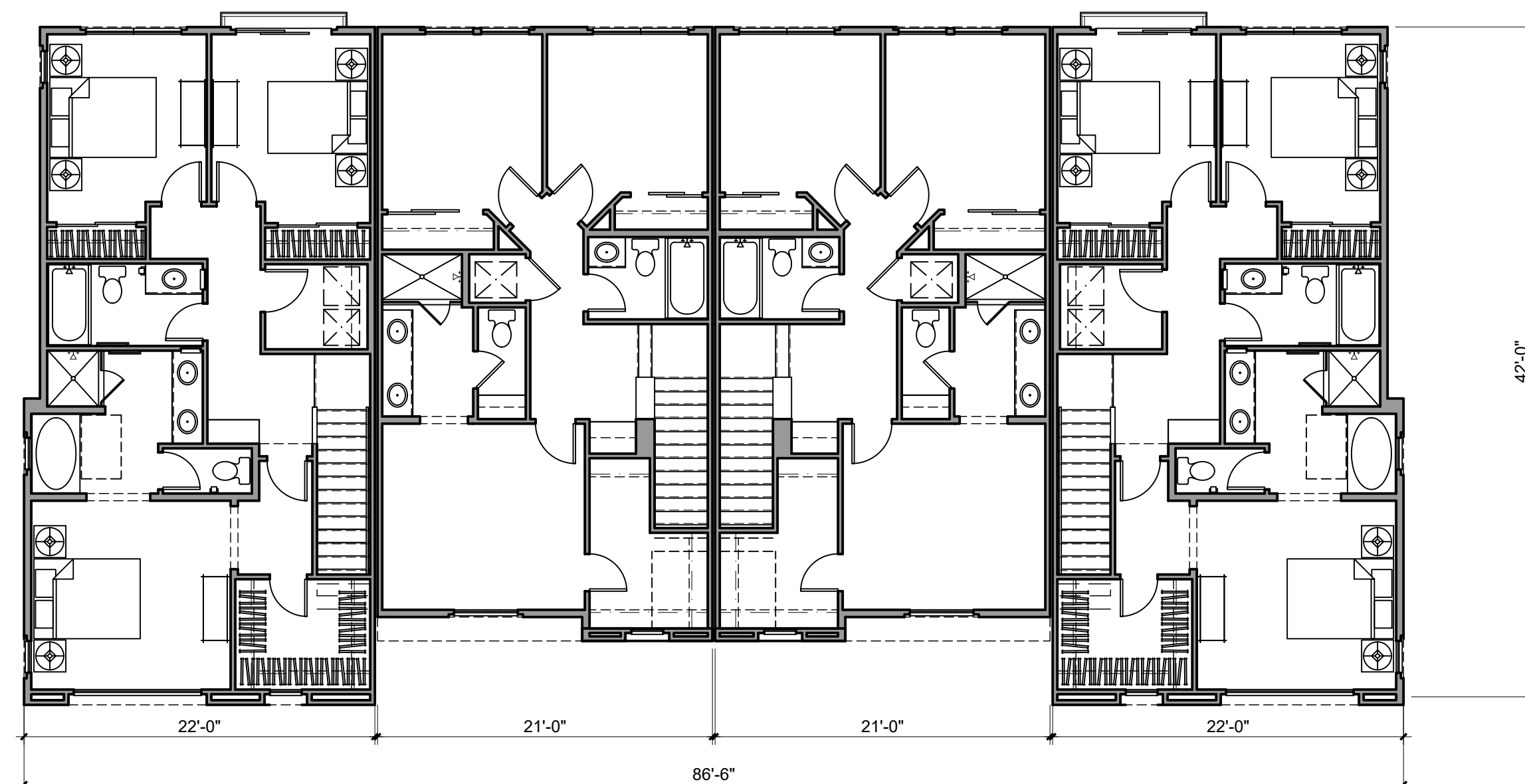
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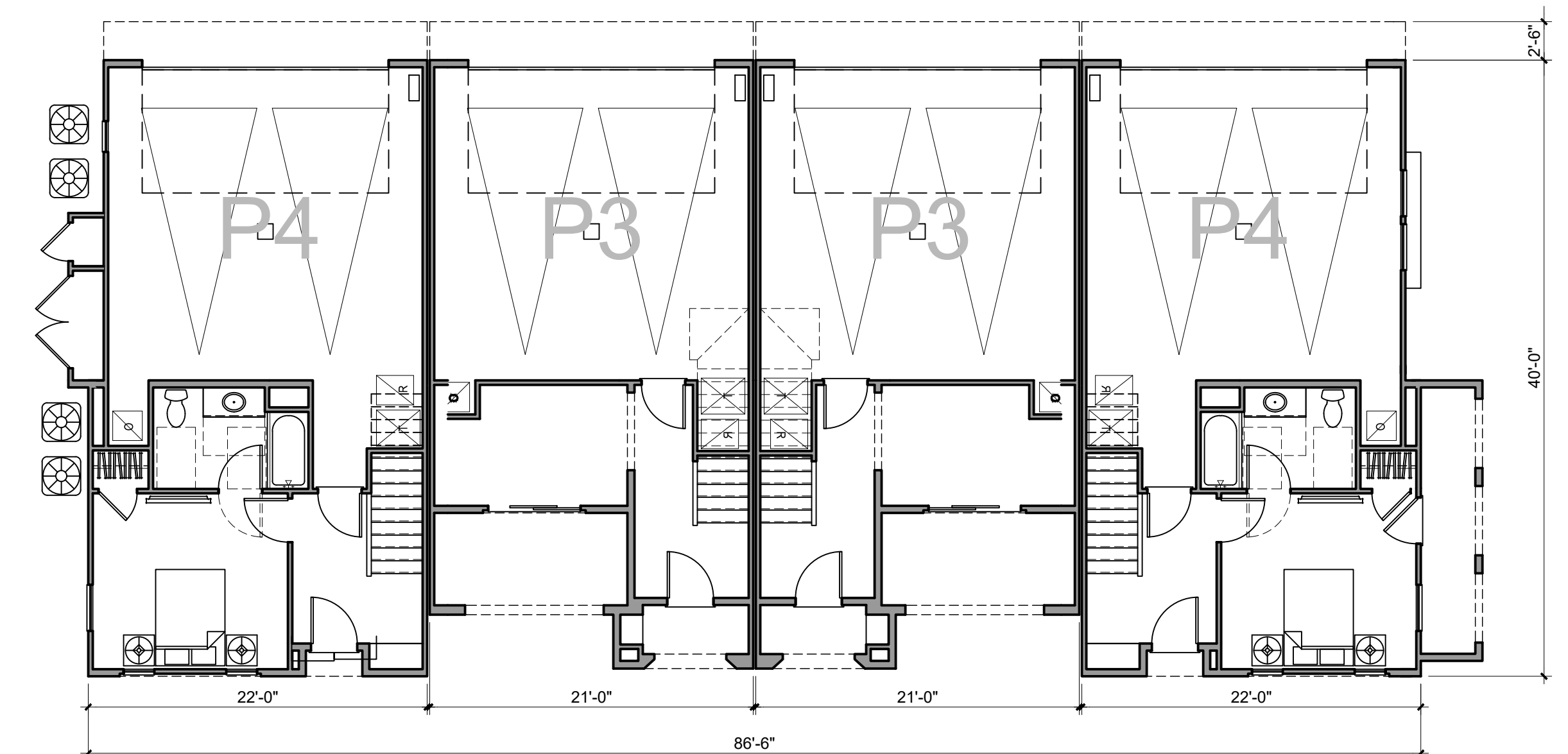
ROOF PLAN



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



FRONT/LEFT

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RIGHT



REAR



LEFT



FRONT

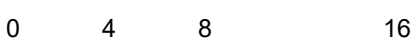


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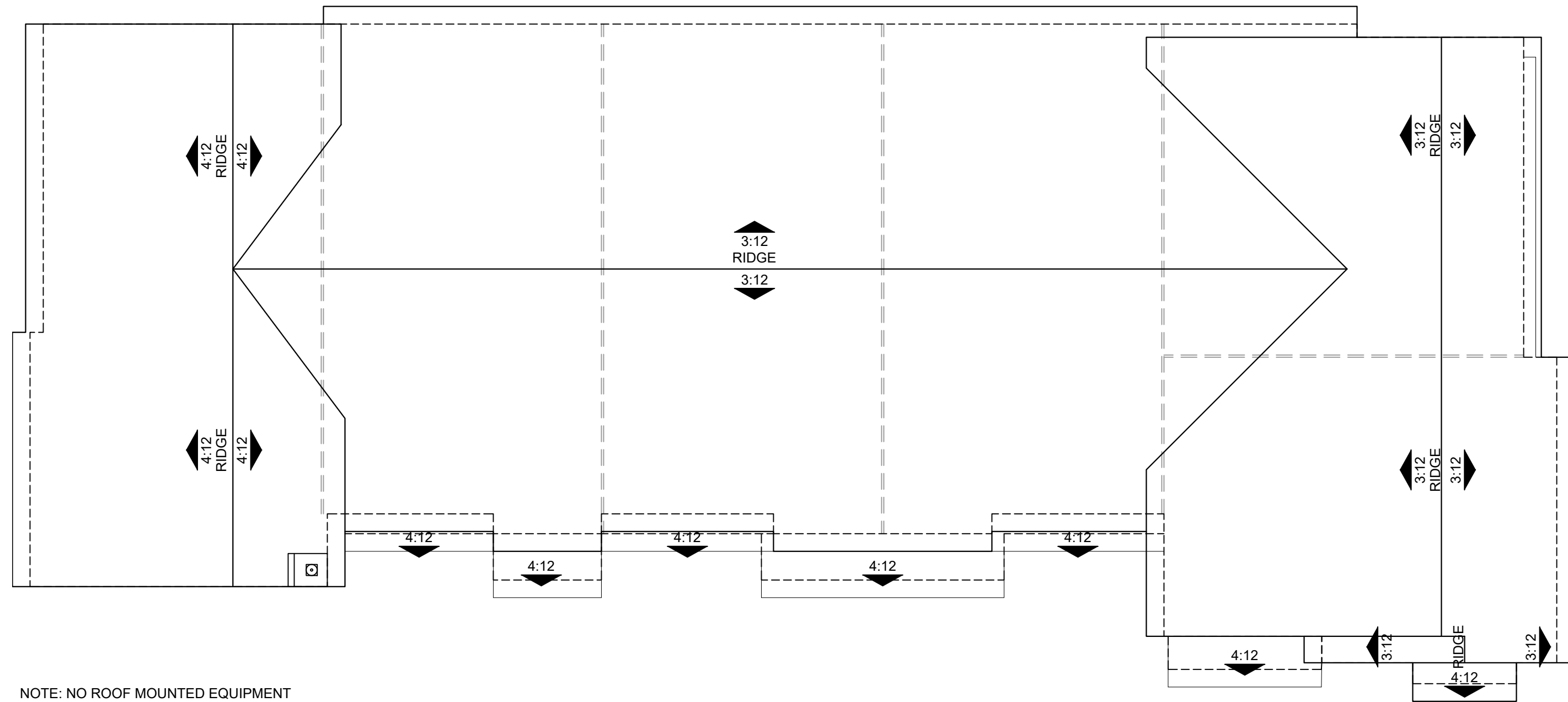
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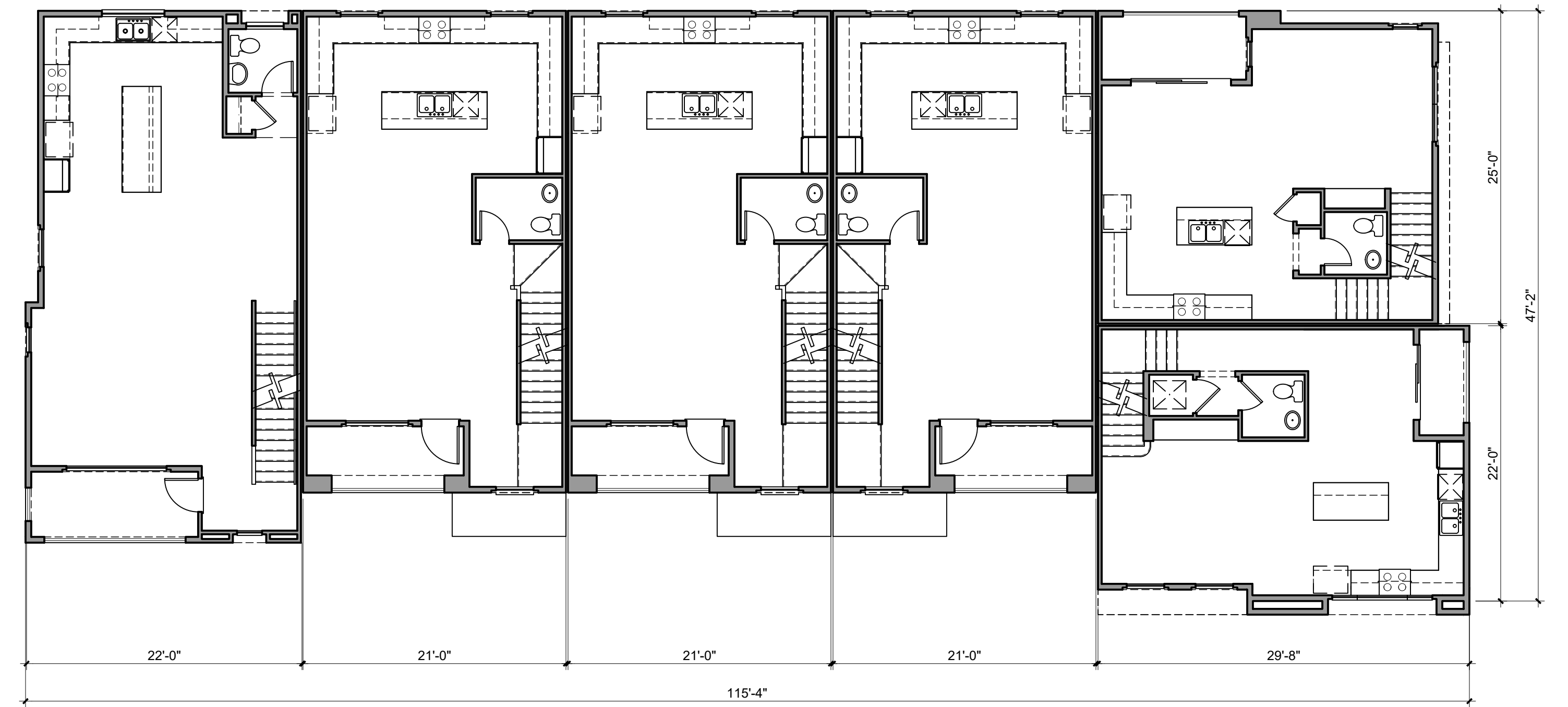
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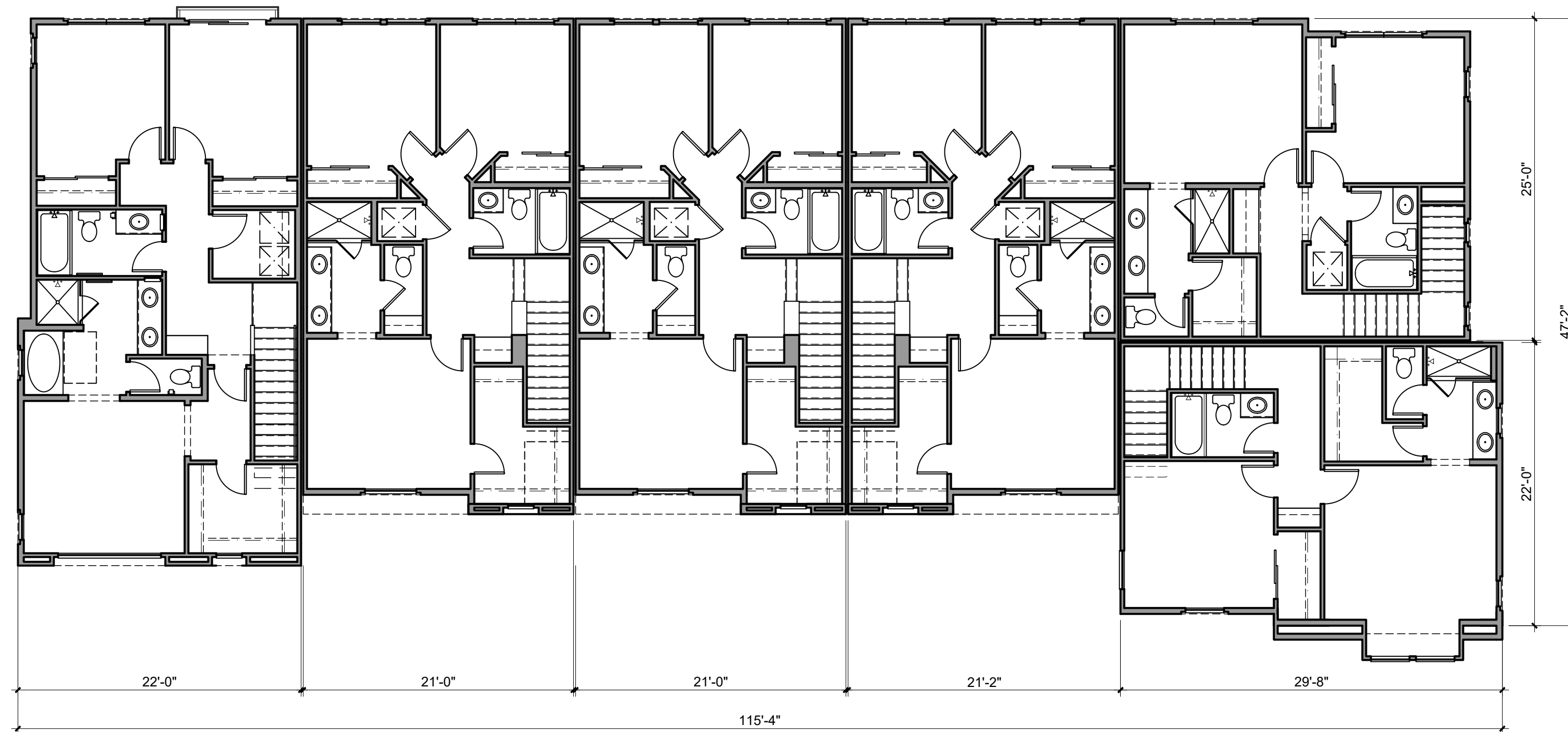
BUILDING ELEVATIONS
BUILDING 1, T400 (6-PLEX)
COLOR SCHEME 2



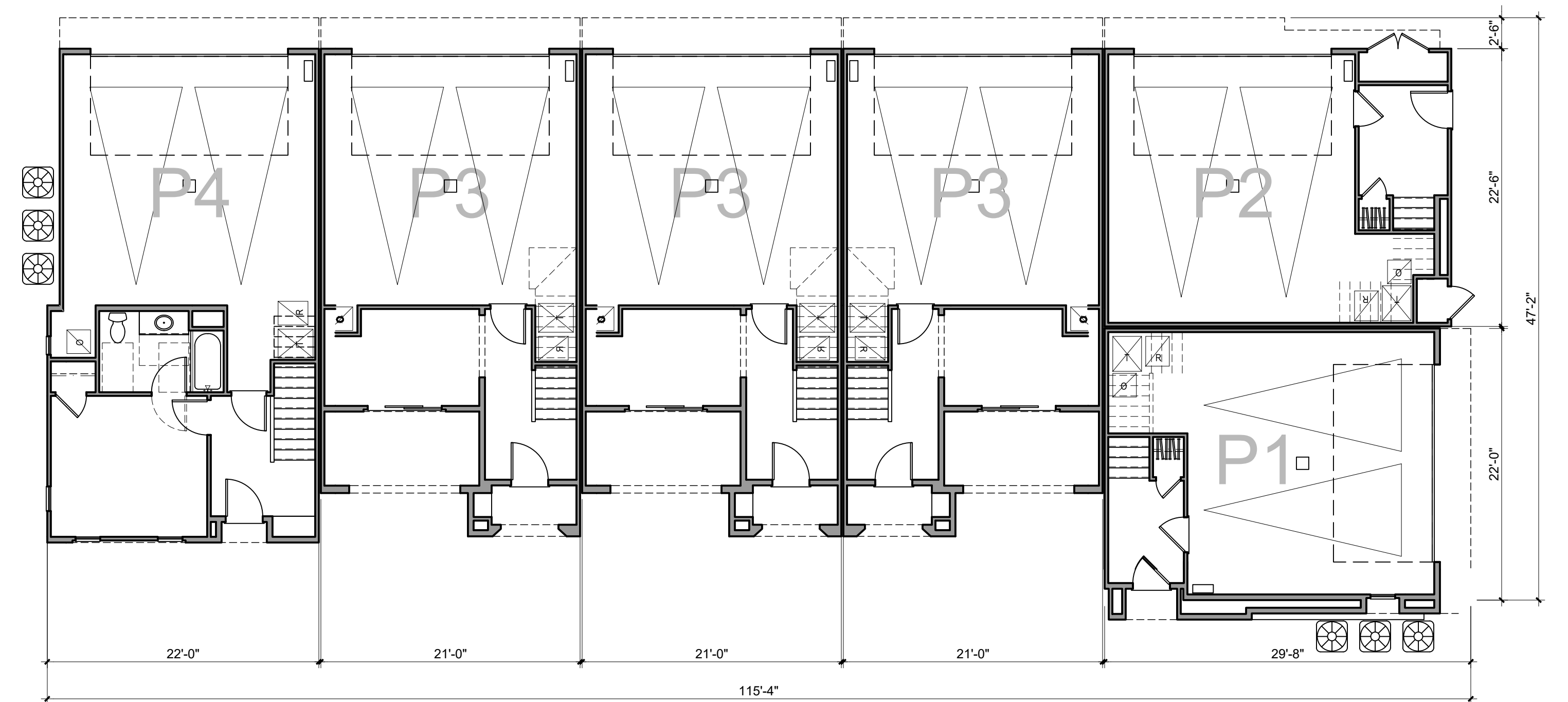
ROOF PLAN



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



FRONT/RIGHT

LEGEND

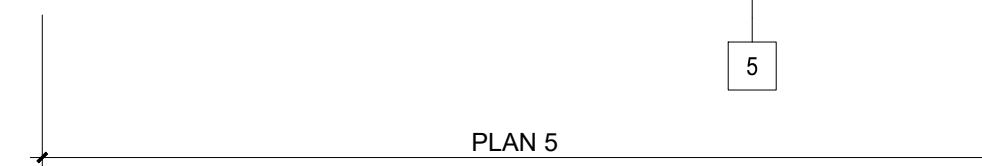
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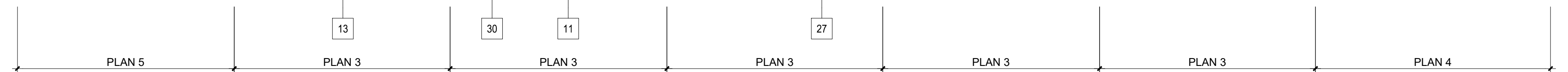
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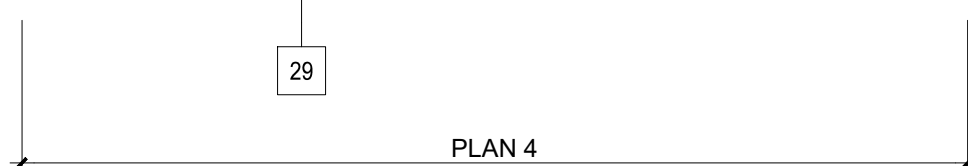
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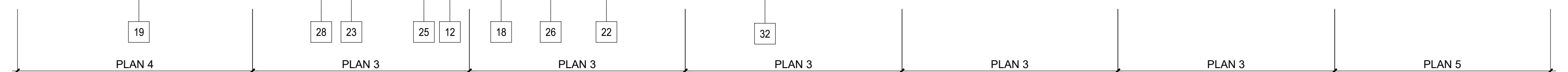
RIGHT



REAR



LEFT



FRONT



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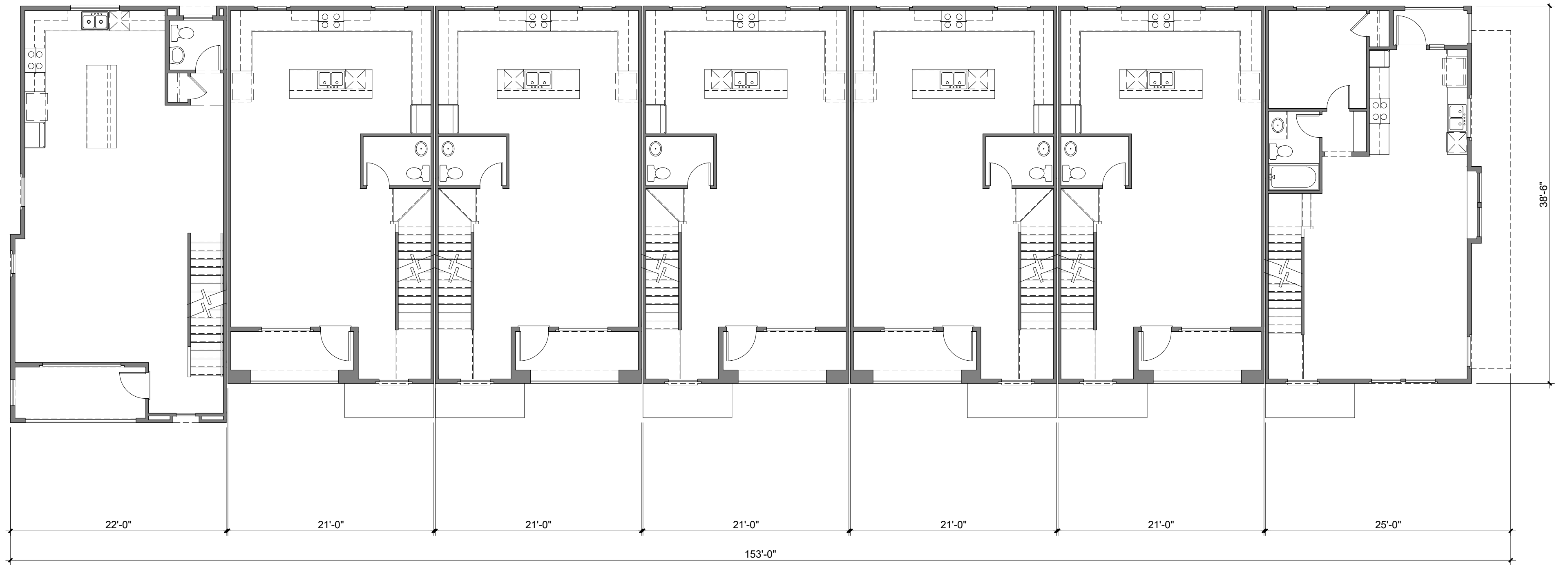
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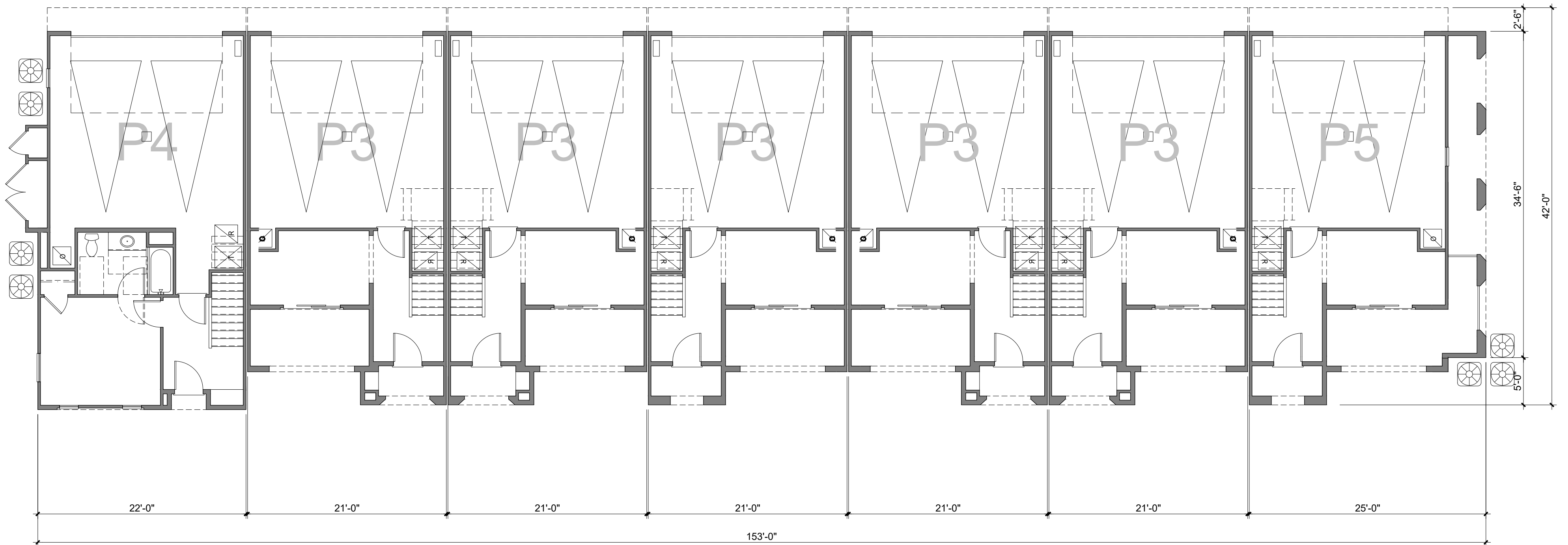
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BUILDING ELEVATIONS
BUILDING 2, T500 (7-PLEX)
COLOR SCHEME 1

A2.13



SECOND FLOOR



FIRST FLOOR

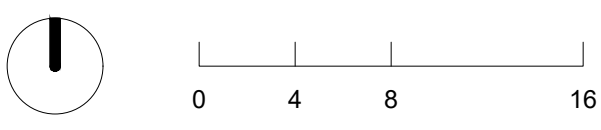


Architecture + Planning
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PROJECT DIMENSIONS
4 Park Plaza, Suite 700
Irvine, CA 92614

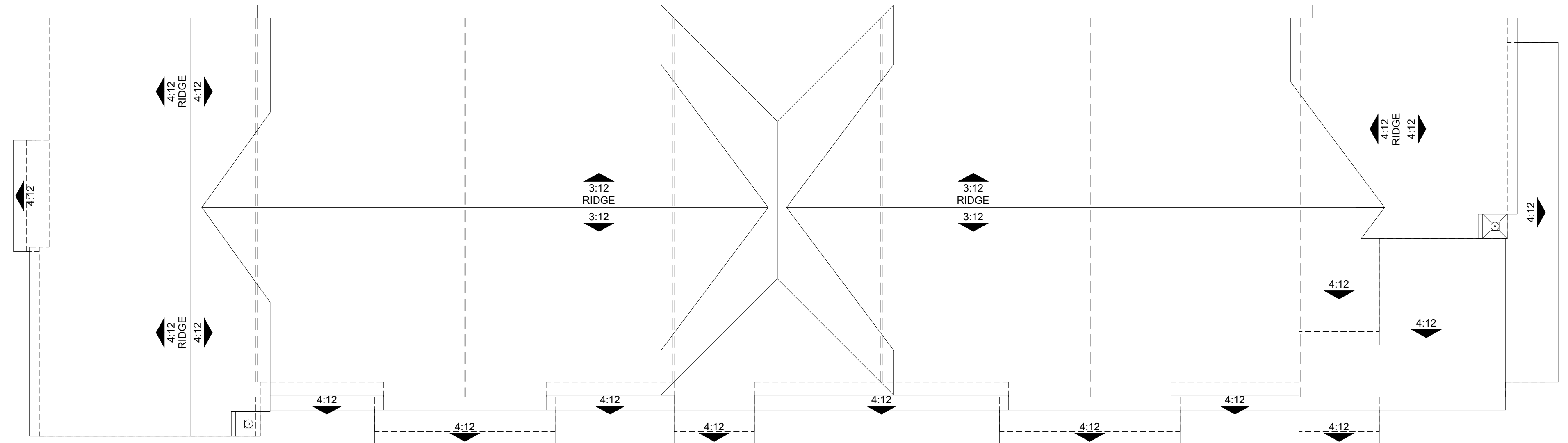
PASEO DE COLINAS TOWNHOMES
LAGUNA NIGUEL, CA # 2018-1173

SITE DEVELOPMENT PERMIT APPLICATION
Plot Date: 5.16.2024
Updated Submittal: TBD



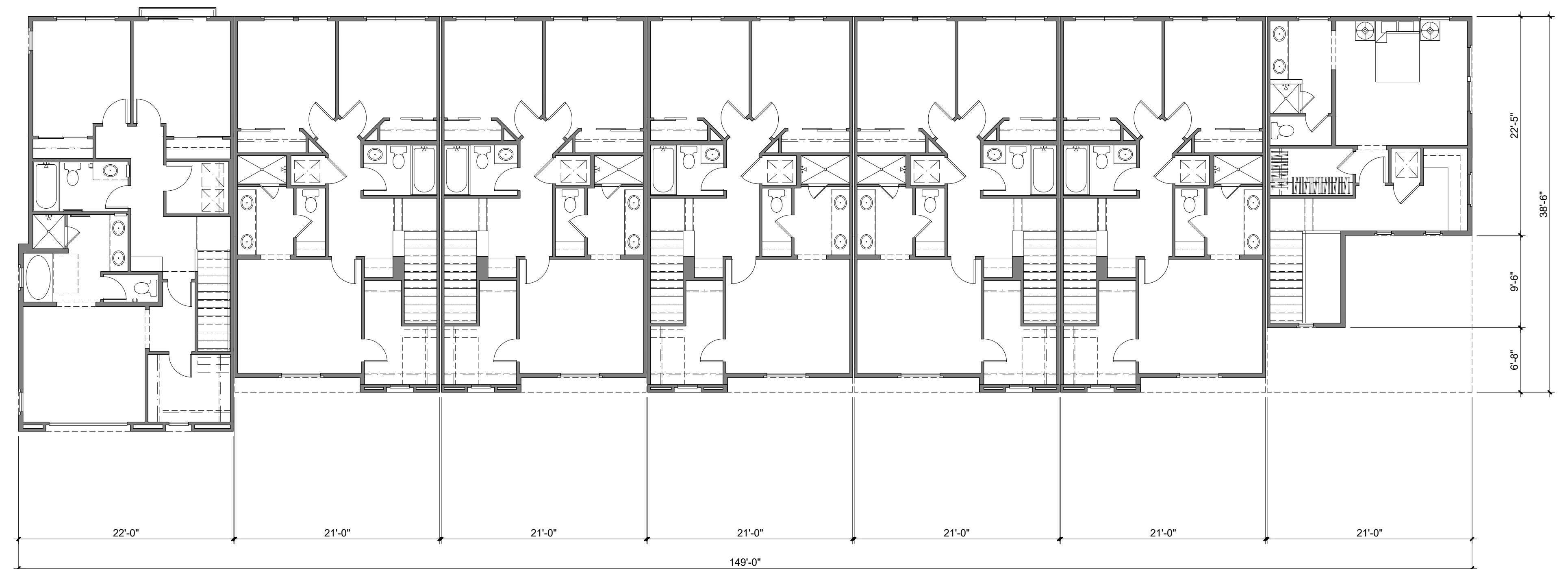
BUILDING PLANS
BUILDING 2, T500 (7-PLEX)

A2.14



NOTE: NO ROOF MOUNTED EQUIPMENT
ROOF OVERHANG: 12" EAVE; 6" RAKE

ROOF PLAN



THIRD FLOOR

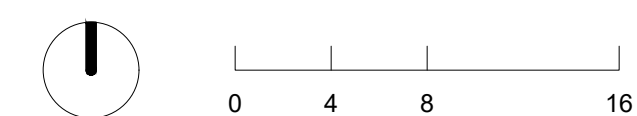


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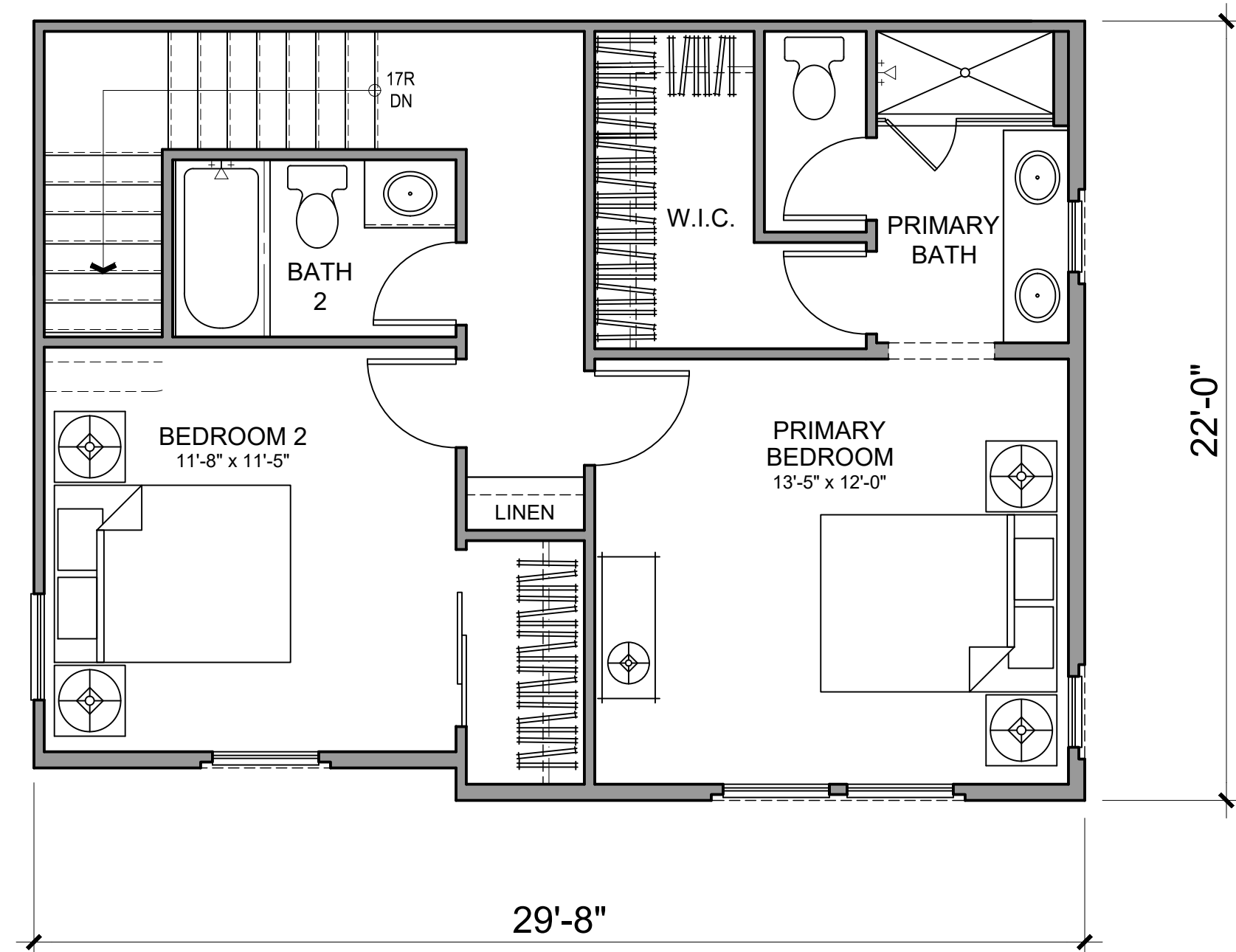
PASEO DE COLINAS TOWNHOMES
LAGUNA NIGUEL, CA # 2018-1173

SITE DEVELOPMENT PERMIT APPLICATION
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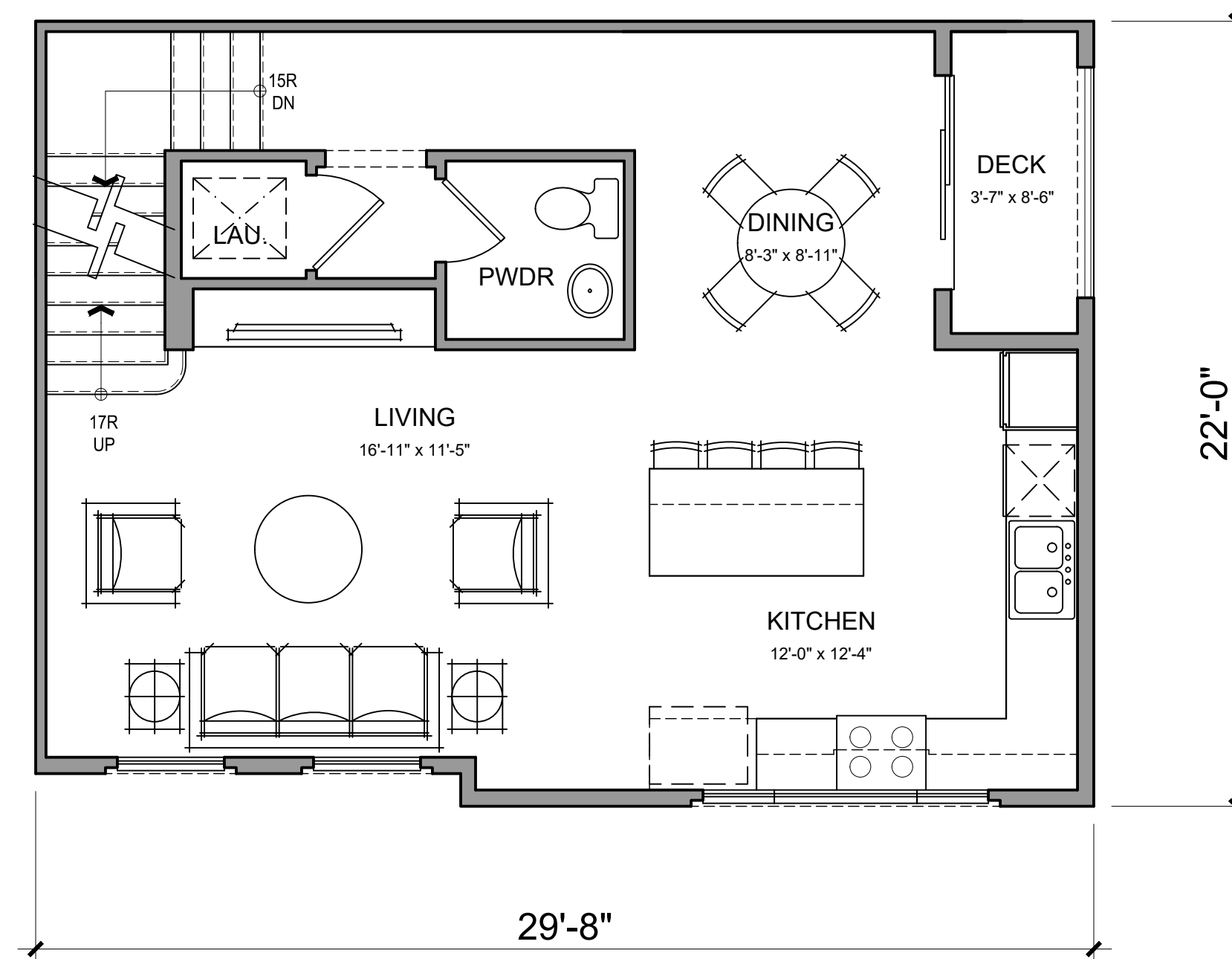


BUILDING PLANS
BUILDING 2, T500 (7-PLEX)

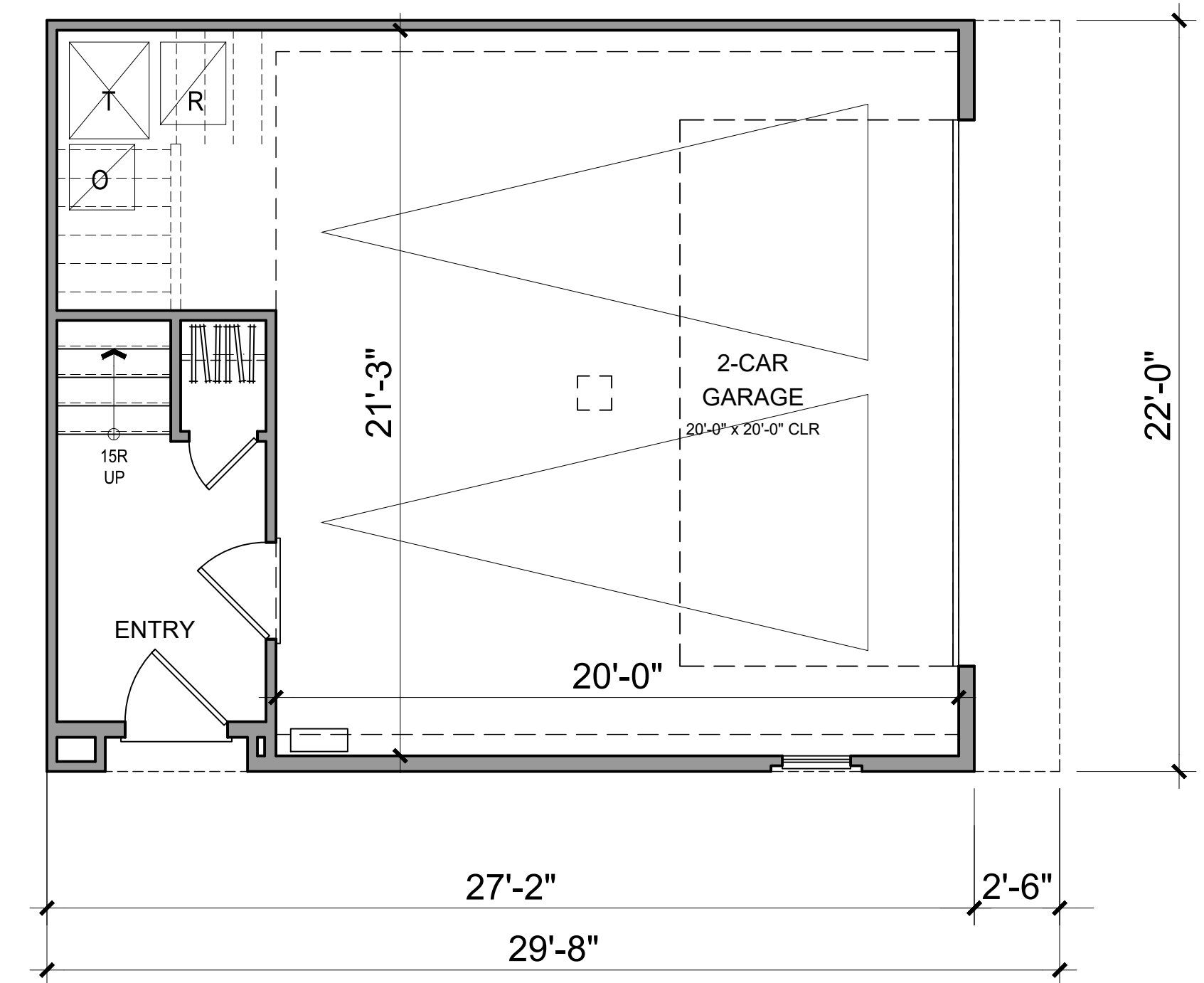
A2.15



THIRD FLOOR

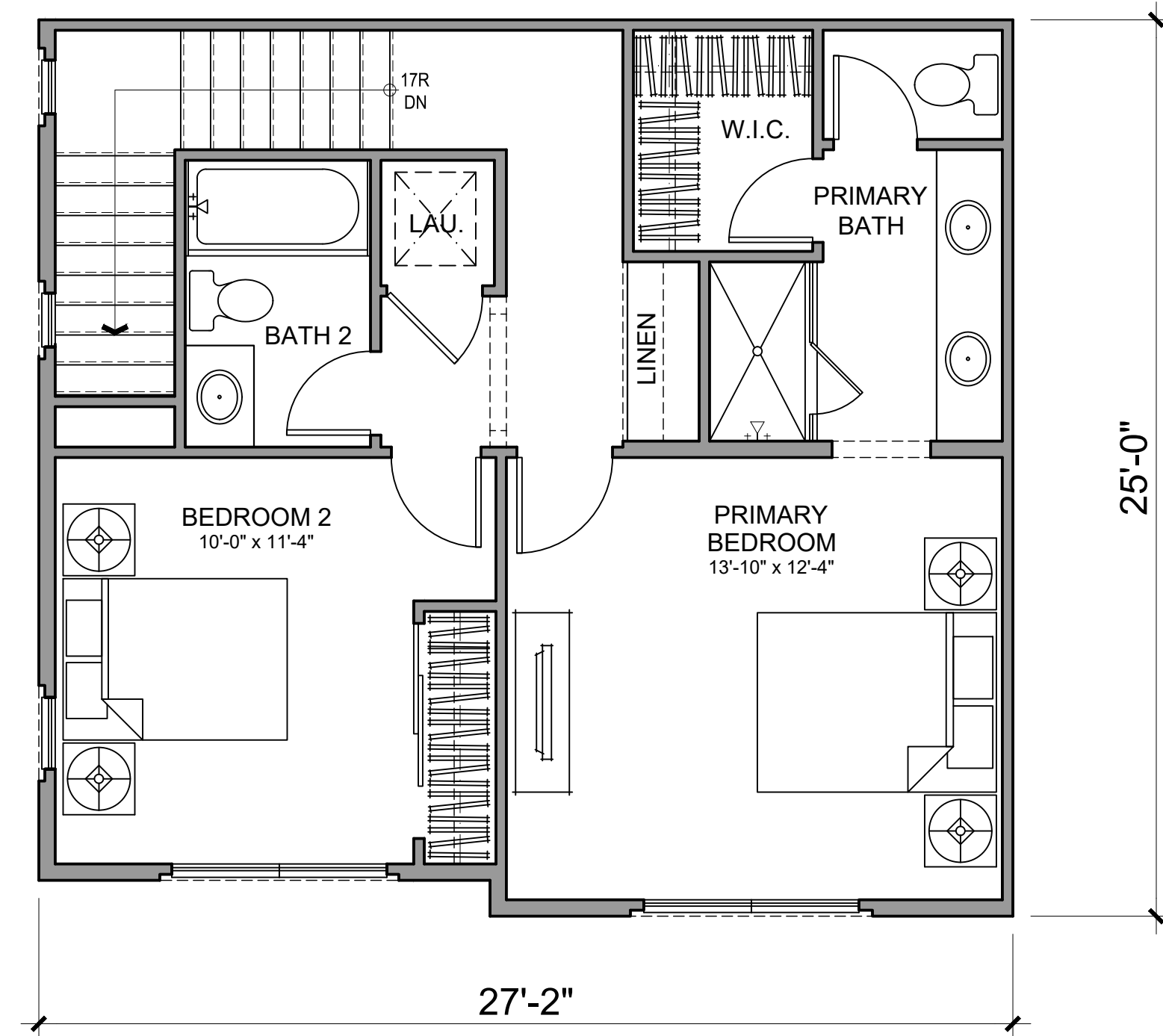


SECOND FLOOR

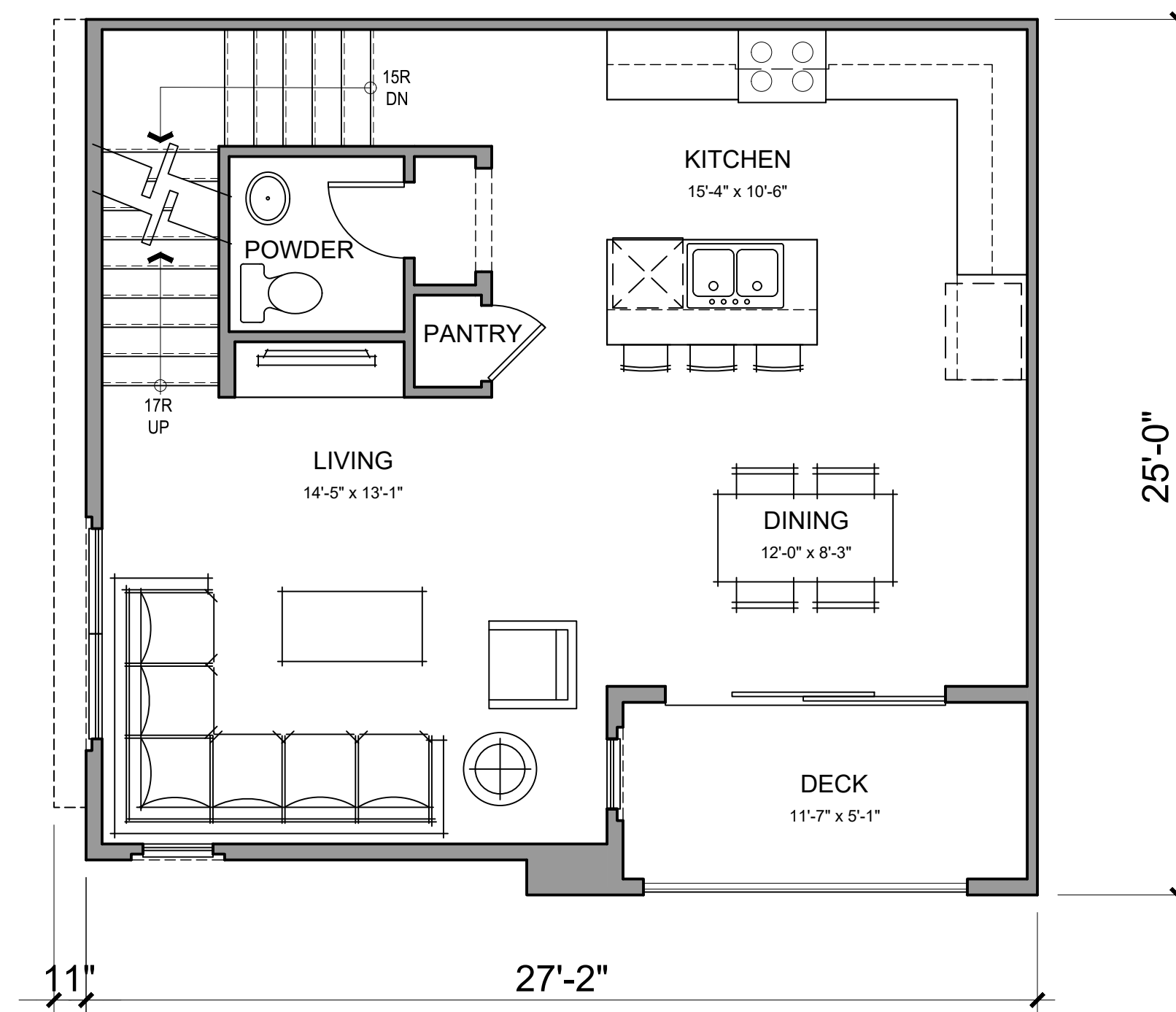


FIRST FLOOR

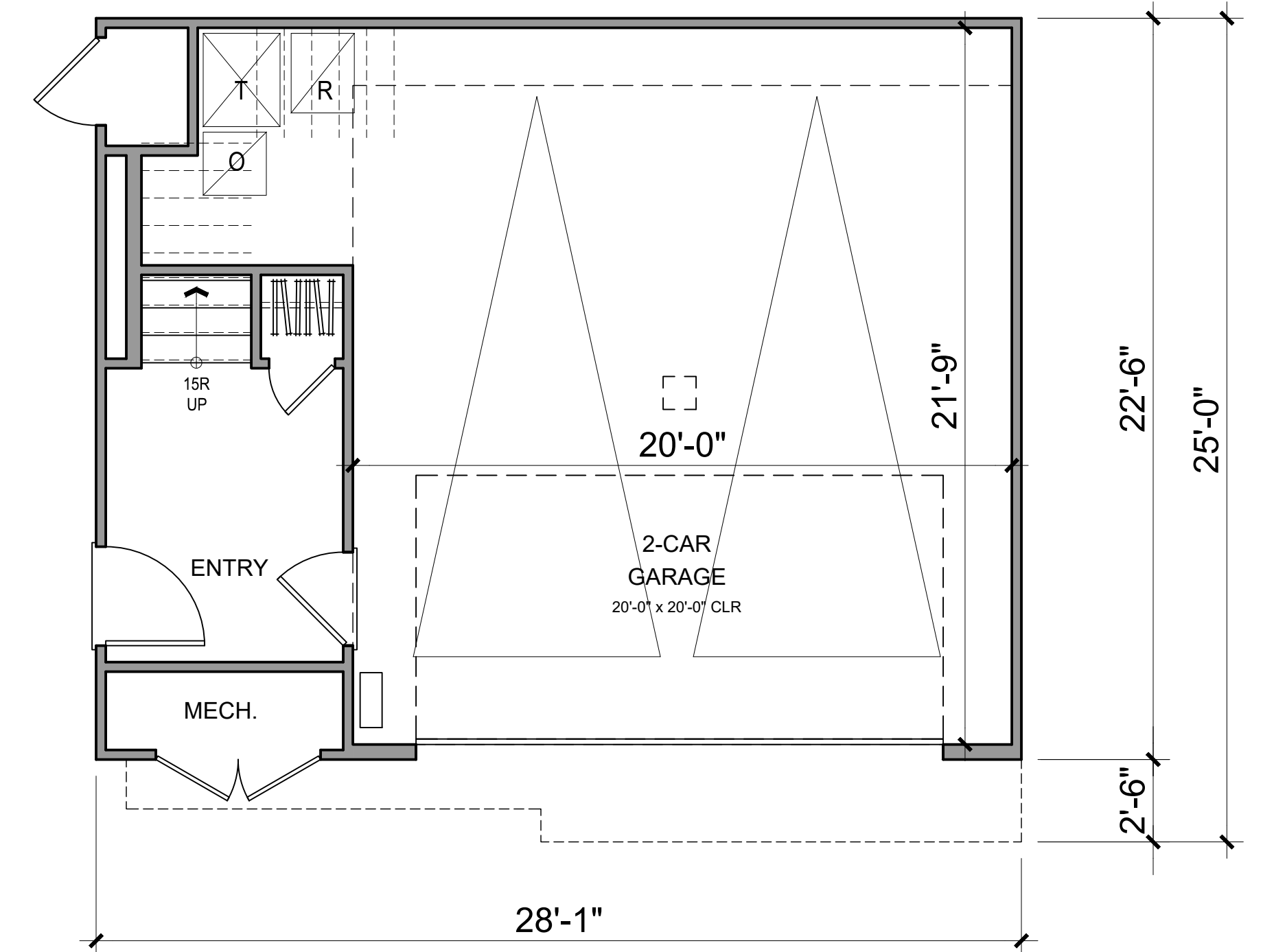
| P1 - NET AREA | |
|---------------|--------------|
| 1ST FLOOR | 113 SQ. FT. |
| 2ND FLOOR | 568 SQ. FT. |
| 3RD FLOOR | 555 SQ. FT. |
| TOTAL LIVING | 1236 SQ. FT. |
| DECK | 30 SQ. FT. |
| GARAGE | 478 SQ. FT. |



THIRD FLOOR

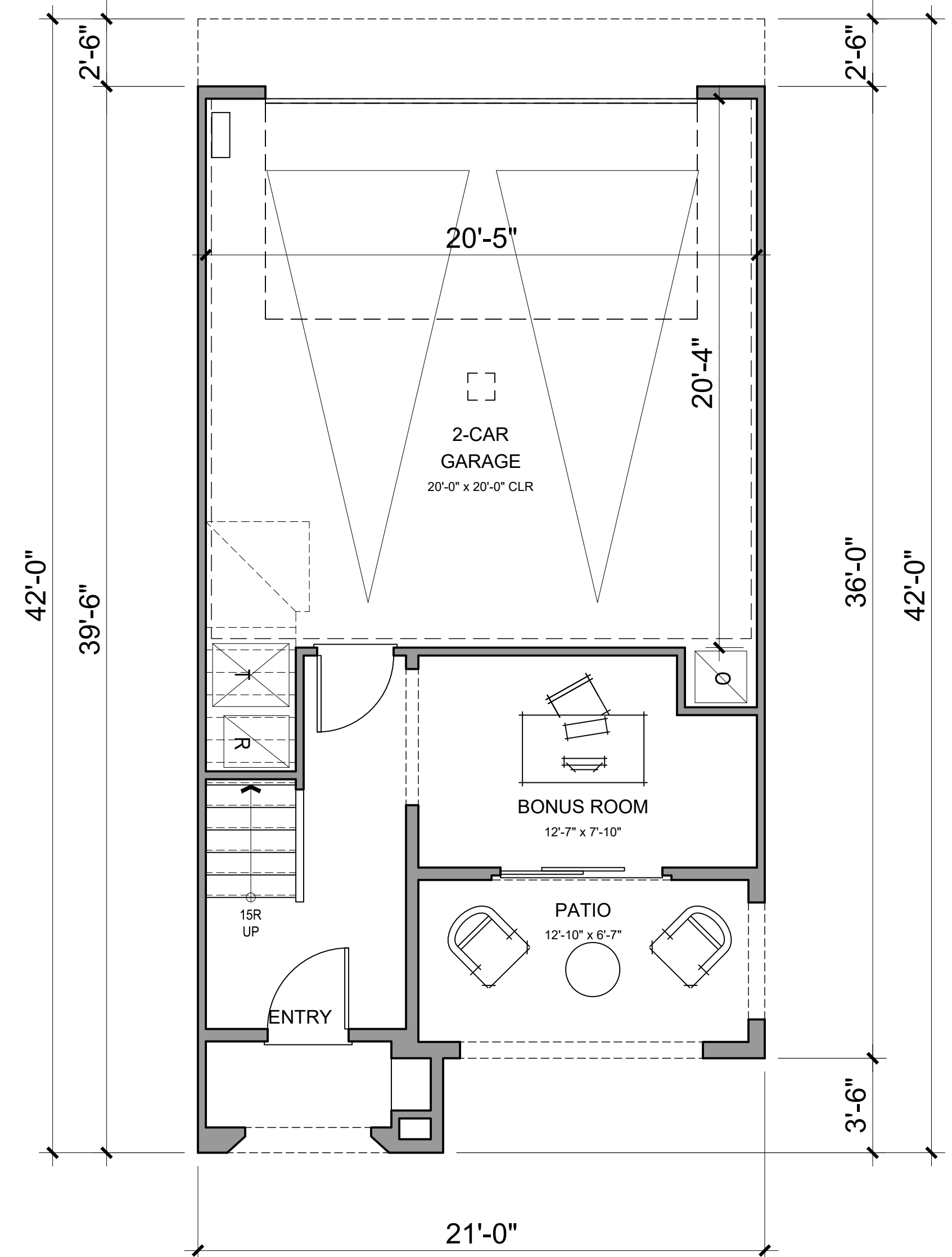
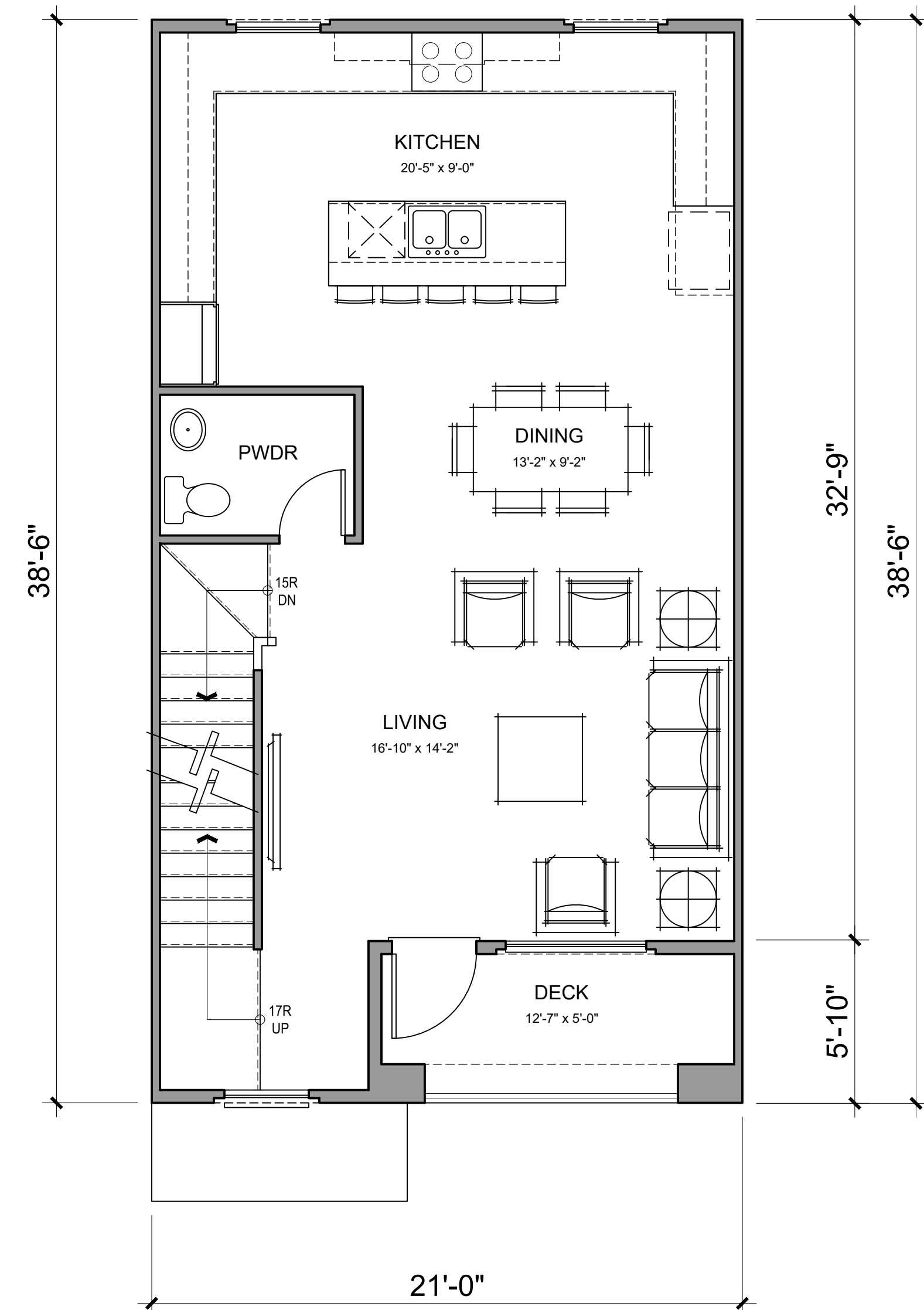
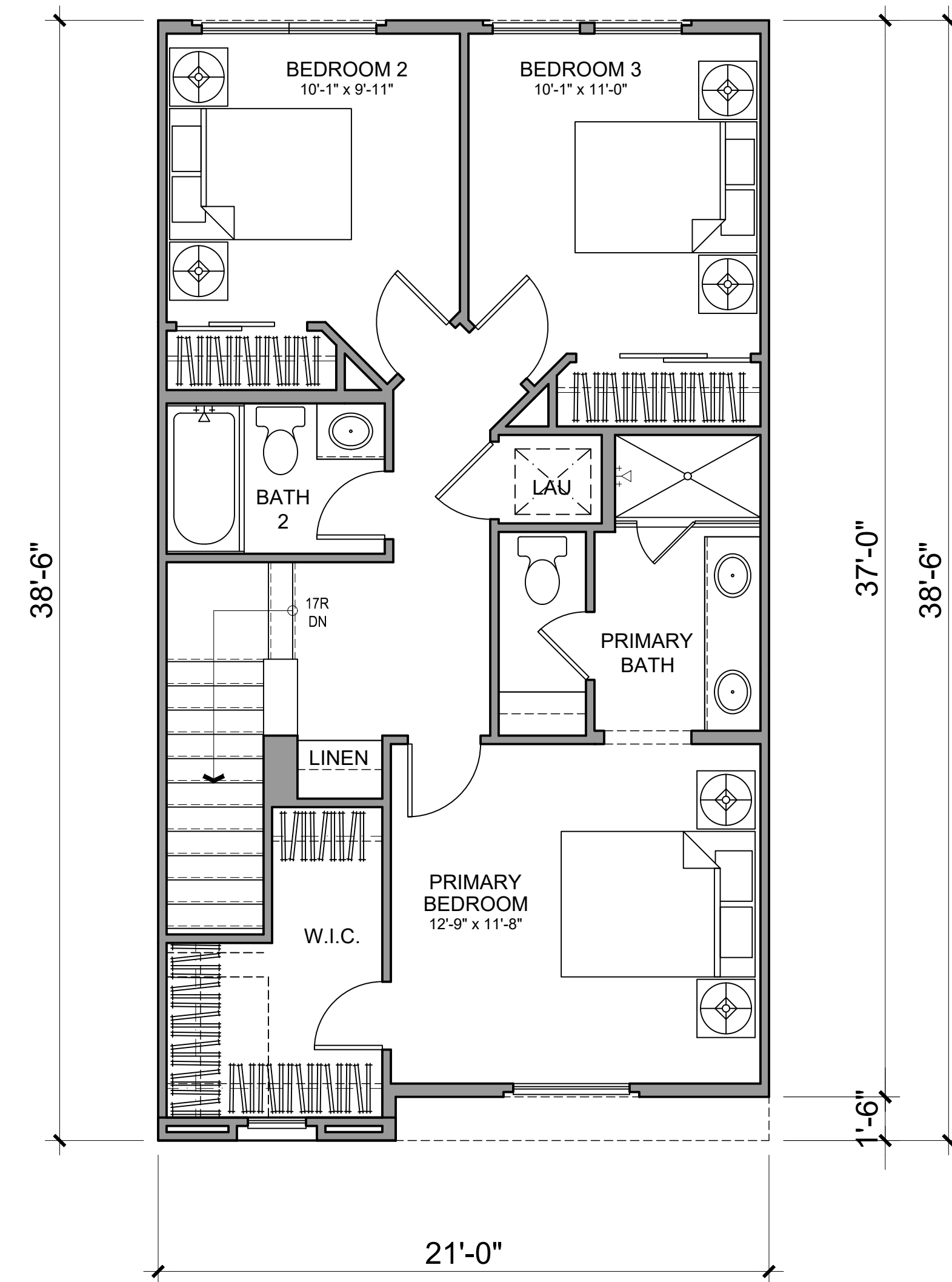


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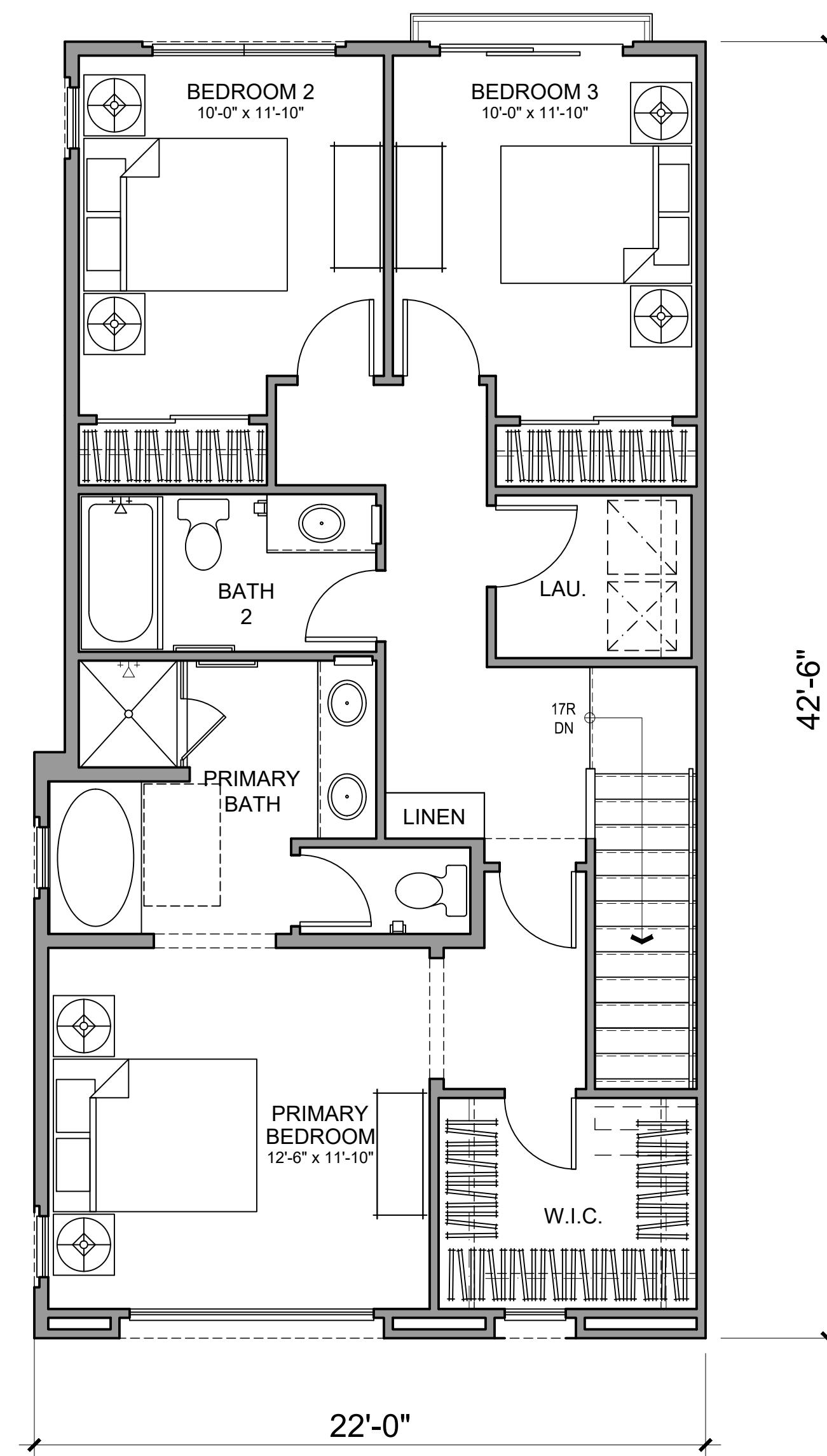


FIRST FLOOR

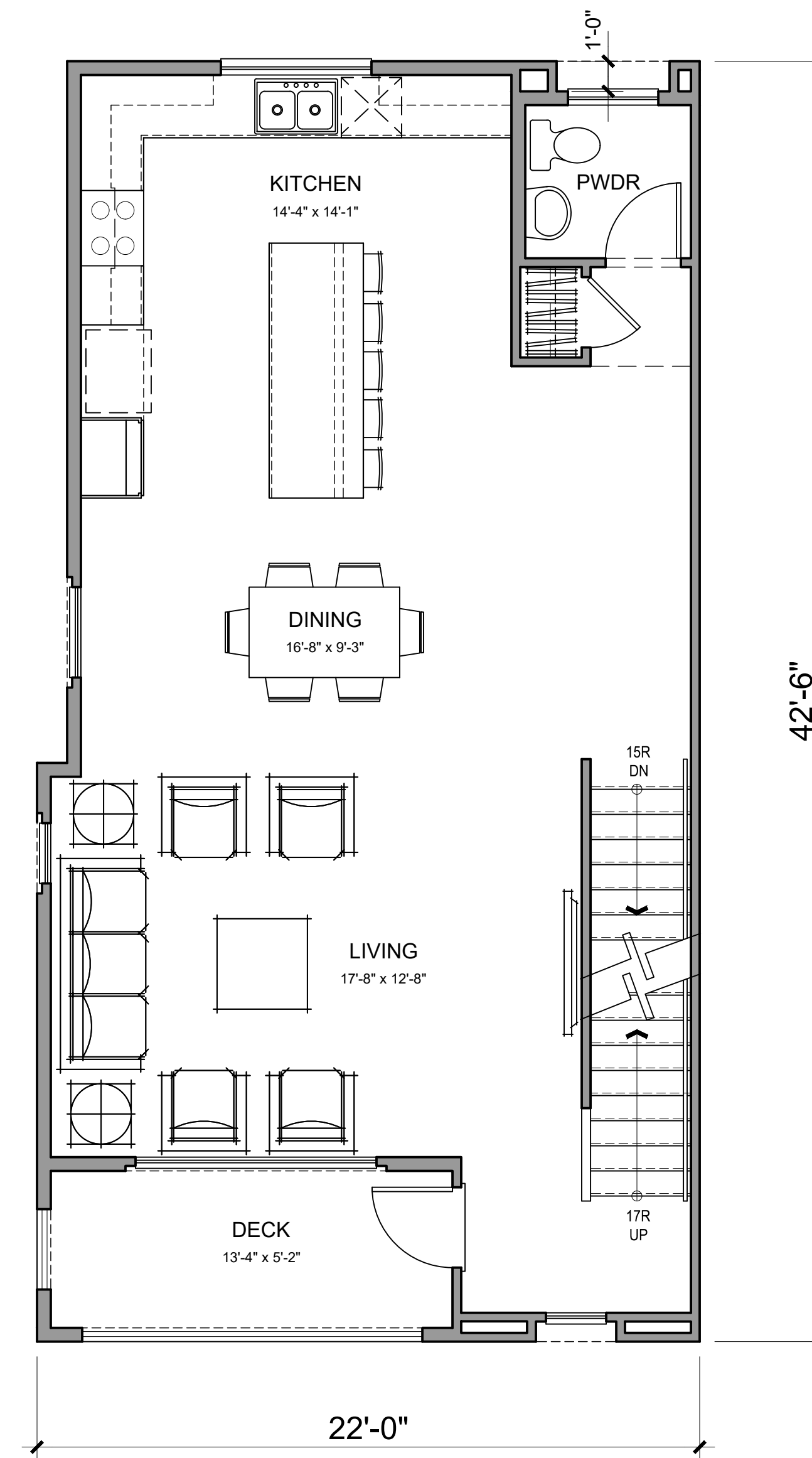
| P2 - NET AREA | |
|---------------|--------------|
| 1ST FLOOR | 125 SQ. FT. |
| 2ND FLOOR | 560 SQ. FT. |
| 3RD FLOOR | 574 SQ. FT. |
| TOTAL LIVING | 1259 SQ. FT. |
| DECK | 58 SQ. FT. |
| GARAGE | 475 SQ. FT. |



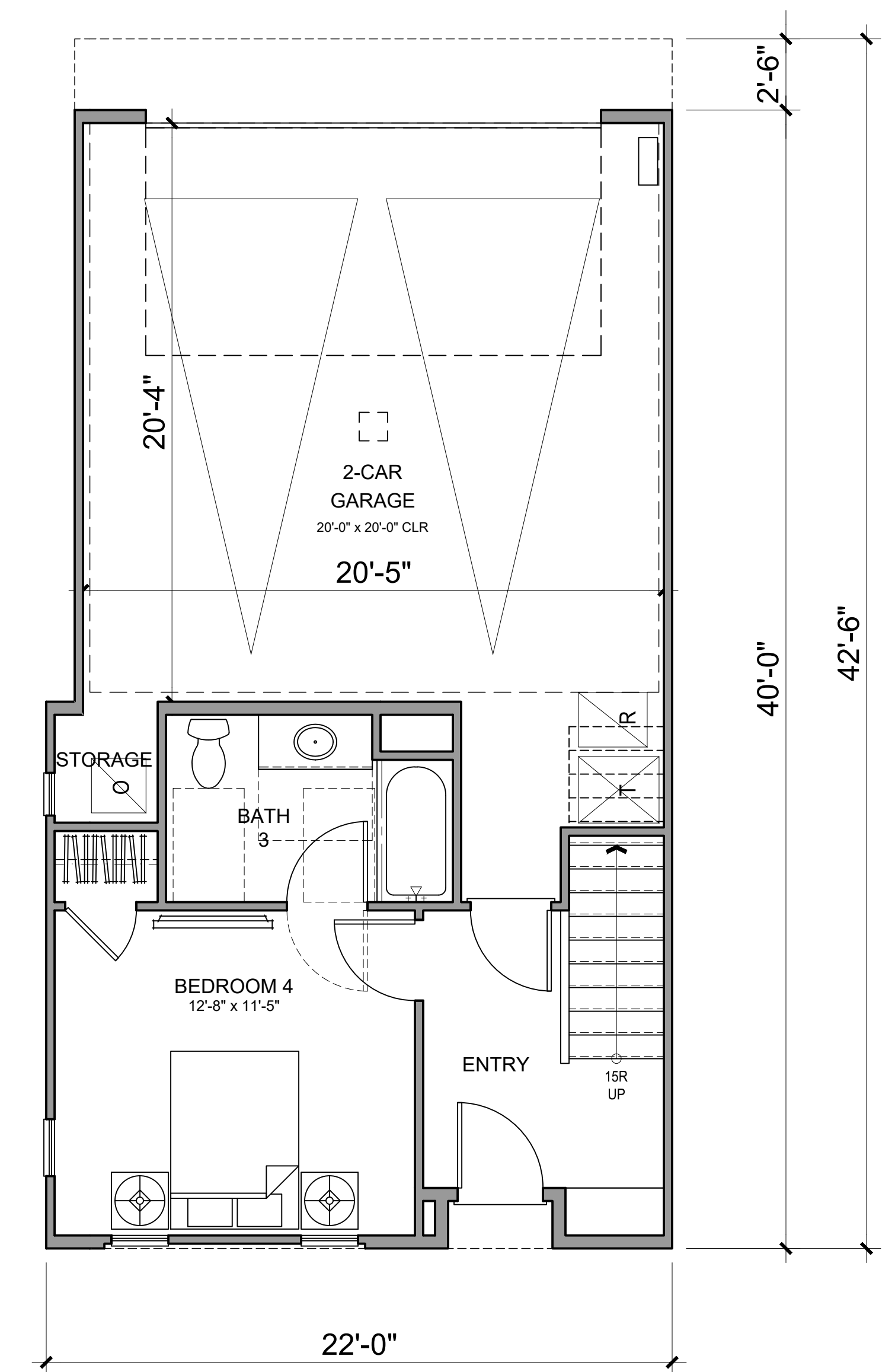
| P3 - NET AREA | |
|---------------|--------------|
| 1ST FLOOR | 222 SQ. FT. |
| 2ND FLOOR | 699 SQ. FT. |
| 3RD FLOOR | 696 SQ. FT. |
| TOTAL LIVING | 1617 SQ. FT. |
| PATIO | 81 SQ. FT. |
| DECK | 61 SQ. FT. |
| GARAGE | 435 SQ. FT. |



THIRD FLOOR

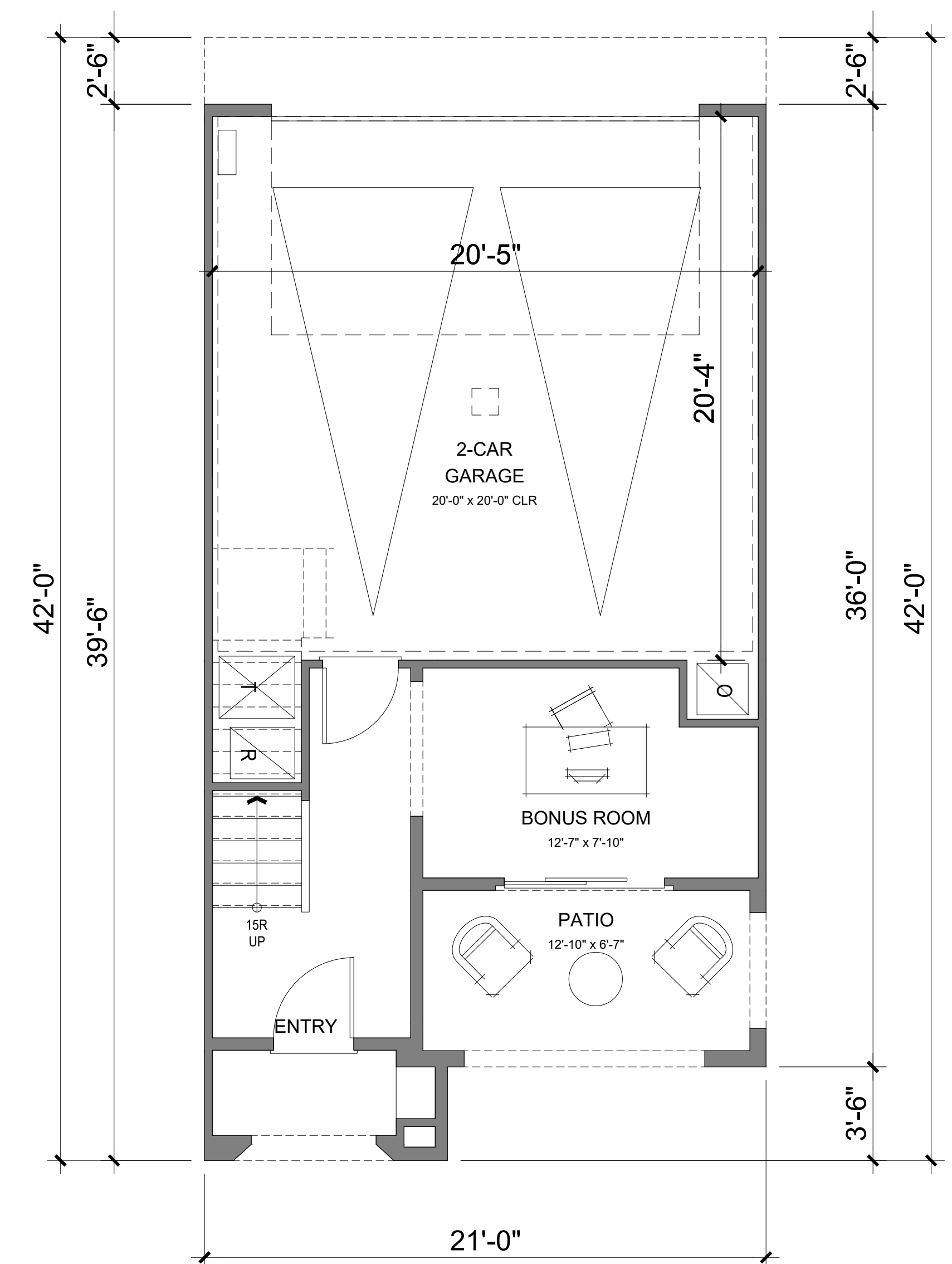
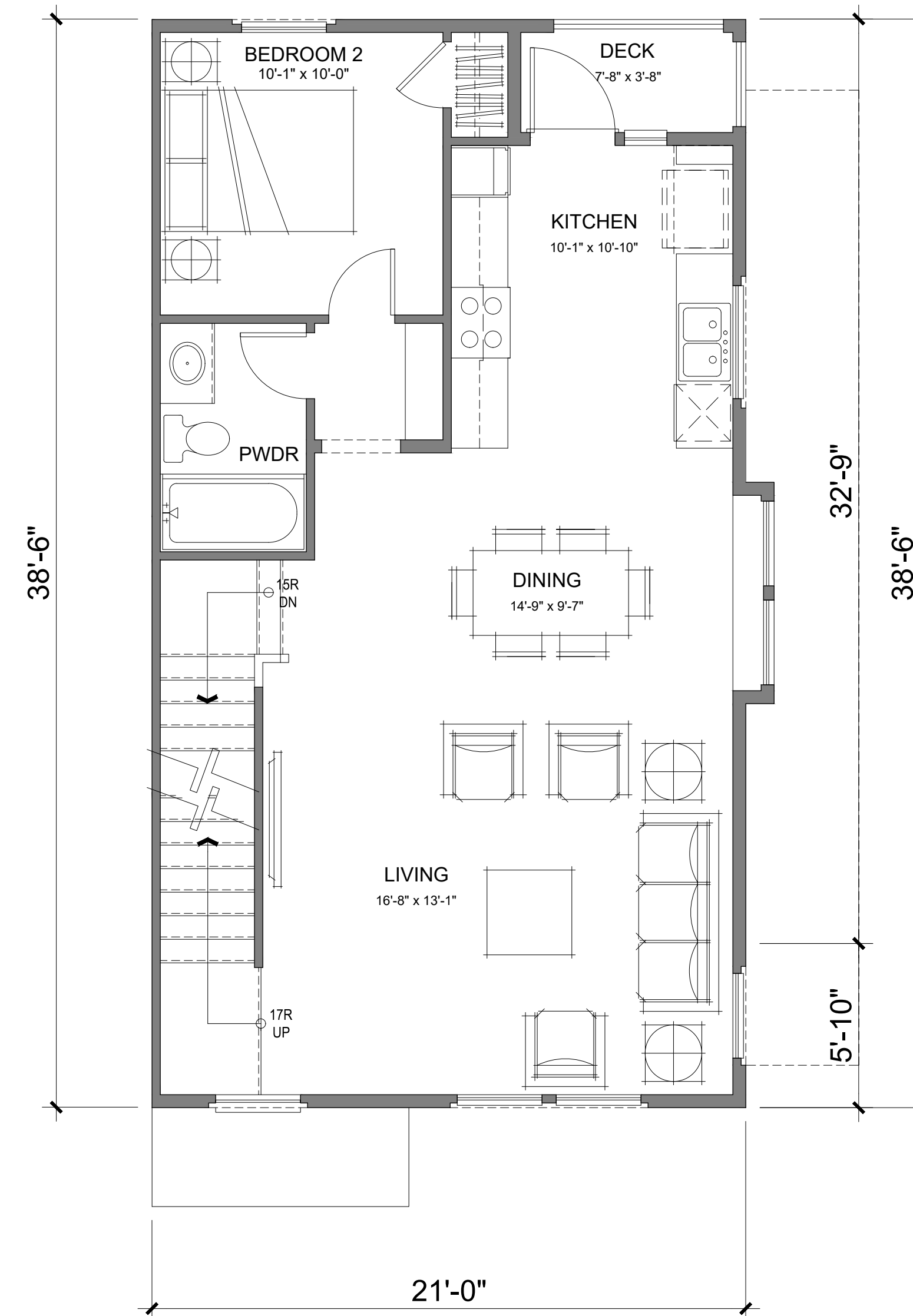
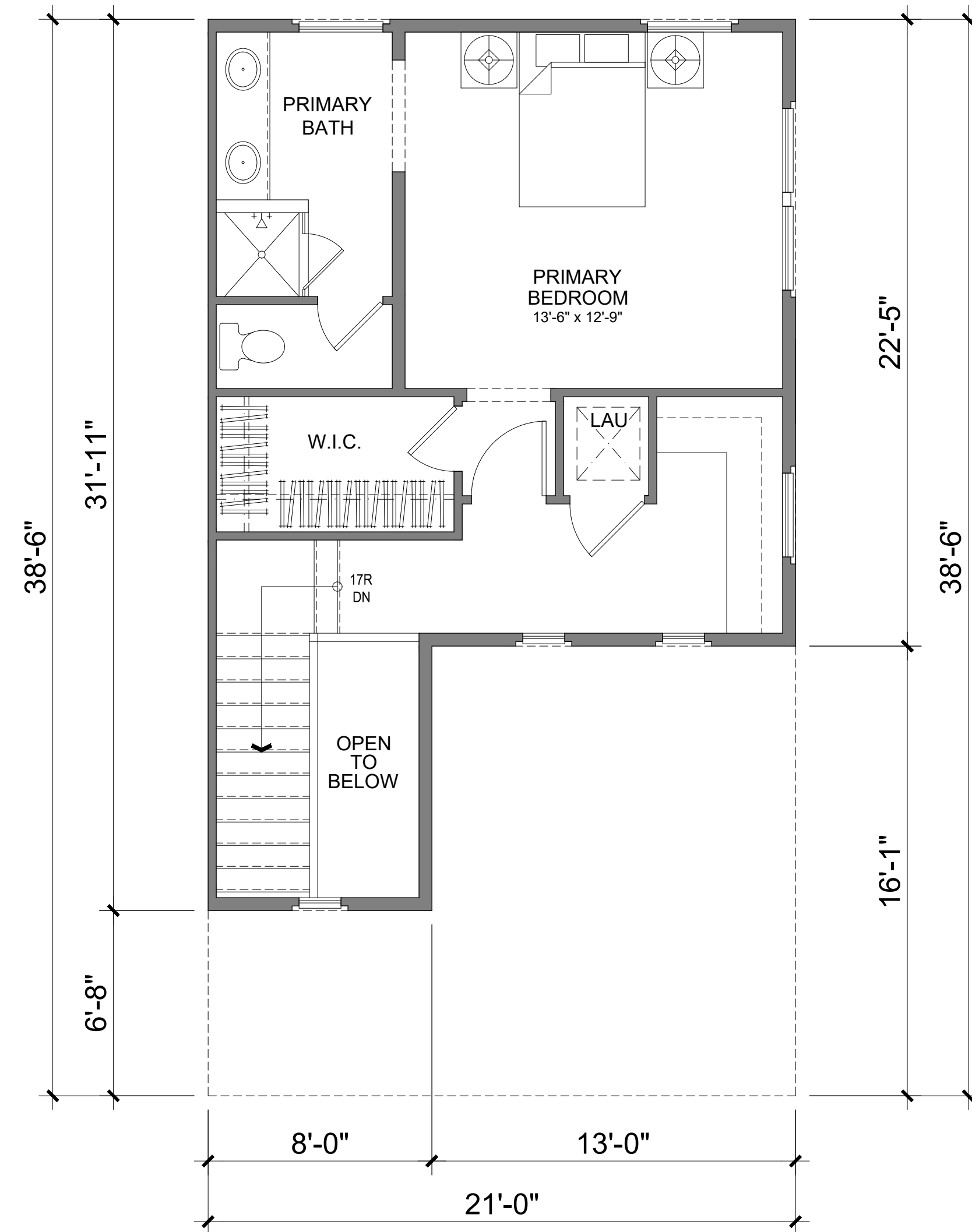


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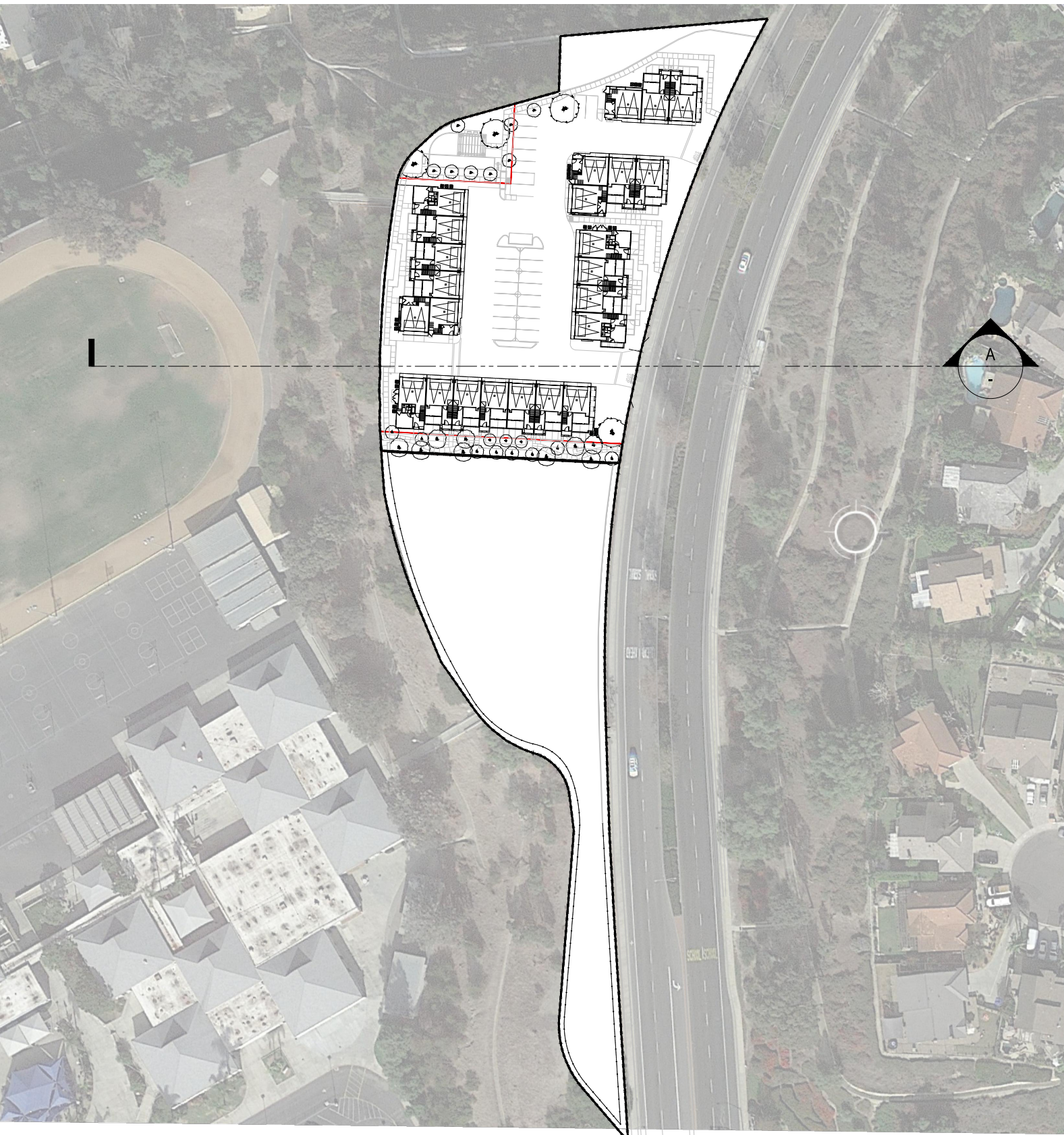


FIRST FLOOR
ACCESSIBLE UNIT ADAPTABLE

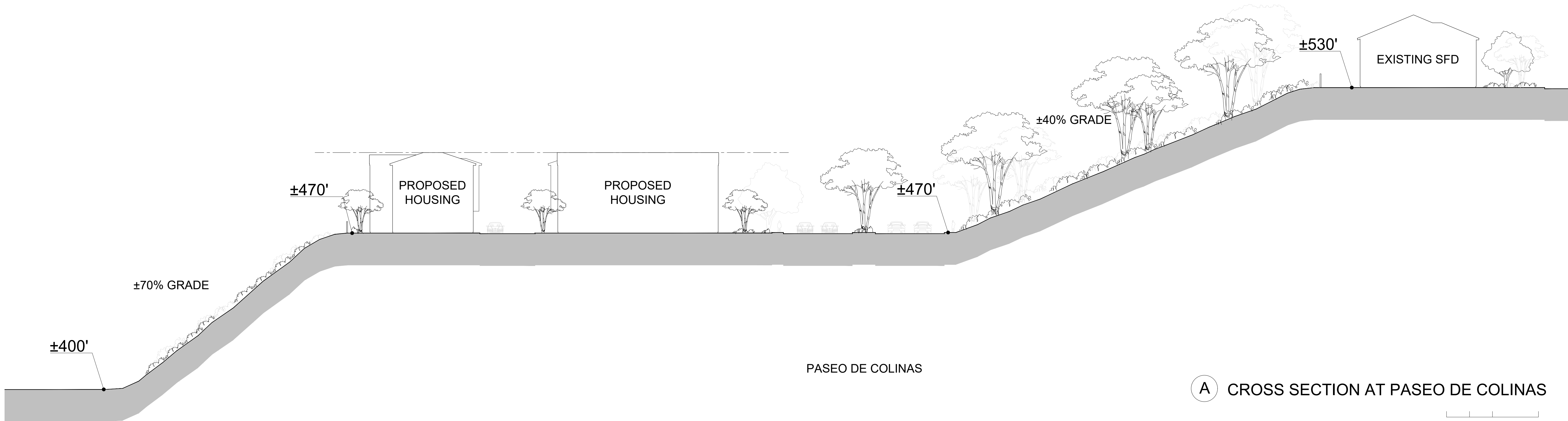
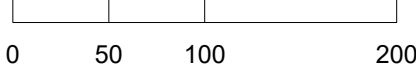
| P4 - NET AREA | |
|---------------|--------------|
| 1ST FLOOR | 347 SQ. FT. |
| 2ND FLOOR | 780 SQ. FT. |
| 3RD FLOOR | 803 SQ. FT. |
| TOTAL LIVING | 1930 SQ. FT. |
| DECK | 69 SQ. FT. |
| GARAGE | 471 SQ. FT. |



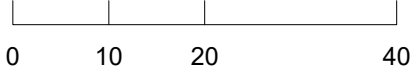
| P5 - NET AREA | |
|---------------|--------------|
| 1ST FLOOR | 222 SQ. FT. |
| 2ND FLOOR | 729 SQ. FT. |
| 3RD FLOOR | 421 SQ. FT. |
| TOTAL LIVING | 1372 SQ. FT. |
| PATIO | 81 SQ. FT. |
| DECK | 31 SQ. FT. |
| GARAGE | 436 SQ. FT. |



SITE REFERENCE



A CROSS SECTION AT PASEO DE COLINAS



NIGUEL HILLS MIDDLE SCHOOL



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PROJECT DIMENSIONS
4 Park Plaza, Suite 700
Irvine, CA 92614

PASEO DE COLINAS TOWNHOMES
LAGUNA NIGUEL, CA # 2018-1173

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STREET SECTION
ACROSS PASEO DE COLINAS

A4.0

DECORATIVE
STUCCO
FINIAL

WROUGHT IRON
DETAILING AT
BATTERED
STUCCO
RECESSED



WINDOW AND CHIMNEY DETAIL

STUCCO OVER
FOAM EAVE

FIBERGLASS
WINDOW

DECORATIVE
SHUTTER



WINDOW DETAIL

DECORATIVE
WROUGHT
IRON
POTSHELF



WINDOW DETAIL

CANVAS
AWNING w/
METAL SPEARS

TYP. 2" RECESS
AT WINDOWS
WITH 3" REVEAL

STUCCO
SCALLOPED
SILL



WINDOW DETAIL

ROOF RAKE
FOAM TRIM
MOLDING

FAUX STUCCO
DIAMOND
SHAPED
(RECESSED)
GABLE VENT

FAUX WOOD
TRIM (FIBER
BOARD)



BAY WINDOW RAFTER TAIL / TRIM

STUCCO TO
MATCH
SURROUND
COLOR

STONE
VENEER

STUCCO
OVER FOAM
SURROUND

TYP. DEEP
RECESS
AT DOOR



STUCCO SURROUND

STUCCO OVER
FOAM CORBELS

METAL JULIET
BALCONY

MICRO GUTTER
AT WALL



BALCONY AND OPENING

FAUX WOOD
BAY WINDOW

FAUX WOOD
CORBELS



BRACKET AT BAY WINDOW

DECORATIVE
TILES OVER
BATTERED
ARCH



BATTERED ARCH



CORBEL DETAIL

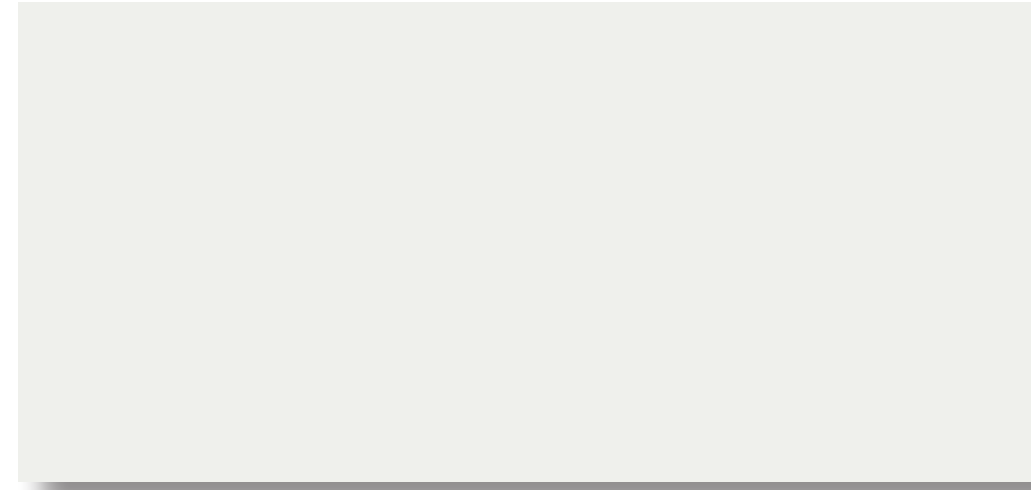
STUCCO OVER
FOAM CORBELS

RECESSED
FAUX BEAM

STUCCO OVER
FOAM
SCALLOPED
ARCHES



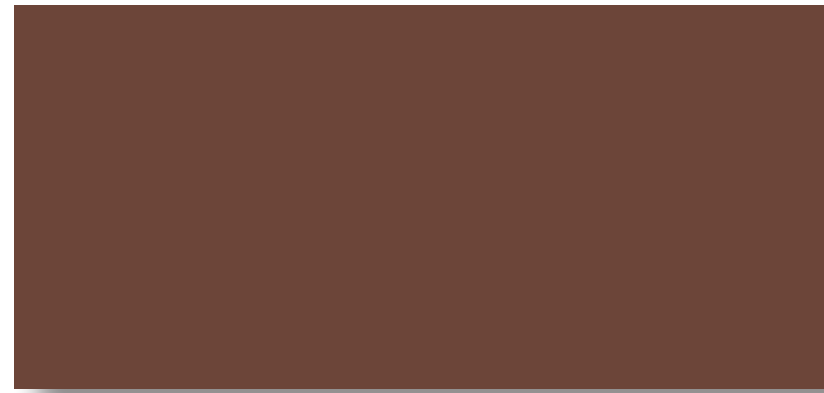
COLOR SCHEME 1



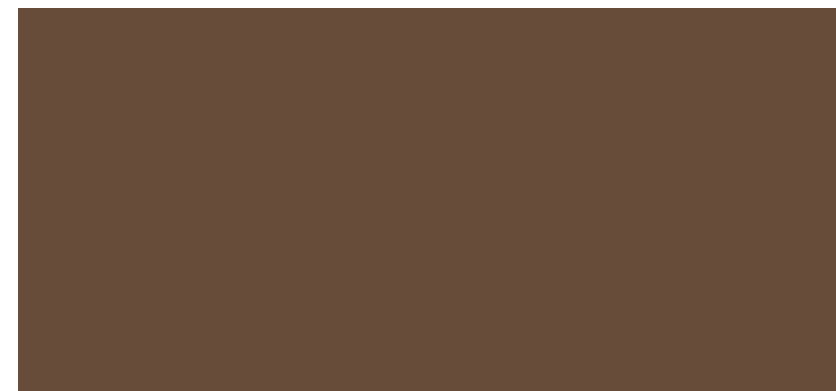
STUCCO BODY 1
SW 7006 EXTRA WHITE



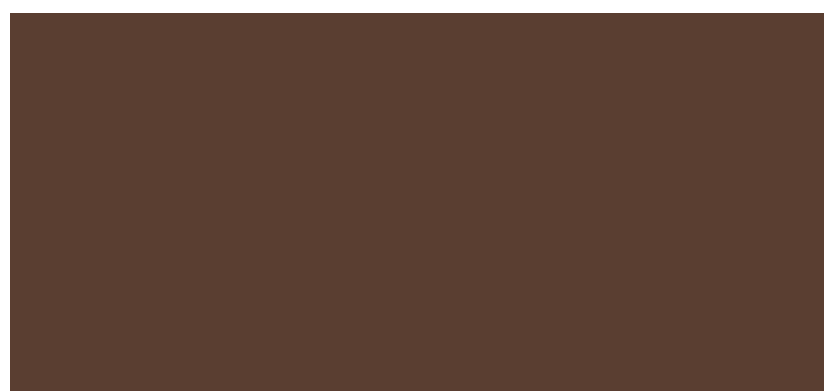
ENTRY DOOR 1
SW 6377 BUTTERSCOTCH



ENTRY DOOR 2 | SHUTTERS
SW 2837 AURORA BROWN



FASCIA | BARGE BD. | TRIMS | WOOD
ACCENTS | RAFTER TAILS | GARAGE DR
SW 6090 JAVA



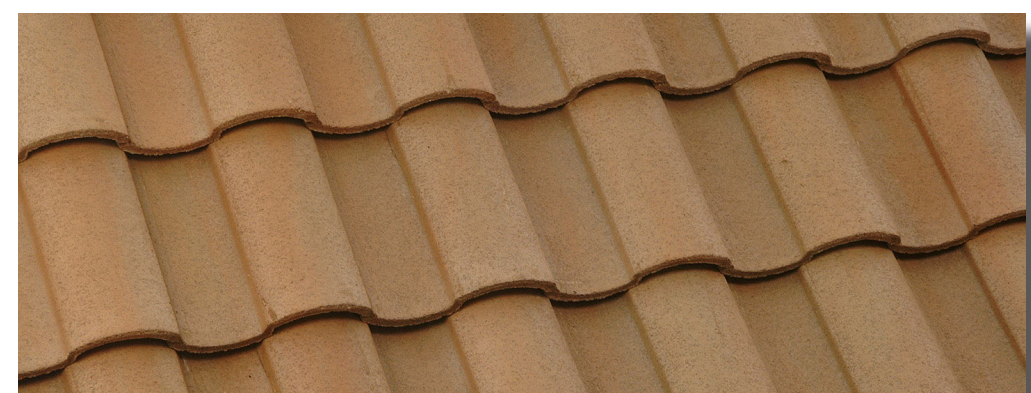
WINDOW FRAME
CLASSIC BROWN - VINYL



STONE VENEER
EL DORADO STONE - MARQUEE24 - DOVETAIL



AWNING
SUNBRELLA - MAHOGANY 4667

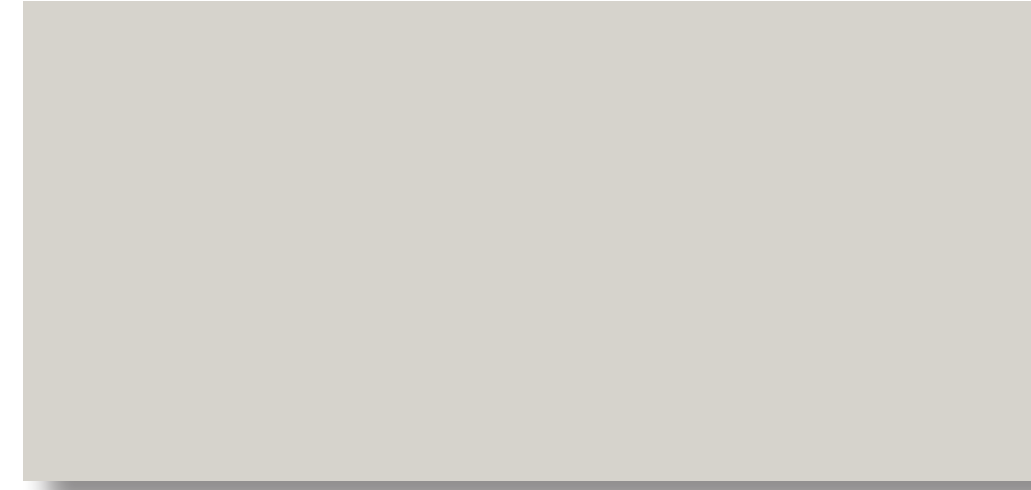


'S' TILE ROOFING
EAGLE ROOFING - CAPISTRANO - 3615 WEATHERED TERRACOTTA RANGE



TILE SURROUND

COLOR SCHEME 2



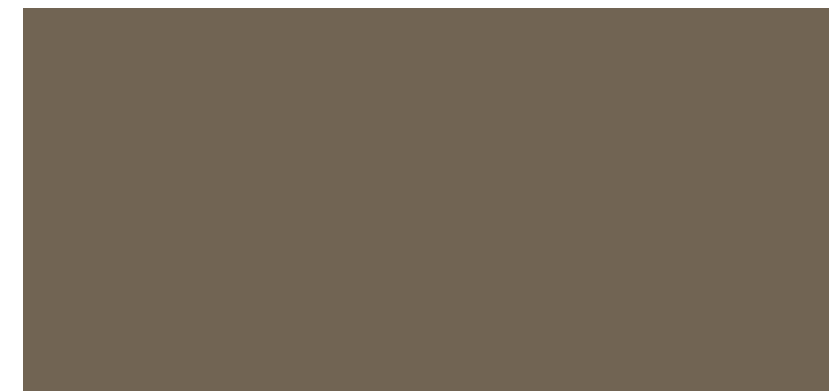
STUCCO BODY 1
SW7647 CRUSHED ICE



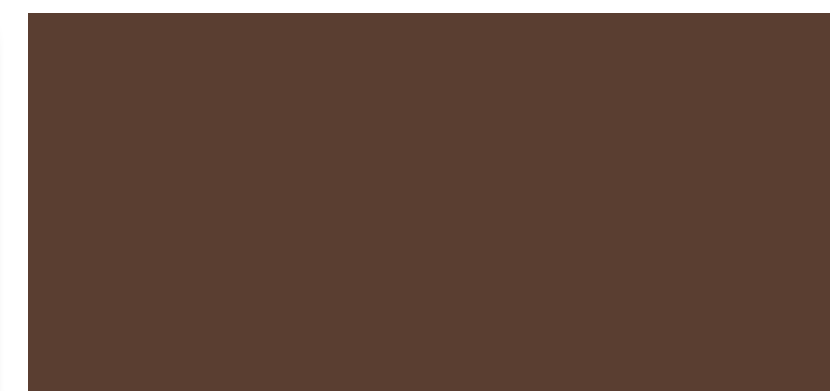
ENTRY DOOR 1
SW 6244 NAVAL



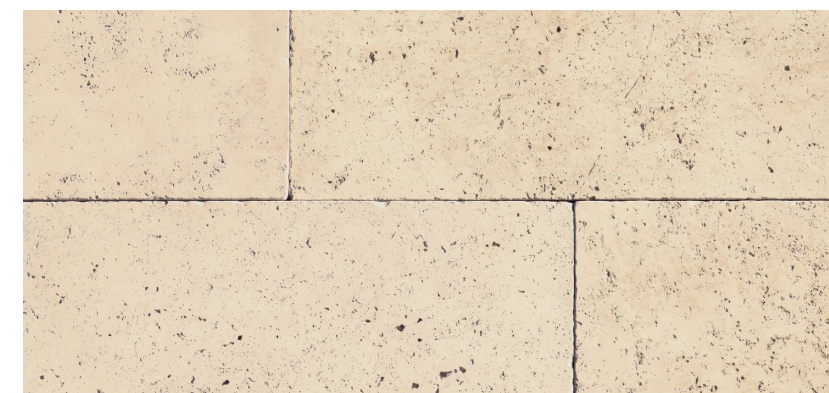
ENTRY DOOR 2 | SHUTTERS
SW 7740 MESSENGER BAG



FASCIA | BARGE BD. | TRIMS | WOOD
ACCENTS | RAFTER TAILS | GARAGE DR
SW 7040 SMOKEHOUSE



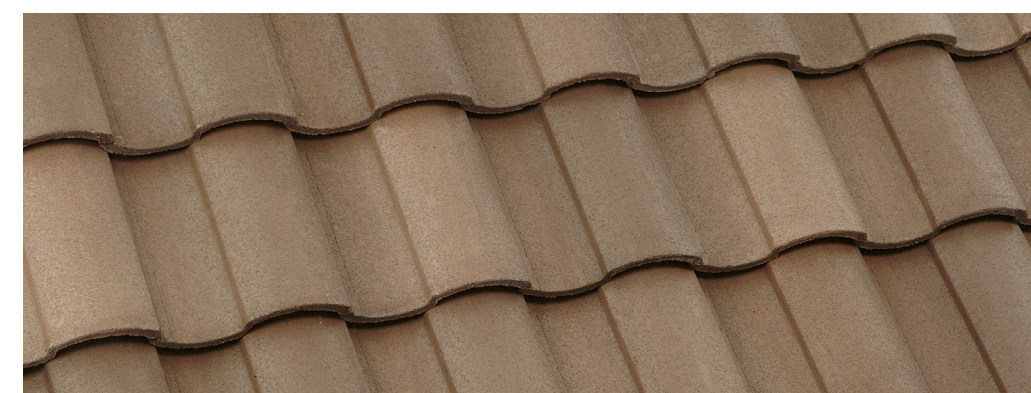
WINDOW FRAME
CLASSIC BROWN - VINYL



STONE VENEER
EL DORADO STONE - MARQUEE24 - SANDERLING



AWNING
SUNBRELLA - TRUE BROWN 4621



'S' TILE ROOFING
EAGLE ROOFING - CAPISTRANO - 3646 SUNSET BLEND



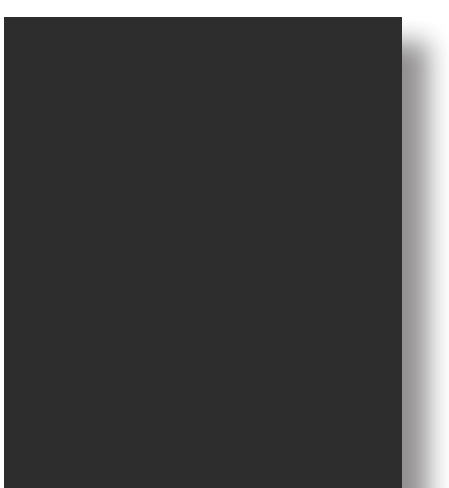
TILE SURROUND



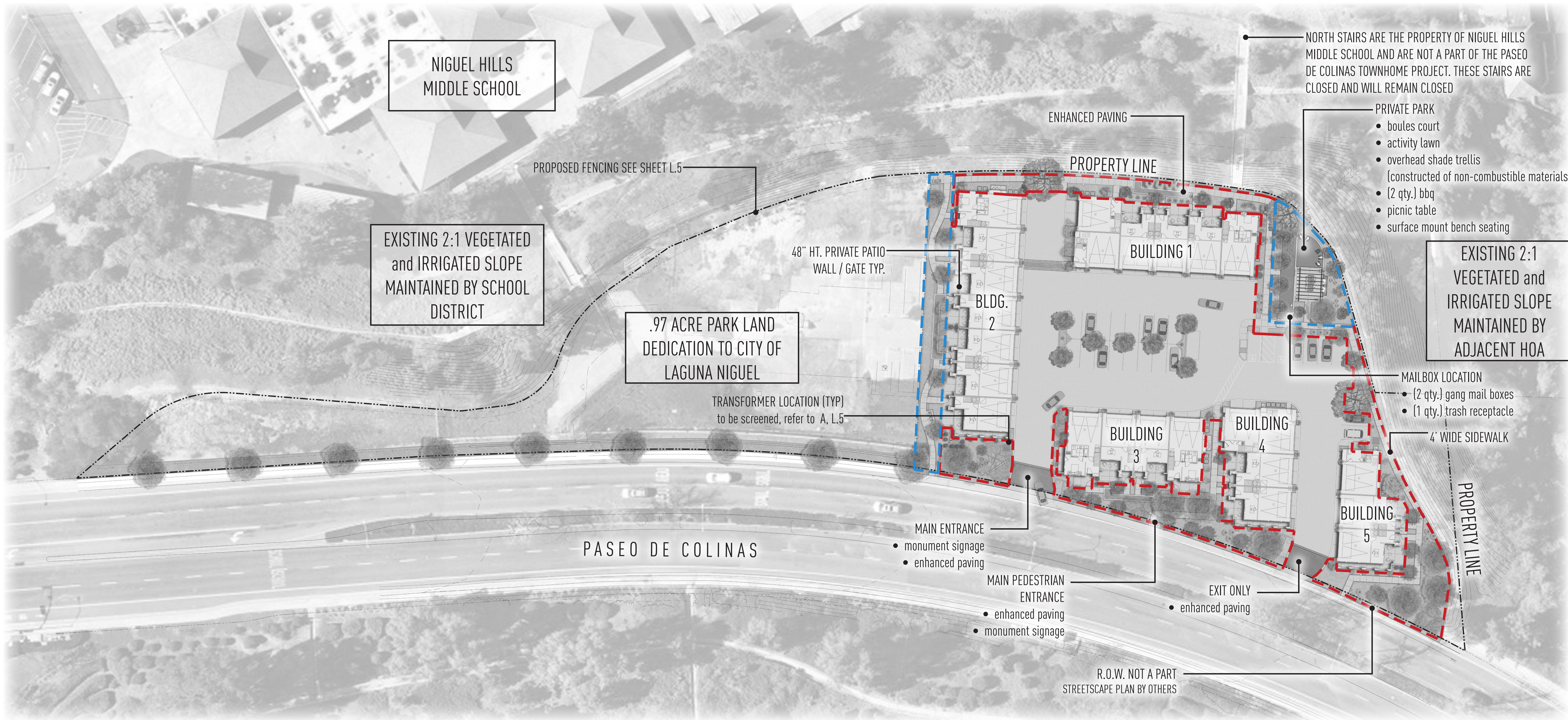
COLOR SCHEME 1



COLOR SCHEME 2



ALL METAL
SW 6258 TRICORN BLACK



| OPEN SPACE CALCULATIONS: | | |
|--------------------------|---|---|
| PER LNJC 9-1-35.13 | | |
| | BUILDABLE PROJECT AREA: | 62,004 S.F. |
| --- | COMMON OPEN AREA | |
| | COMMON OPEN AREA REQUIRED : (25% of BUILDABLE PROJECT AREA) | 15,682 S.F. (25%) |
| | COMMON OPEN AREA PROVIDED: | 17,974 S.F. (28.9%) |
| --- | ACTIVE RECREATION AREA | |
| | ACTIVE RECREATION AREA REQUIRED: (10% OF BUILDABLE PROJECT AREA AT LEAST 15' WIDE AND 300 S.F. IN AREA) | 6,009 S.F. (10% at >15' WIDE/300 sf) |
| | ACTIVE RECREATION AREA PROVIDED: | 6,462 S.F. (10.4%) |

| REFERENCE NOTES: |
|--|
| <ul style="list-style-type: none">• SEE SHEET L.2 FOR PLANT LIST• SEE SHEET L.6-L.7 FOR TREE AND SHRUB PLANS• SEE SHEET L.8 FOR PLANTING DETAILS• SEE SHEET L.9 FOR PLANTING SPECIFICATIONS |

| LANDSCAPE GUIDELINE NOTE: |
|---|
| PER LNJC 9-1-93.3(c), PROJECT FRONTAGE, ENTRY, BOUNDARY/INTERIOR, AND PEDESTRIAN AREA LANDSCAPE, AND COORDINATION OF LANDSCAPING AND UTILITIES, SHALL FOLLOW THE NONRESIDENTIAL LANDSCAPING GUIDELINES CONTAINED IN SECTION 9-1-92.3. AT LEAST 5% OF THE NET USABLE AREA OF THE PROJECT SITE IS LANDSCAPE, WITH AT LEAST HALF OF THAT LANDSCAPING LOCATED IN AREAS DEVOTED FOR PARKING. |


TOTAL NUMBER OF DWELLING UNITS: 24

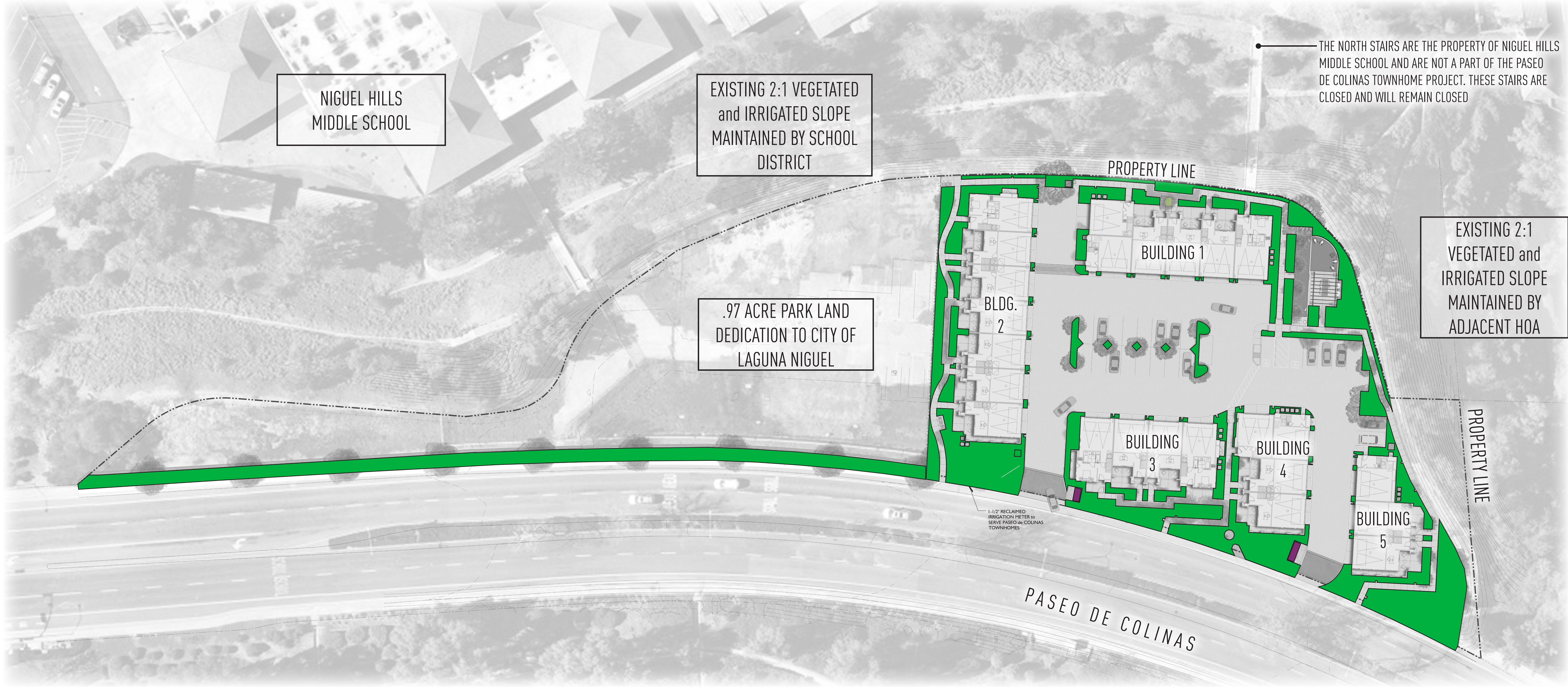
PASEO DE COLINAS TOWNHOMES - LAGUNA NIGUEL, CA

PROJECT DIMENSIONS

CONCEPTUAL LANDSCAPE PLAN - L.1

REVISED: MAY 13, 2024

| PROPOSED ENHANCED PAVING TREATMENT NOTE: | LANDSCAPE NOTES: | PROPOSED PLANT PALETTE: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|---|---|----------------|-------------|------|--------|----------------------|--|--|--|--------------------|------------------------|---------|-----|----------------------------------|--------|---------|-----|----------------------------|----------------|--------|----------|-------------------|-----------------|---------|-----|-------------------------|--------------|---------|----------|---------------------------|--------|---------|-----|---|-------------------|---------|-----|--------------------|----------------|---------|-----|----------------------|----------------------------|---------|----------|-----------------------------|--------------------------|---------|-----|-------------------|---------------------|---------|----------|--------------------------------------|------------------------|---------|----------|-------------------|----------------|---------|-----|---------------|----------|---------|-----|--------------------------------|------------------------|--------|-----|---------------------------------------|----------------------------|---------|----------|-------------|---------------|---------|-----|--------------------|------------------------|---------|-----|--------------------------|------------|---------|-----|--------------------------|----------|---------|-----|---------------------|--|--|--|---------------------------|-----------------------|-------|-----|--------------------|------------|-------|-----|-------------------|----------------|-------|-----|------------------|--------------------|-------|-----|--------------------|----------------|-------|-----|----------------------|------------------|-------|-----|-------------------------|--------------|-------|-----|-------------------------------|-----------------|-------|----------|-------------------------|------------|-------|----------|------------------------------|-------------|-------|-----|-----------------------------|-----------------------|-------|-----|--------------------------------------|----------------------|-------|-----|--------------------|------------------|--------|----------|----------------------|----------------|-------|-----|------------------------------------|--|--|--|------------------|----------------|-------|-----|---------------------------------|-------------------|-------|-----|--------------------------------|-----------|--------|-----|------------------------------------|----------------------|-------|-----|--|----------------------------|-------|-----|----------------------|-------------|-------|-----|------------------------------|----------------|-------|-----|---------------------|-----------|-------|-----|---------|--|--|--|-----------------|---------------|--------|-----|------------------|------------|---------|-----|---------------------------------------|--|--|--|----------------------|--------|-------|-----|-------------------|---------------|--------|-----|---------------------|--------------|-------|-----|-----------------------------------|-----------|-------|-----|-------------------------------|-----------|-------|-----|---------------------|---------------------------|-------|-----|------------------------------|-------------------------|-------|-----|-------------------------|-------|--------|-----|------------------|---------|-------|-----|---------------|--------------------|--------|-----|------------------------|-----------|-------|-----|--------------------------------|------------------------|-------|-----|----------------|-------------|-------|-----|--------------------------------|---------------|-------|-----|
| <div></div> <div>FLORENTINE PAVERS BY ACKERSTONE SIZE: 3" X 9" X 7 CM (PEDESTRIAN APPLICATION) 3" X 9" X 10 CM (VEHICULAR APPLICATION) COLOR: GENOVA BLEND, HERRINGBONE PATTERN</div> | <div><div><div>1. PROVIDE SIMPLE, BOLD, AND LOW MAINTENANCE LANDSCAPE PLANTING DESIGN WHICH INCORPORATES NON-INVASIVE AND WATER CONSERVING PLANT TYPES.</div><div>2. PROVIDE A VARIETY OF PLANT MATERIAL SHAPES, SIZES, AND TEXTURE IN AN INFORMAL ARRANGEMENT COMPATIBLE WITH THE ARCHITECTURAL THEME.</div><div>3. ALL LANDSCAPE IMPROVEMENTS WILL MEET THE REQUIREMENTS CONTINED IN THE CITY OF LAGUNA NIGUEL.</div><div>4. THE CONCEPTUAL LANDSCAPE PLAN HAS BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT.</div><div>5. LANDSCAPE SHALL BE DESIGNED, DOCUMENTED, INSTALLED, AND MAINTAINED IN CONFORMANCE TO THE GUIDELINES FOR IMPLEMENTATION OF THE CITY OF LAGUNA NIGUEL WATER EFFICIENT LANDSCAPE REGULATIONS.</div><div>6. ANY TREE WITHIN 5 FEET OF HARDSCAPE AREA SHALL RECEIVE ROOT CONTROL BARRIERS.</div><div>7. ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF WOOD MULCH.</div></div></div> <div>IRRIGATION NOTES:</div> <div><div>1. THE LANDSCAPE IRRIGATION DESIGN WILL BE DESIGNED TO PROVIDE THE MOST EFFICIENT AND CONSERVING MEANS TO DIS-TRIBUTE IRRIGATION WATER WITH THE LATEST TECHNOLOGY FOR WATER CONSERVATION</div><div>2. USE OF LOW WATER CONSUMPTIVE PLANT MATERIAL AND PROPER IRRIGATION TECHNIQUES CONFORM TO HYDROZONES, SUN, AND SHADE EXPOSURES, AND SOIL TYPES.</div><div>3. AUTOMATIC IRRIGATION CONTROLLERS WITH SOIL MOISTURE SENSORS / RAIN SENSORS SHALL BE UTILIZED</div><div>4. IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT RUNOFF, LOW HEAD DRAINAGE, AND OVERSPRAY</div><div>5. BACKFLOW PREVENTION DEVICES AND OTHER ABOVE-GROUND IRRIGATION MECHANICS TO BE SCREENED.</div><div>6. THIS PROJECT WILL BE IRRIGATED WITH RECLAIMED (NON-POTABLE) WATER</div></div> <div>WATER EFFICIENT LANDSCAPE STATEMENT:</div> <div>THE DESIGN OF THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF THE CITY'S WATER EFFICIENT LANDSCAPING REGULATIONS</div> | <div>ALL PROPOSED SHRUBS WILL BE COMPLIANT WITH CITY OF LAGUNA NIGUEL LANDSCAPE STANDARDS AND GUIDELINES - ATTACHMENT II, CAL GREEN REQUIREMENTS FOR WATER CONSERVING, AND NON-INVASIVE AS DEFINED BY IPC.</div> <table><tr><th>BOTANICAL NAME</th><th>COMMON NAME</th><th>SIZE</th><th>WUCOLS</th></tr><tr><td colspan="4">TREES / LARGE SHRUBS</td></tr><tr><td>ARBUTUS X 'MARINA'</td><td>MARINA STRAWBERRY TREE</td><td>36" BOX</td><td>LOW</td></tr><tr><td>CERCIS CANADENSIS 'FOREST PANSY'</td><td>REDBUD</td><td>36" BOX</td><td>LOW</td></tr><tr><td>DODONEA VISCOSA 'PURPUREA'</td><td>PURPLE HOPSEED</td><td>15 GAL</td><td>MODERATE</td></tr><tr><td>FEIJOA SELLOWIANA</td><td>PINEAPPLE GUAVA</td><td>24" BOX</td><td>LOW</td></tr><tr><td>LAGERSTROEMIA 'NATCHEZ'</td><td>CAPE MYRTL E</td><td>24" BOX</td><td>MODERATE</td></tr><tr><td>LAURUS NOBILIS 'SARATOGA'</td><td>LAUREL</td><td>36" BOX</td><td>LOW</td></tr><tr><td>LYONNOTHAMNUS FLORIBUNDUS ASPLENIFOLIUS</td><td>CATALINA IRONWOOD</td><td>36" BOX</td><td>LOW</td></tr><tr><td>MELALEUCA NESOFILA</td><td>PINK MELALEUCA</td><td>24" BOX</td><td>LOW</td></tr><tr><td>METROSIDEROS EXCELSA</td><td>NEW ZEALAND CHRISTMAS TREE</td><td>36" BOX</td><td>MODERATE</td></tr><tr><td>PARKINSONIA X DESERT MUSEUM</td><td>DESERT MUSEUM PALO VERDE</td><td>36" BOX</td><td>LOW</td></tr><tr><td>PLATANUS RACEMOSA</td><td>CALIFORNIA SYCAMORE</td><td>24" BOX</td><td>MODERATE</td></tr><tr><td>PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT'</td><td>CAROLINA CHERRY LAUREL</td><td>24" BOX</td><td>MODERATE</td></tr><tr><td>QUERCUS AGRIFOLIA</td><td>COAST LIVE OAK</td><td>60" BOX</td><td>LOW</td></tr><tr><td>QUERCUS SUBER</td><td>CORK OAK</td><td>48" BOX</td><td>LOW</td></tr><tr><td>RHAMNUS CALIFORNICA 'EVE CASE'</td><td>CALIFORNIA COFFEEBERRY</td><td>15 GAL</td><td>LOW</td></tr><tr><td>RHAPHIOLEPIS INDICA 'MAJESTIC BEAUTY'</td><td>INDIAN HAWTHORN, TREE FORM</td><td>24" BOX</td><td>MODERATE</td></tr><tr><td>RHUS LANCEA</td><td>AFRICAN SUMAC</td><td>36" BOX</td><td>LOW</td></tr><tr><td>STRELITZIA NICOLAI</td><td>GIANT BIRD OF PARADISE</td><td>24" BOX</td><td>LOW</td></tr><tr><td>UMBELLULARIA CALIFORNICA</td><td>BAY LAUREL</td><td>36" BOX</td><td>LOW</td></tr><tr><td>X CHITALPA TASHKINTENSIS</td><td>CHITALPA</td><td>36" BOX</td><td>LOW</td></tr><tr><td colspan="4">MEDIUM SIZED SHRUBS</td></tr><tr><td>BOUGAINVILLEA X 'ROSENKA'</td><td>ROSENKA BOUGAINVILLEA</td><td>5 GAL</td><td>LOW</td></tr><tr><td>CARISSA MACROCARPA</td><td>NATAL PLUM</td><td>5 GAL</td><td>LOW</td></tr><tr><td>CISTUS X HYBRIDUS</td><td>WHITE ROCKROSE</td><td>5 GAL</td><td>LOW</td></tr><tr><td>CORREA PULCHELLA</td><td>AUSTRALIAN FUCHSIA</td><td>5 GAL</td><td>LOW</td></tr><tr><td>DIETES GRANDIFLORA</td><td>FORTNIGHT LILY</td><td>5 GAL</td><td>LOW</td></tr><tr><td>LANTANA X 'NEW GOLD'</td><td>NEW GOLD LANTANA</td><td>5 GAL</td><td>LOW</td></tr><tr><td>LEUCOPHYLLUM FRUTESCENS</td><td>TEXAS RANGER</td><td>5 GAL</td><td>LOW</td></tr><tr><td>LIGUSTRUM JAPONICUM 'TEXANUM'</td><td>WAX LEAF PRIVET</td><td>5 GAL</td><td>MODERATE</td></tr><tr><td>MUHLENBERGIA CAPILLARIS</td><td>MUHL GRASS</td><td>5 GAL</td><td>MODERATE</td></tr><tr><td>OLEA EUROPAEA 'LITTLE OLLIE'</td><td>DWARF OLIVE</td><td>5 GAL</td><td>LOW</td></tr><tr><td>RHAPHIOLEPIS INDICA 'CLARA'</td><td>CLARA INDIAN HAWTHORN</td><td>5 GAL</td><td>LOW</td></tr><tr><td>ROSMARINUS OFFICINALIS 'TUSCAN BLUE'</td><td>TUSCAN BLUE ROSEMARY</td><td>5 GAL</td><td>LOW</td></tr><tr><td>STRELITZIA REGINAE</td><td>BIRD OF PARADISE</td><td>15 GAL</td><td>MODERATE</td></tr><tr><td>WESTRINGIA FRUTICOSA</td><td>COAST ROSEMARY</td><td>5 GAL</td><td>LOW</td></tr><tr><td colspan="4">UNDERSTORY SHRUBS AND GROUNDCOVERS</td></tr><tr><td>CAREX TUMULICOLA</td><td>FOOTHILL SEDGE</td><td>1 GAL</td><td>LOW</td></tr><tr><td>CISTUS SALVIFOLIUS 'PROSTRATUS'</td><td>SAGELEAF ROCKROSE</td><td>5 GAL</td><td>LOW</td></tr><tr><td>DIANELLA REVOLUTA 'LITTLE REV'</td><td>FLAX LILY</td><td>1 GARL</td><td>LOW</td></tr><tr><td>MYOPORUM PARVIFOLIUM 'PUTAH CREEK'</td><td>PUTAH CREEK MYOPORUM</td><td>5 GAL</td><td>LOW</td></tr><tr><td>ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'</td><td>HUNTINGTON CARPET ROSEMARY</td><td>5 GAL</td><td>LOW</td></tr><tr><td>SENECIO MANDRALISCAE</td><td>BLUE FINGER</td><td>1 GAL</td><td>LOW</td></tr><tr><td>WESTRINGIA FRUTICOSA 'MUNDI'</td><td>COAST ROSEMARY</td><td>5 GAL</td><td>LOW</td></tr><tr><td>TEUCRIUM CHAMAEDRYS</td><td>GERMANDER</td><td>1 GAL</td><td>LOW</td></tr><tr><td colspan="4">ACCENTS</td></tr><tr><td>AGAVE ATTENUATA</td><td>FOXTAIL AGAVE</td><td>15 GAL</td><td>LOW</td></tr><tr><td>ALOE ARBORESCENS</td><td>TORCH ALOE</td><td>24" BOX</td><td>LOW</td></tr><tr><td colspan="4">INTERPRETIVE GARDEN SHRUBS/PERENNIALS</td></tr><tr><td>ACHILLEA MILLEFOLIUM</td><td>YARROW</td><td>1 GAL</td><td>LOW</td></tr><tr><td>ALYOGYNE HUEGELII</td><td>BLUE HIBISCUS</td><td>15 GAL</td><td>LOW</td></tr><tr><td>BACCHARIS PILULARIS</td><td>COYOTE BRUSH</td><td>1 GAL</td><td>LOW</td></tr><tr><td>CEANOTHUS GRISEUS 'LOUIS EDMUNDS'</td><td>CEANOTHUS</td><td>5 GAL</td><td>LOW</td></tr><tr><td>CEANOTHUS G.H. 'YANKEE POINT'</td><td>CEANOTHUS</td><td>1 GAL</td><td>LOW</td></tr><tr><td>ENCELIA CALIFORNICA</td><td>CALIFORNIA BUSH SUNFLOWER</td><td>1 GAL</td><td>LOW</td></tr><tr><td>FREMONTODENDRON CALIFORNICUM</td><td>CALIFORNIA FLANNEL BUSH</td><td>5 GAL</td><td>LOW</td></tr><tr><td>HETEROMELES ARBUTIFOLIA</td><td>TOYON</td><td>15 GAL</td><td>LOW</td></tr><tr><td>LIMONIUM PEREZII</td><td>STATICE</td><td>5 GAL</td><td>LOW</td></tr><tr><td>NOLINA PARRYI</td><td>PARRY'S BEAR GRASS</td><td>15 GAL</td><td>LOW</td></tr><tr><td>PENSTEMON HETEROPHYLLA</td><td>PENSTEMON</td><td>1 GAL</td><td>LOW</td></tr><tr><td>RHAMNUS CALIFORNICA 'EVE CASE'</td><td>CALIFORNIA COFFEEBERRY</td><td>5 GAL</td><td>LOW</td></tr><tr><td>SALVIA GREGGII</td><td>AUTUMN SAGE</td><td>5 GAL</td><td>LOW</td></tr><tr><td>SALVIA SONOMENSIS 'MRS. BEARD'</td><td>CREEPING SAGE</td><td>1 GAL</td><td>LOW</td></tr></table> | BOTANICAL NAME | COMMON NAME | SIZE | WUCOLS | TREES / LARGE SHRUBS | | | | ARBUTUS X 'MARINA' | MARINA STRAWBERRY TREE | 36" BOX | LOW | CERCIS CANADENSIS 'FOREST PANSY' | REDBUD | 36" BOX | LOW | DODONEA VISCOSA 'PURPUREA' | PURPLE HOPSEED | 15 GAL | MODERATE | FEIJOA SELLOWIANA | PINEAPPLE GUAVA | 24" BOX | LOW | LAGERSTROEMIA 'NATCHEZ' | CAPE MYRTL E | 24" BOX | MODERATE | LAURUS NOBILIS 'SARATOGA' | LAUREL | 36" BOX | LOW | LYONNOTHAMNUS FLORIBUNDUS ASPLENIFOLIUS | CATALINA IRONWOOD | 36" BOX | LOW | MELALEUCA NESOFILA | PINK MELALEUCA | 24" BOX | LOW | METROSIDEROS EXCELSA | NEW ZEALAND CHRISTMAS TREE | 36" BOX | MODERATE | PARKINSONIA X DESERT MUSEUM | DESERT MUSEUM PALO VERDE | 36" BOX | LOW | PLATANUS RACEMOSA | CALIFORNIA SYCAMORE | 24" BOX | MODERATE | PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' | CAROLINA CHERRY LAUREL | 24" BOX | MODERATE | QUERCUS AGRIFOLIA | COAST LIVE OAK | 60" BOX | LOW | QUERCUS SUBER | CORK OAK | 48" BOX | LOW | RHAMNUS CALIFORNICA 'EVE CASE' | CALIFORNIA COFFEEBERRY | 15 GAL | LOW | RHAPHIOLEPIS INDICA 'MAJESTIC BEAUTY' | INDIAN HAWTHORN, TREE FORM | 24" BOX | MODERATE | RHUS LANCEA | AFRICAN SUMAC | 36" BOX | LOW | STRELITZIA NICOLAI | GIANT BIRD OF PARADISE | 24" BOX | LOW | UMBELLULARIA CALIFORNICA | BAY LAUREL | 36" BOX | LOW | X CHITALPA TASHKINTENSIS | CHITALPA | 36" BOX | LOW | MEDIUM SIZED SHRUBS | | | | BOUGAINVILLEA X 'ROSENKA' | ROSENKA BOUGAINVILLEA | 5 GAL | LOW | CARISSA MACROCARPA | NATAL PLUM | 5 GAL | LOW | CISTUS X HYBRIDUS | WHITE ROCKROSE | 5 GAL | LOW | CORREA PULCHELLA | AUSTRALIAN FUCHSIA | 5 GAL | LOW | DIETES GRANDIFLORA | FORTNIGHT LILY | 5 GAL | LOW | LANTANA X 'NEW GOLD' | NEW GOLD LANTANA | 5 GAL | LOW | LEUCOPHYLLUM FRUTESCENS | TEXAS RANGER | 5 GAL | LOW | LIGUSTRUM JAPONICUM 'TEXANUM' | WAX LEAF PRIVET | 5 GAL | MODERATE | MUHLENBERGIA CAPILLARIS | MUHL GRASS | 5 GAL | MODERATE | OLEA EUROPAEA 'LITTLE OLLIE' | DWARF OLIVE | 5 GAL | LOW | RHAPHIOLEPIS INDICA 'CLARA' | CLARA INDIAN HAWTHORN | 5 GAL | LOW | ROSMARINUS OFFICINALIS 'TUSCAN BLUE' | TUSCAN BLUE ROSEMARY | 5 GAL | LOW | STRELITZIA REGINAE | BIRD OF PARADISE | 15 GAL | MODERATE | WESTRINGIA FRUTICOSA | COAST ROSEMARY | 5 GAL | LOW | UNDERSTORY SHRUBS AND GROUNDCOVERS | | | | CAREX TUMULICOLA | FOOTHILL SEDGE | 1 GAL | LOW | CISTUS SALVIFOLIUS 'PROSTRATUS' | SAGELEAF ROCKROSE | 5 GAL | LOW | DIANELLA REVOLUTA 'LITTLE REV' | FLAX LILY | 1 GARL | LOW | MYOPORUM PARVIFOLIUM 'PUTAH CREEK' | PUTAH CREEK MYOPORUM | 5 GAL | LOW | ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' | HUNTINGTON CARPET ROSEMARY | 5 GAL | LOW | SENECIO MANDRALISCAE | BLUE FINGER | 1 GAL | LOW | WESTRINGIA FRUTICOSA 'MUNDI' | COAST ROSEMARY | 5 GAL | LOW | TEUCRIUM CHAMAEDRYS | GERMANDER | 1 GAL | LOW | ACCENTS | | | | AGAVE ATTENUATA | FOXTAIL AGAVE | 15 GAL | LOW | ALOE ARBORESCENS | TORCH ALOE | 24" BOX | LOW | INTERPRETIVE GARDEN SHRUBS/PERENNIALS | | | | ACHILLEA MILLEFOLIUM | YARROW | 1 GAL | LOW | ALYOGYNE HUEGELII | BLUE HIBISCUS | 15 GAL | LOW | BACCHARIS PILULARIS | COYOTE BRUSH | 1 GAL | LOW | CEANOTHUS GRISEUS 'LOUIS EDMUNDS' | CEANOTHUS | 5 GAL | LOW | CEANOTHUS G.H. 'YANKEE POINT' | CEANOTHUS | 1 GAL | LOW | ENCELIA CALIFORNICA | CALIFORNIA BUSH SUNFLOWER | 1 GAL | LOW | FREMONTODENDRON CALIFORNICUM | CALIFORNIA FLANNEL BUSH | 5 GAL | LOW | HETEROMELES ARBUTIFOLIA | TOYON | 15 GAL | LOW | LIMONIUM PEREZII | STATICE | 5 GAL | LOW | NOLINA PARRYI | PARRY'S BEAR GRASS | 15 GAL | LOW | PENSTEMON HETEROPHYLLA | PENSTEMON | 1 GAL | LOW | RHAMNUS CALIFORNICA 'EVE CASE' | CALIFORNIA COFFEEBERRY | 5 GAL | LOW | SALVIA GREGGII | AUTUMN SAGE | 5 GAL | LOW | SALVIA SONOMENSIS 'MRS. BEARD' | CREEPING SAGE | 1 GAL | LOW |
| | BOTANICAL NAME | COMMON NAME | SIZE | WUCOLS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | TREES / LARGE SHRUBS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ARBUTUS X 'MARINA' | MARINA STRAWBERRY TREE | 36" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CERCIS CANADENSIS 'FOREST PANSY' | REDBUD | 36" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DODONEA VISCOSA 'PURPUREA' | PURPLE HOPSEED | 15 GAL | MODERATE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FEIJOA SELLOWIANA | PINEAPPLE GUAVA | 24" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LAGERSTROEMIA 'NATCHEZ' | CAPE MYRTL E | 24" BOX | MODERATE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LAURUS NOBILIS 'SARATOGA' | LAUREL | 36" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LYONNOTHAMNUS FLORIBUNDUS ASPLENIFOLIUS | CATALINA IRONWOOD | 36" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MELALEUCA NESOFILA | PINK MELALEUCA | 24" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| METROSIDEROS EXCELSA | NEW ZEALAND CHRISTMAS TREE | 36" BOX | MODERATE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PARKINSONIA X DESERT MUSEUM | DESERT MUSEUM PALO VERDE | 36" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PLATANUS RACEMOSA | CALIFORNIA SYCAMORE | 24" BOX | MODERATE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| QUERCUS AGRIFOLIA | COAST LIVE OAK | 60" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| QUERCUS SUBER | CORK OAK | 48" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RHAMNUS CALIFORNICA 'EVE CASE' | CALIFORNIA COFFEEBERRY | 15 GAL | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RHAPHIOLEPIS INDICA 'MAJESTIC BEAUTY' | INDIAN HAWTHORN, TREE FORM | 24" BOX | MODERATE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| UMBELLULARIA CALIFORNICA | BAY LAUREL | 36" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| X CHITALPA TASHKINTENSIS | CHITALPA | 36" BOX | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| BOUGAINVILLEA X 'ROSENKA' | ROSENKA BOUGAINVILLEA | 5 GAL | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| DIETES GRANDIFLORA | FORTNIGHT LILY | 5 GAL | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| LEUCOPHYLLUM FRUTESCENS | TEXAS RANGER | 5 GAL | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LIGUSTRUM JAPONICUM 'TEXANUM' | WAX LEAF PRIVET | 5 GAL | MODERATE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| WESTRINGIA FRUTICOSA | COAST ROSEMARY | 5 GAL | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| SALVIA SONOMENSIS 'MRS. BEARD' | CREEPING SAGE | 1 GAL | LOW | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OCFA NOTES: | TREE AND SHRUB PLANS: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <div><ul style="list-style-type: none">ALL LANDSCAPE AREAS SHALL BE DEVOID OF PLANT MATERIAL FROM OCFA ATTACHMENT 7, "UNDESIRABLE PLANT SPECIES LIST."OVERHEAD SHADE TRELLIS IN PRIVATE PARK SHOWN ON SHEET L.1 TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (STEEL, METAL OR CONCRETE)".</div> | <div><ul style="list-style-type: none">REFER TO SHEETS L.6 FOR TREE PLANSREFER TO SHEETS L.7 FOR SHRUB PLANSREFER TO SHEET L.8 FOR PLANTING DETAILSREFER TO SHEET L.9 FOR PLANTING SPECIFICATIONS</div> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | SCREENING NOTES: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | RESIDENTIAL SURFACE PARKING SHALL BE SCREENED FROM PASEO DE COLINAS AT THE PROJECT PERIMETER PER LNZC 9-1-45.4. THIS INCLUDES FENCING, WALLS, HEDGES, OR A THICK GROWTH OF SHRUBS/TREES (VEGETATION AT LEAST 42" HIGH TO CREATE A SCREEN BLOCKING AT LEAST 50% OF THE VIEW THROUGH THE VEGETATION OVER A HORIZ. DISTANCE OF 5' OR GREATER. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



| WATER EFFICIENT LANDSCAPE WORKSHEET | | | | | | |
|---|-------------------|--------------------|-----------------------------|-------------|---|---|
| Reference Evapotranspiration (ET _o) | | | ETAF for MAWA | | | |
| 46.50 | | | 0.55 (Residential) | | | |
| Hydrozone # (Planting Description*) | Plant Factor (PF) | Irrigation Method* | Irrigation Efficiency (IE)* | ETAF (PFIE) | Landscape Area (sq. ft.) | Estimated Total Water Use (ETWU) ² |
| Regular Landscape Areas | | | | | | |
| | 0.30 | drip | 0.81 | 0.37 | | |
| | 0.50 | drip | 0.81 | 0.62 | | |
| | | | | Totals | | |
| Special Landscape Areas | | | | | | |
| Hydrozone #1 Moderate | | | 1.00 | 13,134 | 13,134 | 378,653 |
| Hydrozone #2 WQMP | | | 1.00 | 80 | 80 | 2,306 |
| | | | | Totals | 13,214 | 380,959 |
| | | | | | ETWU Total | 380,960 |
| | | | | | Maximum Allowed Water Allowance (MAWA) ³ | 380,960 |
| *Hydrozone #/Planting Description | | | | | | |
| E.g. 1) front lawn 2) low water use plantings 3) medium water use planting | | | | | | |
| *Irrigation Method | | | | | | |
| overhead spray or drip | | | | | | |
| *Irrigation Efficiency | | | | | | |
| 0.75 for spray head 0.81 for drip | | | | | | |
| *ETWU (Annual Gallons Required) | | | | | | |
| = ET _o x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. | | | | | | |
| *MAWA (Annual Gallons Allowed) = (ET _o) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas. | | | | | | |
| ETAF Calculations | | | | | | |
| Regular Landscape Areas | | | | | | |
| Total ETAF x Area | | | | | | |
| Total Area | | | | | | |
| Average ETAF | | | | | | |
| All Landscape Areas | | | | | | |
| Total ETAF x Area | | | | | | |
| Total Area | | | | | | |
| Site-wide ETAF | | | | | | |
| | | | | | | |
| Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas. | | | | | | |
| Eto data for city of Laguna Niguel from MVEL Appendix A | | | | | | |
| 2/17/2023 | | | | | | |

| IRRIGATION HYDROZONES: | | |
|------------------------|---|-------------|
| <div></div> | HYDRO-ZONE 1 - H.O.A Common Area - - Moderate and Low Water use plants. - Sub Surface Irrigation - Reclaimed Water | 13,134 s.f. |
| <div></div> | HYDRO-ZONE 2 - Water Quality Modular - - Moderate Water use Plants - Sub Surface Irrigation - Reclaimed Water | 80 s.f. |
| TOTAL LANDSCAPE AREA: | | 13,214 s.f. |

* NOTE ALL LANDSCAPE AREAS WILL BE IRRIGATED FROM A RECLAIMED IRRIGATION METER

| WATER CONSERVATION FEATURES | |
|--|----------------------------|
| THE FOLLOWING MEASURES WILL BE INCORPORATED INTO THE PROJECT TO CONSERVE WATER: | |
| 1. Installation of automatic 'smart' irrigation controller with rain-sensor. 2. The use of low precipitation/low angle irrigation spray heads. 3. The use of low water consuming plants. 4. Soil amendment to achieve good soil moisture retention. 5. Mulching to reduce evapotranspiration from the root zone. 6. Installation of automatic irrigation system to provide deep-root watering to trees is required. | |
| WATER USE CLASSIFICATION of LANDSCAPE SPECIES (WUCOLS): | |
| WUCOLS, Water Use Classification of Landscape Species, is a University of California Cooperative Extension Publication and is a guide to the water needs of landscape plants. | |
| CROP FACTOR | PERCENT OF ET _o |
| H - HIGH | 70% - 90% |
| M - MEDIUM | 40% - 60% |
| L - LOW | 10% - 30% |
| VL - VERY LOW | < 10% |

| WATER CONSERVATION STATEMENT | |
|---|--|
| PURPOSE: To provide the maintenance staff a mechanical device to distribute water and ensure plant survival in the most efficient manner and within a time frame that least interferes with the activities of the community. | |
| The Irrigation system for each hydrozone will be automatic and incorporate low volume sub surface dripper line with in-line emitters and low flow bubblers for the trees. Drip irrigation valves will be used to conserve water and eliminate over spray onto adjacent hardscape surfaces. Irrigation valves will be separated to planting requirements and hydrozones. Trees will also be separated onto their own valves. | |
| Planting will be designed to enhance the visual character of the site and the architectural elements. Plants shall be grouped with similar water, climatic and soil requirements to conserve water and create a drought responsive landscape. | |
| Each hydrozone consists of moderate to low water consuming plants. In all landscape areas the soil shall be properly amended to retain moisture for healthy growth and to conserve water. | |
| Plant Material within each hydrozone shall be specified in consideration of north, south, east and west exposures. | |
| Soil shall be prepared and amended to provide for maximum moisture retention and percolation. Planted areas shall be mulched to retain soil moisture and reduce evapotranspiration. | |
| To avoid wasted water, the controls will be overseen by a flow monitor that will detect any broken sprinkler heads to stop that station's operation, advancing to the next workable station. In the event of pressure supply line breakage, it will completely stop the operation of the system. All material will be nonferrous, with the exception of the brass piping into and out of the backflow units. All work will be in the best acceptable manner in accordance with applicable codes and standards prevailing in the industry. | |

PASEO DE COLINAS TOWNHOMES - LAGUNA NIGUEL, CA

PROJECT DIMENSIONS

REVISED: MAY 13, 2024

IRRIGATION HYDROZONE PLAN - L.3



FRONT



REAR

BUILDING ELEVATION - 4 PLEX (BUILDINGS 3)



REAR



FRONT

BUILDING ELEVATION - 6 PLEX (BUILDING 1)



FRONT

BUILDING ELEVATION - 4 PLEX (BUILDINGS 4 & 5)

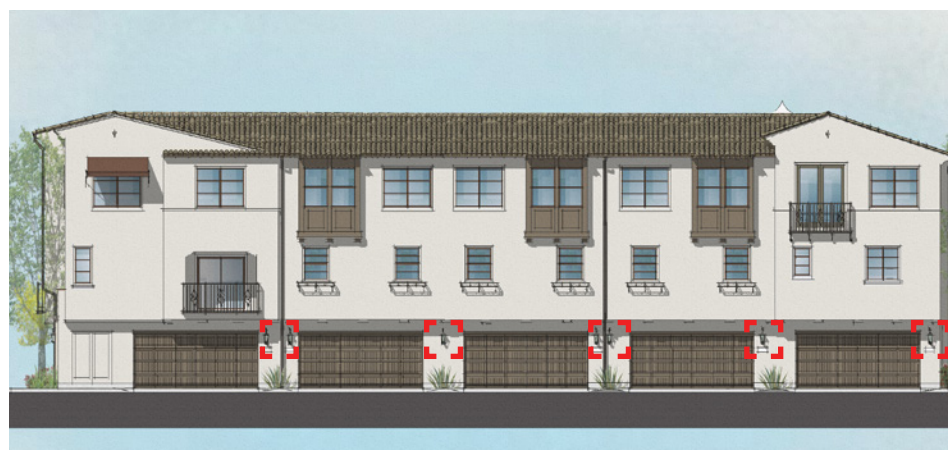


REAR



FRONT

BUILDING ELEVATION - 5 PLEX (BUILDING 2)



REAR

NIGUEL HILLS
MIDDLE SCHOOL

EXISTING 2:1 VEGETATED
and IRRIGATED SLOPE
MAINTAINED BY SCHOOL
DISTRICT

.97 ACRE PARK LAND
DEDICATION TO CITY OF
LAGUNA NIGUEL

NORTH STAIRS ARE THE PROPERTY OF NIGUEL HILLS
MIDDLE SCHOOL AND ARE NOT A PART OF THE PASEO
DE COLINAS TOWNHOME PROJECT. THESE STAIRS ARE
CLOSED AND WILL REMAIN CLOSED

EXISTING 2:1
VEGETATED and
IRRIGATED SLOPE
MAINTAINED BY
ADJACENT HOA

PROPERTY LINE

BUILDING 1

BUILDING 2

BUILDING 3

BUILDING 4

BUILDING 5

PROPERTY LINE

PASEO DE COLINAS

EXTERIOR LIGHTING LEGEND

EXTERIOR LIGHTING TO MEET LNZC 9-1-35.15 REQUIREMENTS

| SYMBOL | TYPE/TECHNIQUE: | LOCATION: |
|--------|--|---|
| | COMMUNITY and COMMON VEHICULAR POLE LIGHT (FULL SHIELDS) 10' TALL ON 24" H.T. CONCRETE FOOTING | VEHICULAR DRIVES PARKING AREA |
| | 42" HT BOLLARD | COMMUNITY WALK WAYS |
| | BUILDING MOUNTED FIXTURES | LOCATED NEAR ENTRY DOORS (FINAL LOCATION PER ARCHITECT) SEE FRONT ELEVATION BELOW |
| | DRIVEWAY SCONCE | CENTERED BETWEEN GARAGE (FINAL LOCATION PER ARCHITECT) |
| | MONUMENT SIGN LIGHT | MAIN ENTRANCE MONUMENT SIGNAGE |

LIGHTING CONCEPT

THE OUTDOOR LIGHTING CONCEPT IS TO PROVIDE LEVELS OF LIGHTING SUFFICIENT TO MEET SAFETY AND ORIENTATION NEEDS.

WITHIN PUBLIC AREAS LIGHTING WILL BE WARM COLORED AND UNOBTUSIVE. LIGHT SOURCES WILL BE I.E.D. OR METAL HALIDE.

LIGHTING SOURCES FOR THE LANDSCAPE AND PAVED AREAS WILL BE CONCEALED AND THE LIGHTING INDIRECT NOT VISIBLE FROM A PUBLIC VIEWPOINT. LIGHT SOURCES SHOULD BE DIRECTED SO THAT IT DOES NOT FALL OUTSIDE THE AREA TO BE LIGHTED. **SHIELDS WILL BE USED TO DIRECT LIGHT DOWNWARD.**

ALL EXTERIOR SURFACE AND ABOVE-GROUND MOUNTED FIXTURES WILL BE COMPLIMENTARY TO THE ARCHITECTURAL THEME.

GENERAL SITE LIGHTING NOTES

- 1 ALL LIGHTING FIXTURES AND ELECTRICAL INSTALLATION SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODES AND LOCAL GOVERNMENT AGENCY.
- 2 CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
- 3 THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- 4 ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT UNIFORM BUILDING CODES, PERMIT REQUIREMENTS AND STATE AND HEALTH SAFETY REQUIREMENTS.
- 5 ALL ELECTRICAL FIXTURES ARE SHOWN SCHEMATICALLY FOR LOCATIONS AND QUANTITIES REQUIRED. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND INSTALL FIXTURES PER MANUFACTURERS SPECIFICATIONS.

PHOTOMETRICS PROVIDED BY CANDELA
ENGINEERING, SEE SHEET L.14

FIXTURES



COMMUNITY
VEHICULAR POLE LIGHT



42" HT. PEDESTRIAN
BOLLARD

PASEO DE COLINAS TOWNHOMES - LAGUNA NIGUEL, CA

PROJECT DIMENSIONS

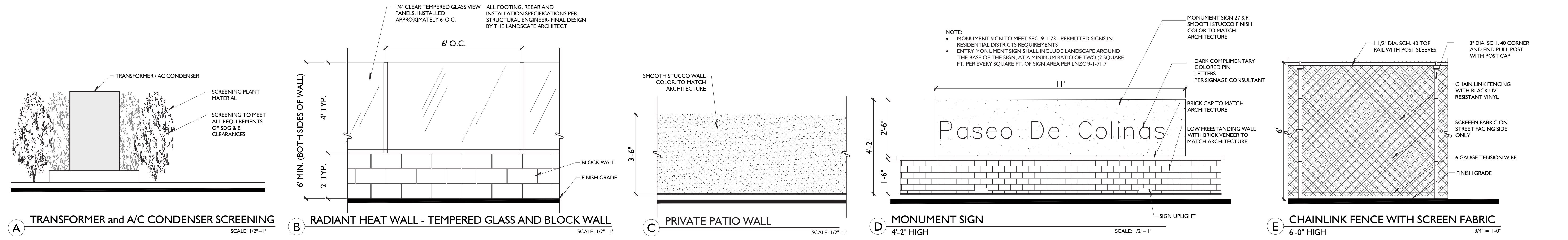
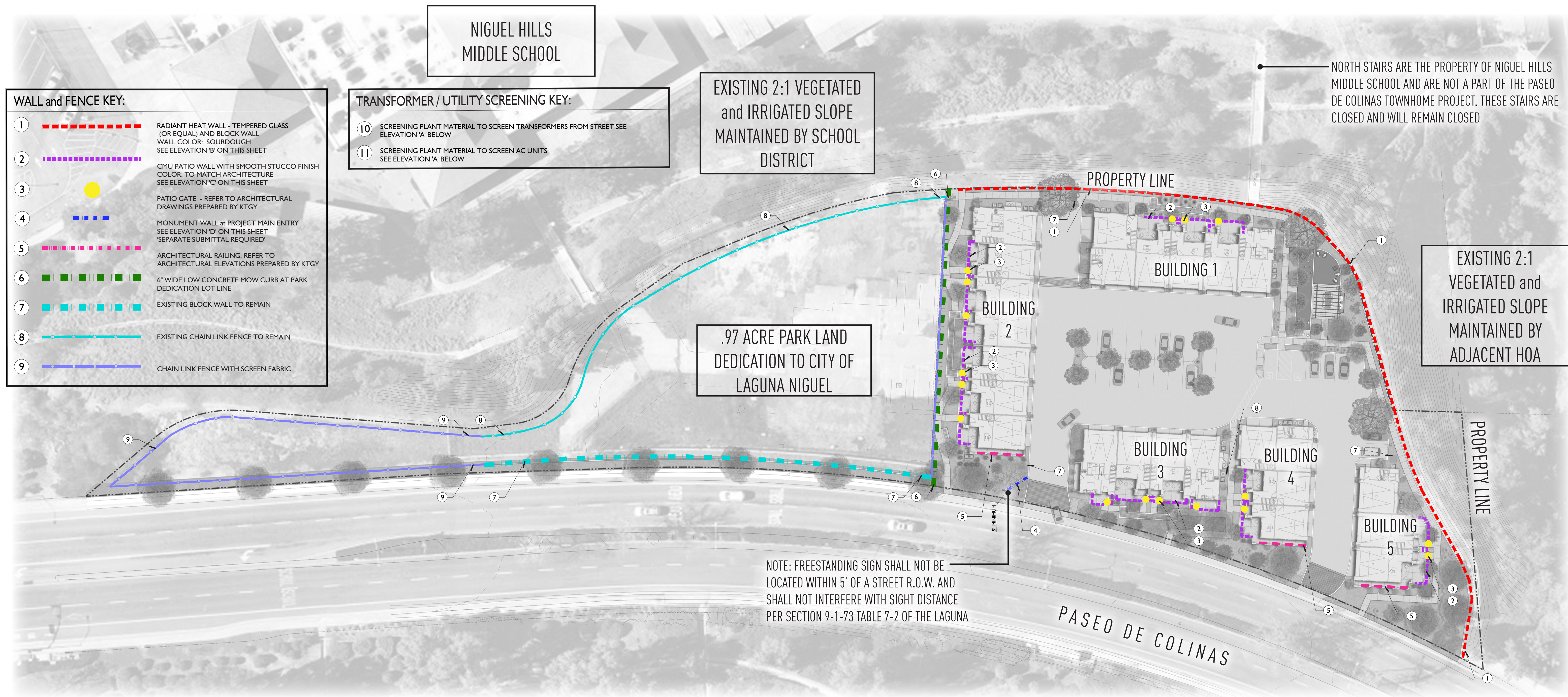
REVISED: MAY 13, 2024

SITE LIGHTING PLAN - L.4



0' 15' 30' 60'





PASEO DE COLINAS TOWNHOMES - LAGUNA NIGUEL, CA

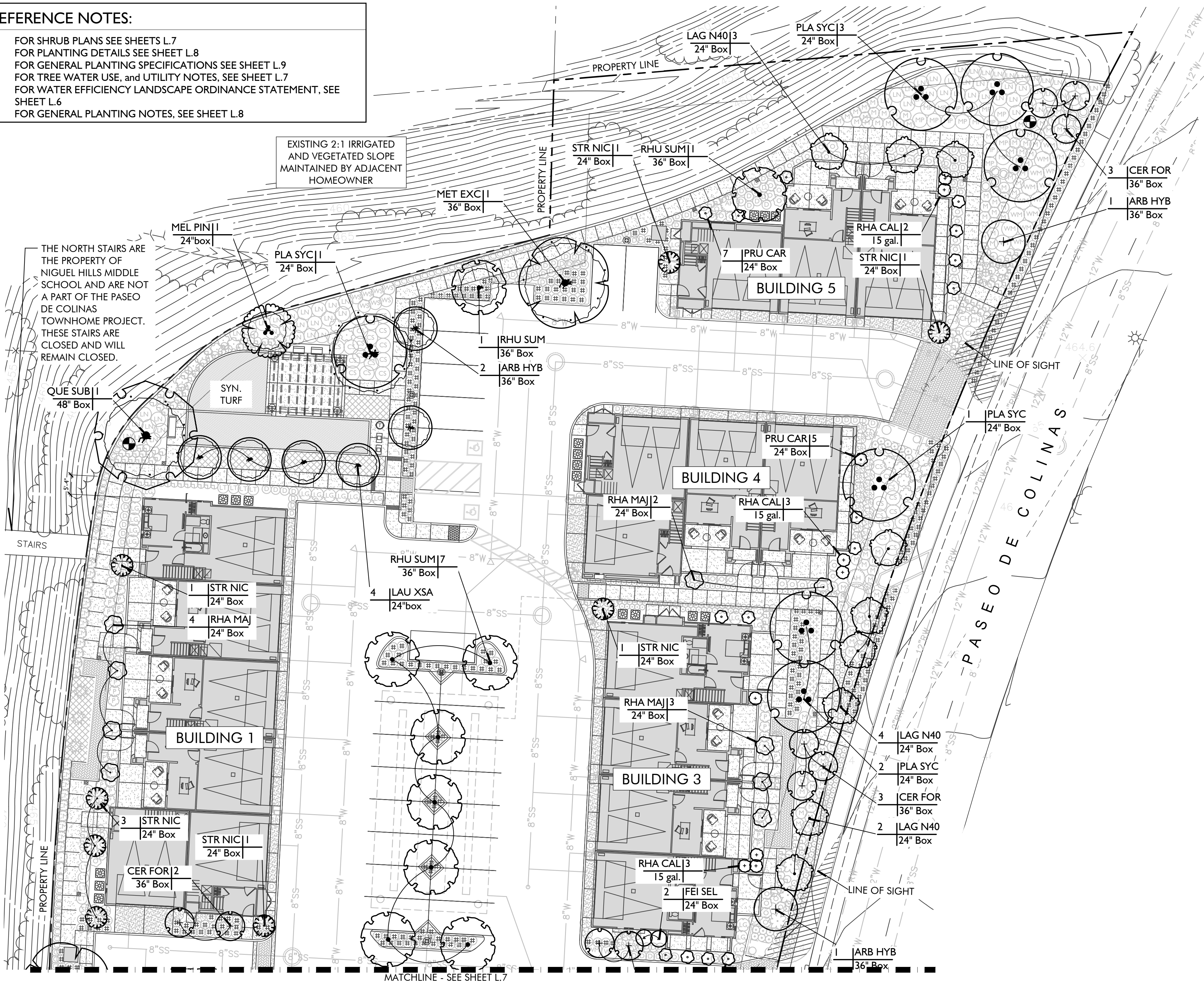
PROJECT DIMENSIONS

REVISED: MAY 13, 2024

WALL, FENCE and UTILITY SCREENING PLAN - L.5

REFERENCE NOTES:

- FOR SHRUB PLANS SEE SHEETS L.7
- FOR PLANTING DETAILS SEE SHEET L.8
- FOR GENERAL PLANTING SPECIFICATIONS SEE SHEET L.9
- FOR TREE WATER USE, and UTILITY NOTES, SEE SHEET L.7
- FOR WATER EFFICIENCY LANDSCAPE ORDINANCE STATEMENT, SEE SHEET L.6
- FOR GENERAL PLANTING NOTES, SEE SHEET L.8



OCFA PLANT SPECIES NOTE:

ALL LANDSCAPE AREAS SHALL BE DEVOID OF PLANT MATERIAL FROM OCFA ATTACHMENT 7, "UNDESIRABLE PLANT SPECIES LIST"

LINE OF SIGHT NOTE:

- NO SHRUB PLANTING MORE THAN 3' HIGH WITHIN LINE OF SIGHT AREAS
- NO TREE PLANTING WITH BRANCHES LESS THAN 7' WITHIN LINE OF SIGHT AREAS

TREE PLANT SCHEDULE

| CODE | BOTANICAL / COMMON NAME | SIZE | WUCOLS | QTY |
|---------|--|---------|----------|-----|
| TREES | | | | |
| ARB HYB | ARBUTUS X 'MARINA' MARINA STRAWBERRY TREE - STANDARD | 36" BOX | LOW | 4 |
| CER FOR | CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY EASTERN REDBUD | 36" BOX | MODERATE | 13 |
| FEI SEL | FEIJOA SELLOWIANA PINEAPPLE GUAVA - SHRUB FORM | 24" BOX | LOW | 2 |
| LAG N40 | LAGERSTROEMIA 'NATCHEZ' NATCHEZ CRAPE MYRTLE | 24" BOX | MODERATE | 9 |
| LAU XSA | LAURUS X 'SARATOGA' SARATOGA HYBRID LAUREL STANDARD FORM | 24"BOX | LOW | 10 |
| MEL PIN | MELALEUCA NESOPHILA PINK MELALEUCA MULTI-TRUNK | 24"BOX | LOW | 1 |
| MET EXC | METROSIDEROS EXCELSA N.Z. CHRISTMAS TREE - STANDARD FORM | 36" BOX | MODERATE | 2 |
| PLA SYC | PLATANUS RACEMOSA CALIFORNIA SYCAMORE MULTI-TRUNK | 24" BOX | MODERATE | 8 |
| PLA RAC | PLATANUS RACEMOSA CALIFORNIA SYCAMORE - STANDARD FORM | 24"BOX | MODERATE | 9 |
| PRU CAR | PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' CAROLINA CHERRY LAUREL - COLUMNS | 24" BOX | MODERATE | 16 |
| QUE MUL | QUERCUS AGRIFOLIA COAST LIVE OAK MULTI-TRUNK | 48" BOX | LOW | 1 |
| QUE SUB | QUERCUS SUBER CORK OAK | 48" BOX | LOW | 1 |
| RHA CAL | RHAMNUS CALIFORNICA 'EVE CASE' CALIFORNIA COFFEEBERRY - SHRUB FORM | 15 GAL. | LOW | 24 |
| RHA MAJ | RHAPHIOLEPIS INDICA 'MAJESTIC BEAUTY' INDIAN HAWTHORN, TREE FORM | 24" BOX | MODERATE | 11 |
| RHU SUM | RHUS LANCEA AFRICAN SUMAC - STANDARD FORM | 36" BOX | LOW | 9 |
| STR NIC | STRELITZIA NICOLAI GIANT BIRD OF PARADISE | 24" BOX | LOW | 10 |

QUANTITIES NOTE:

CONTRACTOR TO NOTE THAT THE QUANTITIES ON LEGEND AND PLANT CALLOUTS HAVE BEEN PROVIDED FOR QUICK REFERENCE ONLY. IT IS RECOMMENDED THAT THE CONTRACTOR NOT RELY ON THE ACCURACY OF THESE QUANTITIES AND PROVIDE THEIR OWN PLANT MATERIAL COUNTS AT THE TIME OF PREPARING BID. ANY DISCREPANCY IN THE PLANT QUANTITIES AND SIZES SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECTS.

AGRONOMIC SOILS REPORT NOTE:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THREE (3) AGRONOMIC SOILS TESTS AND INSTALL PLANT MATERIAL PER REPORT AND SOIL RECOMMENDATIONS.

TREE ROOT BARRIER NOTE:

ROOT BARRIERS ARE REQUIRED WHERE BOX PLANT MATERIAL IS PLANTED LESS THAN FIFTEEN (15) FEET OF SIDEWALK, WALLS, BUILDINGS, STRUCTURES, CURBS, PAVING, PUBLIC IMPROVEMENTS WITHIN R.O.V. (TYP.), WATER, SEWER, STORM DRAIN, ETC. ROOT BARRIER SHALL BE INSTALLED AT HARDSCAPE EDGE WITH PERCOLATION TESTS OR UTILIZE STRUCTURAL SOIL. BARRIER SHALL BE THE LENGTH OF THE ULTIMATE CANOPY OF THE TREE or FULL LENGTH OF HEDGE.

TREE PLACEMENT NOTE:

CONTRACTOR TO LOCATE ALL DRAIN LINES IN FIELD PRIOR TO THE INSTALLATION OF TREES. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT WITH TREE LOCATIONS WITH STORM DRAIN LINES.

TREE STAKING NOTE:

- ALL TREES TO BE STAKED PER TREE STAKING DETAIL.

WATER EFFICIENCY LANDSCAPE ORDINANCE

STATEMENT:
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

MARK SCHATTINGER, CALIFORNIA LICENSED LANDSCAPE ARCHITECT #3235

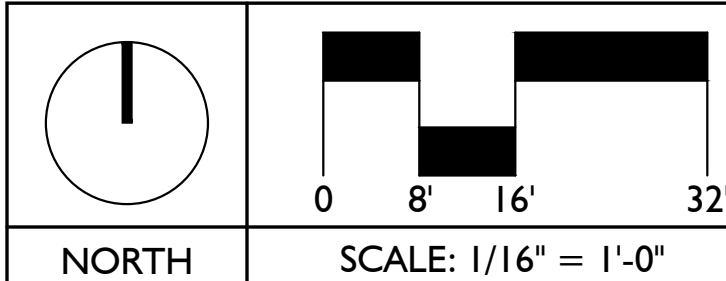
ORDINANCE # 2009-156
RESOLUTION# 2009-984
A.B. 1881

LAGUNA NIGUEL PLANTING NOTE:

MINIMUM TREE/SHRUB SIZES, PERCENTAGES, AND PLACEMENT SHALL BE MET PURSUANT TO LN2C 9-1-92.3j

MAINTENANCE RESPONSIBILITY

- ALL LANDSCAPE AREAS TO BE HOMEOWNERS ASSOCIATION MAINTAINED
- LANDSCAPE CONTRACTOR TO PROVIDE MAINTENANCE SCHEDULE FOR COMMON AREAS



Issued for:

| | |
|----------|----------------------|
| 05/17/23 | SUBMITTAL #6 |
| 06/12/23 | SUBMITTAL #7 |
| 02/12/24 | SUBMITTAL #8 |
| 03/01/24 | SUBMITTAL #9 |
| 05/13/24 | REVISED SUBMITTAL #9 |

Revisions:

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| | | |
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| | | |
| | | |
| | | |



507 30th Street
Newport Beach, CA 92663
949.675.9964
mjs-la.com

Project:

PASEO DE COLINAS TOWNHOMES

LAGUNA NIGUEL, CA
SITE DEVELOPMENT
PERMIT #SP20-02

Client Representative:

PROJECT DIMENSIONS

4 PARK PLAZA,
SUITE 700
IRVINE, CA 92614

Stamp:

Job No:

Drawn By: MO, PH

Checked By: MS

Plot Date: 05/13/2024

Scale: 1/16"= 1'-0"

Title:

TREE PLAN

Sheet No.:

L.6

Plan Status:
SITE DEVELOPMENT
PERMIT



REFERENCE NOTES:

- FOR SHRUB PLANS SEE SHEETS L.7
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| RHA CAL | RHAMNUS CALIFORNICA 'EVE CASE' CALIFORNIA COFFEEBERRY - SHRUB FORM | 15 GAL. | LOW | 24 |
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| STR NIC | STRELITZIA NICOLAI GIANT BIRD OF PARADISE | 24" BOX | LOW | 10 |

QUANTITIES NOTE:

CONTRACTOR TO NOTE THAT THE QUANTITIES ON LEGEND AND PLANT CALLOUTS HAVE BEEN PROVIDED FOR QUICK REFERENCE ONLY. IT IS RECOMMENDED THAT THE CONTRACTOR NOT RELY ON THE ACCURACY OF THESE QUANTITIES AND PROVIDE THEIR OWN PLANT MATERIAL COUNTS AT THE TIME OF PREPARING BID. ANY DISCREPANCY IN THE PLANT QUANTITIES AND SIZES SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECTS.

AGRONOMIC SOILS REPORT NOTE:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THREE (3) AGRONOMIC SOILS TESTS AND INSTALL PLANT MATERIAL PER REPORT AND SOIL RECOMMENDATIONS.

TREE ROOT BARRIER NOTE:

ROOT BARRIERS ARE REQUIRED WHERE BOX PLANT MATERIAL IS PLANTED LESS THAN FIFTEEN (15) FEET OF SIDEWALK, WALLS, BUILDINGS, STRUCTURES, CURBS, PAVING, PUBLIC IMPROVEMENTS WITHIN R.O.V. (TYP.), WATER, SEWER, STORM DRAIN, ETC. ROOT BARRIER SHALL BE INSTALLED AT HARDSCAPE EDGE WITH PERCOLATION TESTS OR UTILIZE STRUCTURAL SOIL. BARRIER SHALL BE THE LENGTH OF THE ULTIMATE CANOPY OF THE TREE or FULL LENGTH OF HEDGE.

TREE PLACEMENT NOTE:

CONTRACTOR TO LOCATE ALL DRAIN LINES IN FIELD PRIOR TO THE INSTALLATION OF TREES . CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT WITH TREE LOCATIONS WITH STORM DRAIN LINES.

TREE STAKING NOTE:

- ALL TREES TO BE STAKED PER TREE STAKING DETAIL.

WATER EFFICIENCY LANDSCAPE ORDINANCE

STATEMENT:
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

MARK SCHATTINGER, CALIFORNIA LICENSED LANDSCAPE ARCHITECT #3235

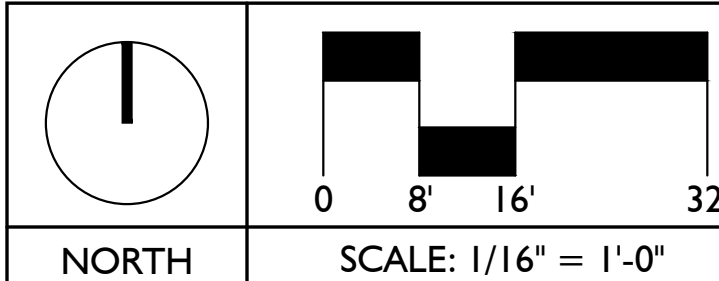
ORDINANCE # 2009-156
RESOLUTION# 2009-984
A.B. 1881

LAGUNA NIGUEL PLANTING NOTE:

MINIMUM TREE/SHRUB SIZES, PERCENTAGES, AND PLACEMENT SHALL BE MET PURSUANT TO LNZN 9-1-92.3j

MAINTENANCE RESPONSIBILITY

- ALL LANDSCAPE AREAS TO BE HOMEOWNERS ASSOCIATION MAINTAINED
- LANDSCAPE CONTRACTOR TO PROVIDE MAINTENANCE SCHEDULE FOR COMMON AREAS



Issued for:

| | |
|----------|----------------------|
| 05/17/23 | SUBMITTAL #6 |
| 06/12/23 | SUBMITTAL #7 |
| 02/12/24 | SUBMITTAL #8 |
| 03/01/24 | SUBMITTAL #9 |
| 05/13/24 | REVISED SUBMITTAL #9 |

Revisions:

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507 30th Street
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949.675.9964
mjs-la.com

Project:

PASEO DE COLINAS
TOWNHOMES

LAGUNA NIGUEL, CA
SITE DEVELOPMENT
PERMIT #SP20-02

Client Representative:

PROJECT
DIMENSIONS

4 PARK PLAZA,
SUITE 700
IRVINE, CA 92614

Stamp:

Job No:

Drawn By: MO, PH

Checked By: MS

Plot Date: 05/13/2024

Scale: 1/16"= 1'-0"

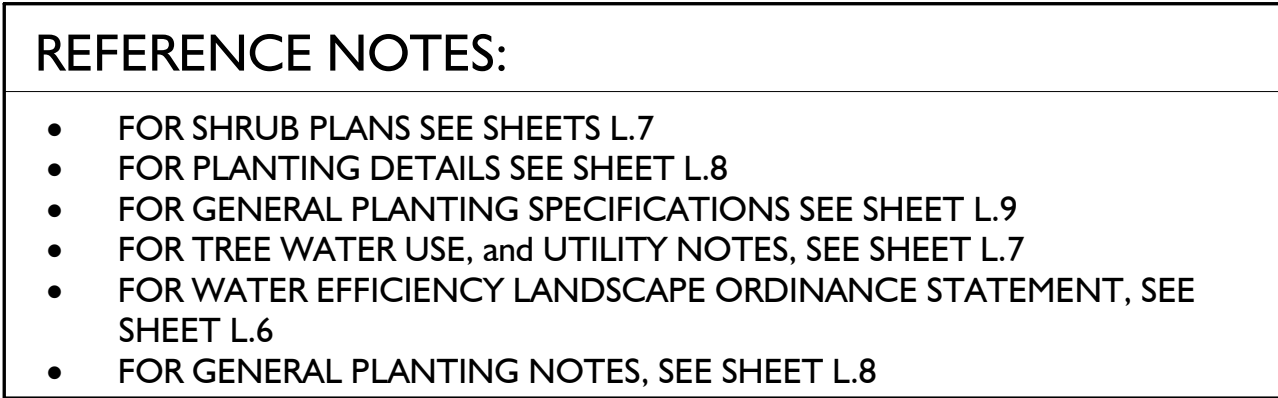
Title:

TREE PLAN

Sheet No.:

L.7

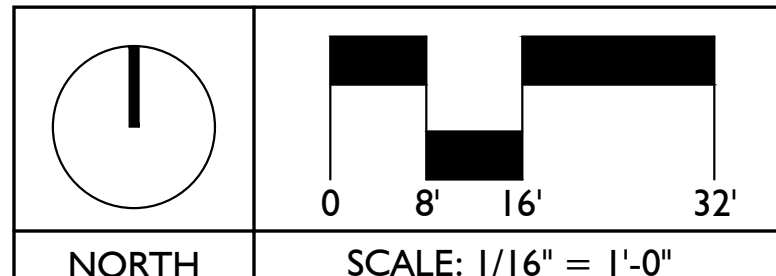
Plan Status:
SITE DEVELOPMENT
PERMIT



ALL LANDSCAPE AREAS SHALL BE DEVOID OF PLANT MATERIAL FROM OCFA ATTACHMENT 7, "UNDESIRABLE PLANT SPECIES LIST"

1. NO SHRUB PLANTING MORE THAN 3' HIGH WITHIN LINE OF SIGHT AREAS
2. NO TREE PLANTING WITH BRANCHES LESS THAN 7' WITHIN LINE OF SIGHT AREAS

1. ALL LANDSCAPE AREAS TO BE HOMEOWNERS ASSOCIATION MAINTAINED
2. LANDSCAPE CONTRACTOR TO PROVIDE MAINTENANCE SCHEDULE FOR COMMON AREAS



Plan Status: **SITE DEVELOPMENT
PERMIT**

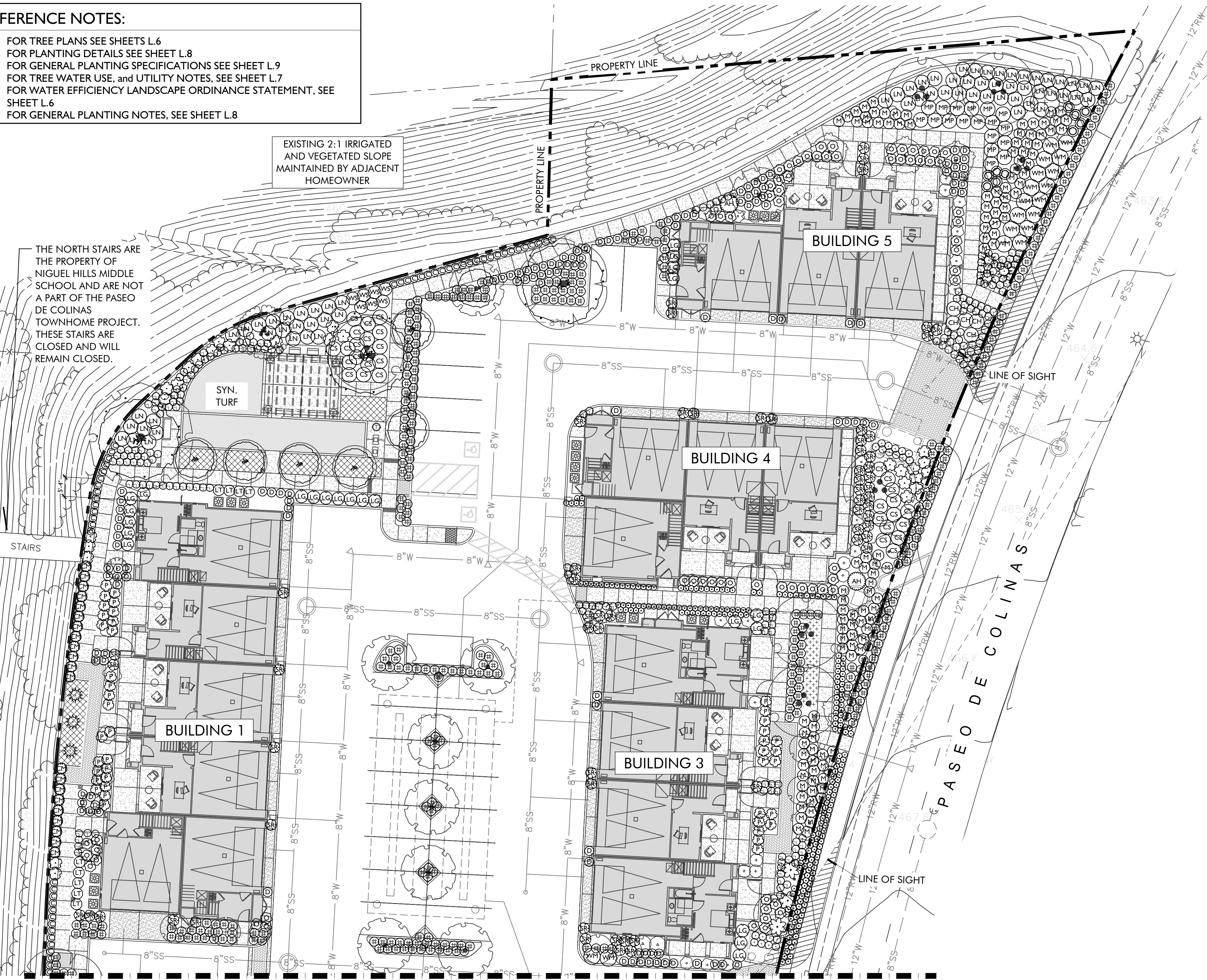
REFERENCE NOTES:

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- FOR PLANTING DETAILS SEE SHEET L.8
- FOR GENERAL PLANTING SPECIFICATIONS SEE SHEET L.9
- FOR TREE WATER USE, and UTILITY NOTES, SEE SHEET L.7
- FOR WATER EFFICIENCY LANDSCAPE ORDINANCE STATEMENT, SEE SHEET L.6
- FOR GENERAL PLANTING NOTES, SEE SHEET L.8

EXISTING 2:1 IRRIGATED
AND VEGETATED SLOPE
MAINTAINED BY ADJACENT
HOMEOWNER

THE NORTH STAIRS ARE
THE PROPERTY OF
NIGUEL HILLS MIDDLE
SCHOOL AND ARE NOT
A PART OF THE PASEO
DE COLINAS
TOWNHOME PROJECT.
THESE STAIRS ARE
CLOSED AND WILL
REMAIN CLOSED.

STAIRS



MATCHLINE - SEE SHEET L.10

QUANTITIES NOTE:

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SHRUB WATER USE NOTE:

| | | |
|---|-------|------|
| TOTAL # OF SHRUBS: | 2,208 | 100% |
| TOTAL # OF WUCOLS 'MODERATE' WATER USE SHRUBS: | 146 | 7% |
| TOTAL # OF WUCOLS 'LOW' WATER USE SHRUBS: | 2,062 | 93% |

OCFA PLANT SPECIES NOTE:

ALL LANDSCAPE AREAS SHALL BE DEVOID OF PLANT MATERIAL FROM OCFA ATTACHMENT 7, "UNDESIRABLE PLANT SPECIES LIST"

SHRUB PLANT SCHEDULE

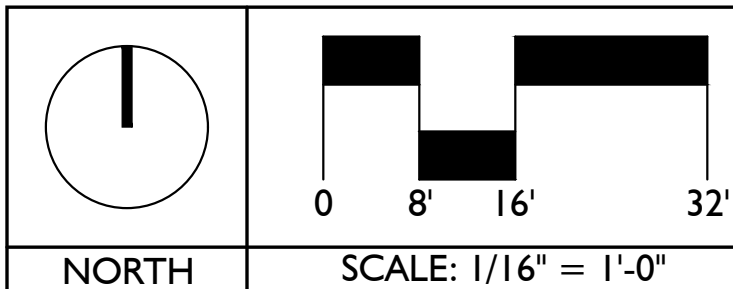
| SYMBOL | BOTANICAL / COMMON NAME | SIZE | WUCOLS | QTY |
|---------------|---|---------|----------|-----|
| SHRUBS | | | | |
| | AGAVE ATTENUATA FOXTAIL AGAVE | 15 GAL | LOW | 42 |
| | ALOE ARBORESCENS 'SPINELESS' SPINELESS TORCH ALOE | 24" BOX | LOW | 11 |
| | ALYOGYNE HUEGELII BLUE HIBISCUS | 15 GAL | LOW | 2 |
| | CARISSA MACROCARPA 'TOMLINSON' GREEN CARPET NATAL PLUM | 5 GAL | LOW | 44 |
| | CHONDROPETALUM TECTORUM 'EL CAMPO' EL CAMPO CAPE RUSH | 5 GAL | LOW | 19 |
| | CISTUS SALVIIFOLIUS 'PROSTRATUS' SAGELEAF ROCKROSE | 5 GAL | LOW | 35 |
| | CISTUS X HYBRIDUS WHITE ROCKROSE | 5 GAL | LOW | 54 |
| | CORREA PULCHELLA 'PINK EYRE' PINK EYRE AUSTRALIAN FUCHSIA | 5 GAL | LOW | 85 |
| | DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY | 5 GAL | LOW | 697 |
| | DIETES GRANDIFLORA FORTNIGHT LILY | 5 GAL | LOW | 146 |
| | FURCRAEA FOETIDA MAURITIUS HEMP | 15 GAL | LOW | 6 |
| | LANTANA X 'NEW GOLD' NEW GOLD LANTANA | 5 GAL | LOW | 66 |
| | LEUCOPHYLLUM F. 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGER | 5 GAL | LOW | 26 |
| | LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET - HEDGE | 5 GAL | MODERATE | 15 |
| | MUHLENBERGIA CAPILLARIS MUHLY GRASS | 5 GAL | LOW | 274 |
| | MYOPORUM PARVIFOLIUM 'PUTAH CREEK' PUTAH CREEK MYOPORUM | 1 GAL | LOW | 18 |
| | OLEA EUROPAEA 'LITTLE OLLIE' TM LITTLE OLLIE OLIVE | 5 GAL | LOW | 76 |
| | PHLOMIS FRUTICOSA JERUSALEM SAGE | 5 GAL | LOW | 10 |
| | PITTOSPORUM TENUIFOLIUM 'GOLF BALL' GOLF BALL TAWHIWHI | 5 GAL | MODERATE | 54 |
| | ROSMARINUS O. 'HUNTINGTON CARPET' HUNTINGTON CARPET ROSEMARY | 5 GAL | LOW | 420 |
| | SENECIO SERPENS BLUE FINGER | 5 GAL | LOW | 308 |
| | STRELITZIA REGINAE BIRD OF PARADISE | 15 GAL | MODERATE | 71 |
| | WESTRINGIA FRUTICOSA 'SMOKEY' SMOKEY WESTRINGIA | 5 GAL | LOW | 7 |
| | WESTRINGIA FRUTICOSA 'WES05' TM MUNDI COAST ROSEMARY | 5 GAL | LOW | 69 |
| SYMBOL | BOTANICAL / COMMON NAME | CONT | WUCOLS | QTY |
| GROUND COVERS | | | | |
| | CAREX TUMULICOLA FOOTHILL SEDGE | 1 GAL | LOW | 45 |
| | TEUCRUM CHAMAEDRYS GERMANDER | 1 GAL | LOW | 309 |

MULCH NOTE:

ALL SHRUB AREAS
ALL SHRUB AREAS TO RECEIVE MINIMUM 3" THICK "FOREST FLOOR" MULCH BY AGUINAGA GREEN. 877.OC.MULCH

LAGUNA NIGUEL PLANTING NOTE:

MINIMUM TREE/SHRUB SIZES, PERCENTAGES, AND PLACEMENT SHALL BE MET PURSUANT TO LN2C 9-1-92.3j



Issued for:

| | |
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| 02/17/23 | SUBMITTAL #5 |
| 05/17/23 | SUBMITTAL #6 |
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| 02/12/24 | SUBMITTAL #8 |
| 03/01/24 | SUBMITTAL #9 |

Revisions:

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PASEO DE
COLINAS
TOWNHOMES
LAGUNA NIGUEL, CA
SITE DEVELOPMENT
PERMIT #SP20-02

Client Representative:

PROJECT
DIMENSIONS

4 PARK PLAZA,
SUITE 700
IRVINE, CA 92614

Stamp:

Job No:

Drawn By: MO, PH

Checked By: MS

Plot Date: 03/01/2024

Scale: 1/16"=1'-0"

Title:

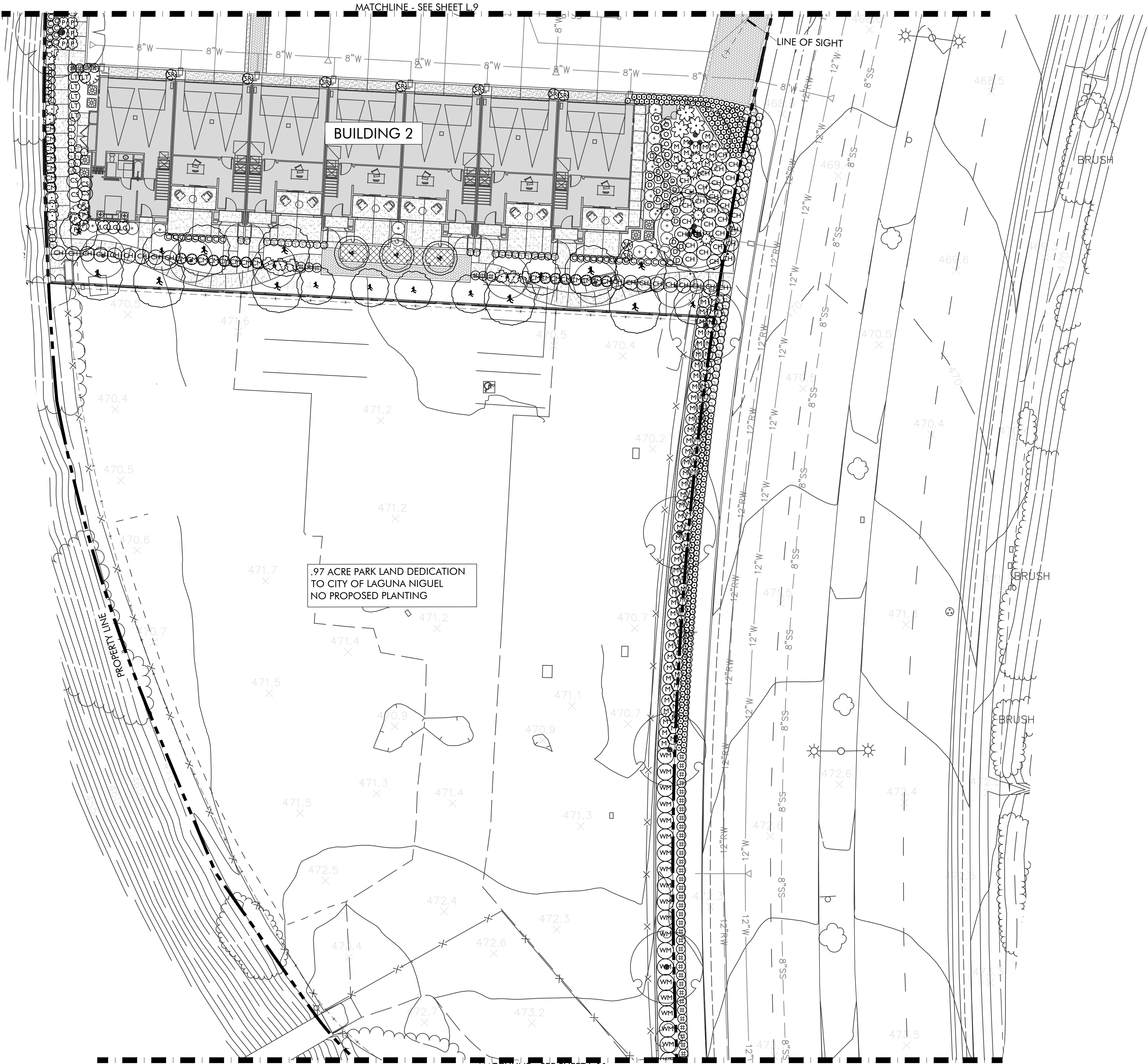
SHRUB PLAN

Sheet No.:

L.9

Plan Status:

SITE DEVELOPMENT
PERMIT



REFERENCE NOTES:

- FOR TREE PLANS SEE SHEETS L.6
- FOR PLANTING DETAILS SEE SHEET L.8
- FOR GENERAL PLANTING SPECIFICATIONS SEE SHEET L.9
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SHRUB PLANT SCHEDULE

| SYMBOL | BOTANICAL / COMMON NAME | SIZE | WUCOLS | QTY |
|---------------|---|---------|----------|-----|
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| 03/01/24 | SUBMITTAL #9 |

Revisions:

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SITE DEVELOPMENT
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Client Representative:

PROJECT DIMENSIONS

4 PARK PLAZA,
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Stamp:

Job No:

Drawn By: MO, PH

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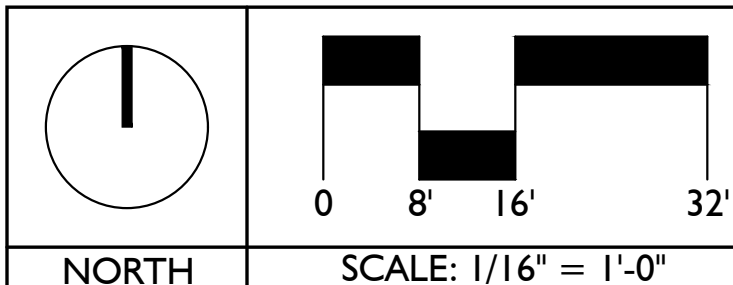
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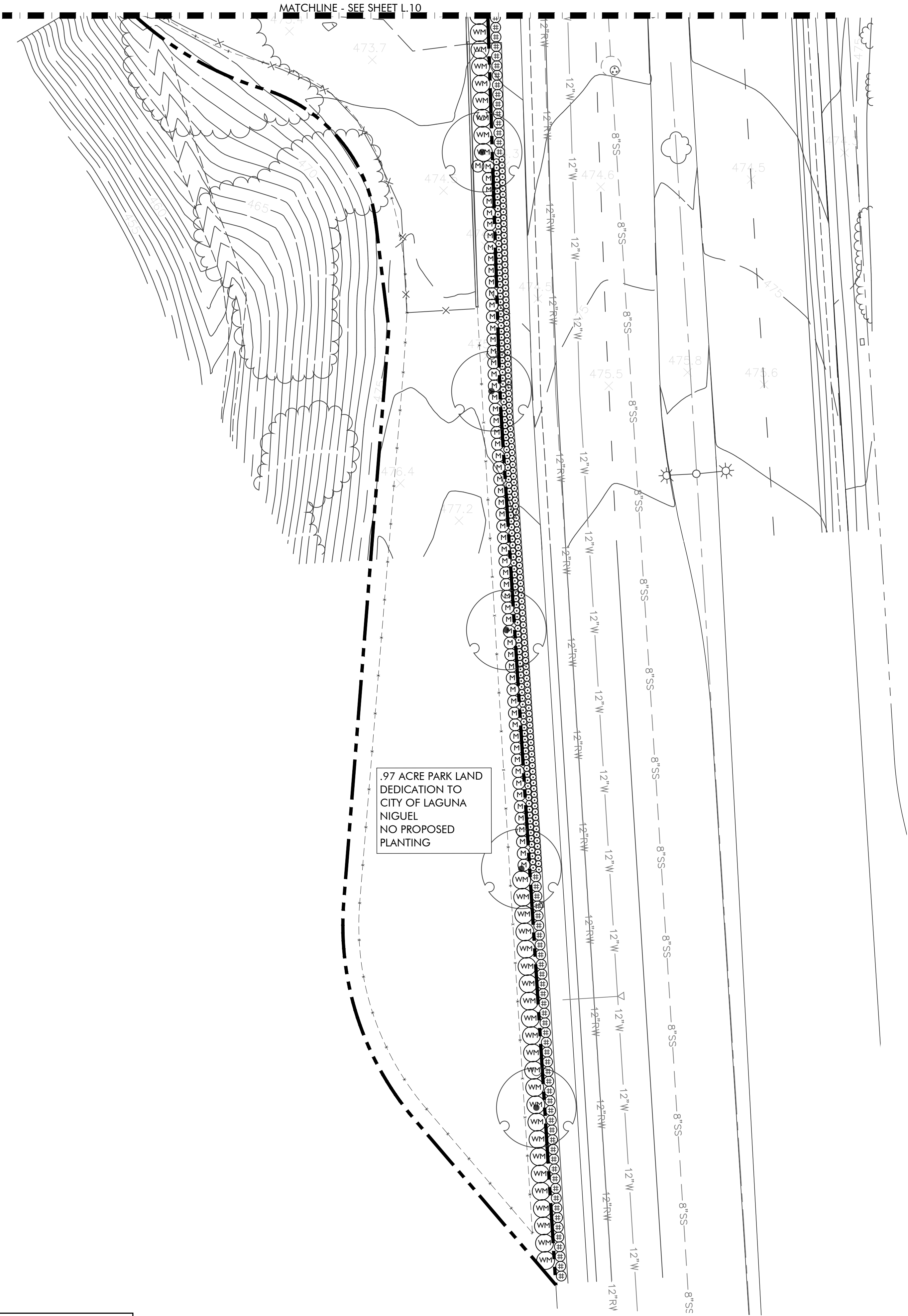
SHRUB PLAN

Sheet No.:

L.10

Plot Status:
SITE DEVELOPMENT
PERMIT





- REFERENCE NOTES:
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 - FOR PLANTING DETAILS SEE SHEET L.8
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SHRUB PLANT SCHEDULE

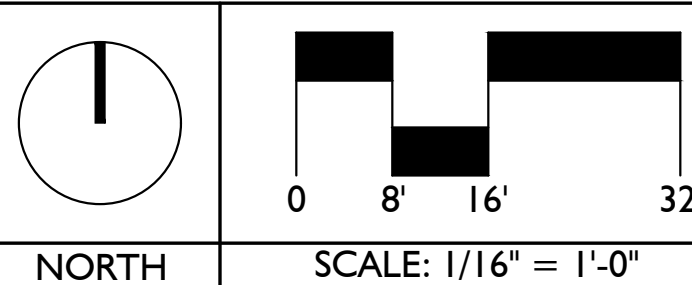
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| 03/01/24 | SUBMITTAL #9 |

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| Revisions: | | |
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MJS
LANDSCAPE
ARCHITECTURE

507 30th Street
Newport Beach, CA 92663
949.675.9964
mjs-la.com

Project:

PASEO DE
COLINAS
TOWNHOMES
LAGUNA NIGUEL, CA
SITE DEVELOPMENT
PERMIT #SP20-02

Client Representative:

PROJECT
DIMENSIONS

4 PARK PLAZA,
SUITE 700
IRVINE, CA 92614

Stamp:

Job No:

Drawn By: MO, PH

Checked By: MS

Plot Date: 03/01/2024

Scale: 1/16"= 1'-0"

Title:

SHRUB PLAN

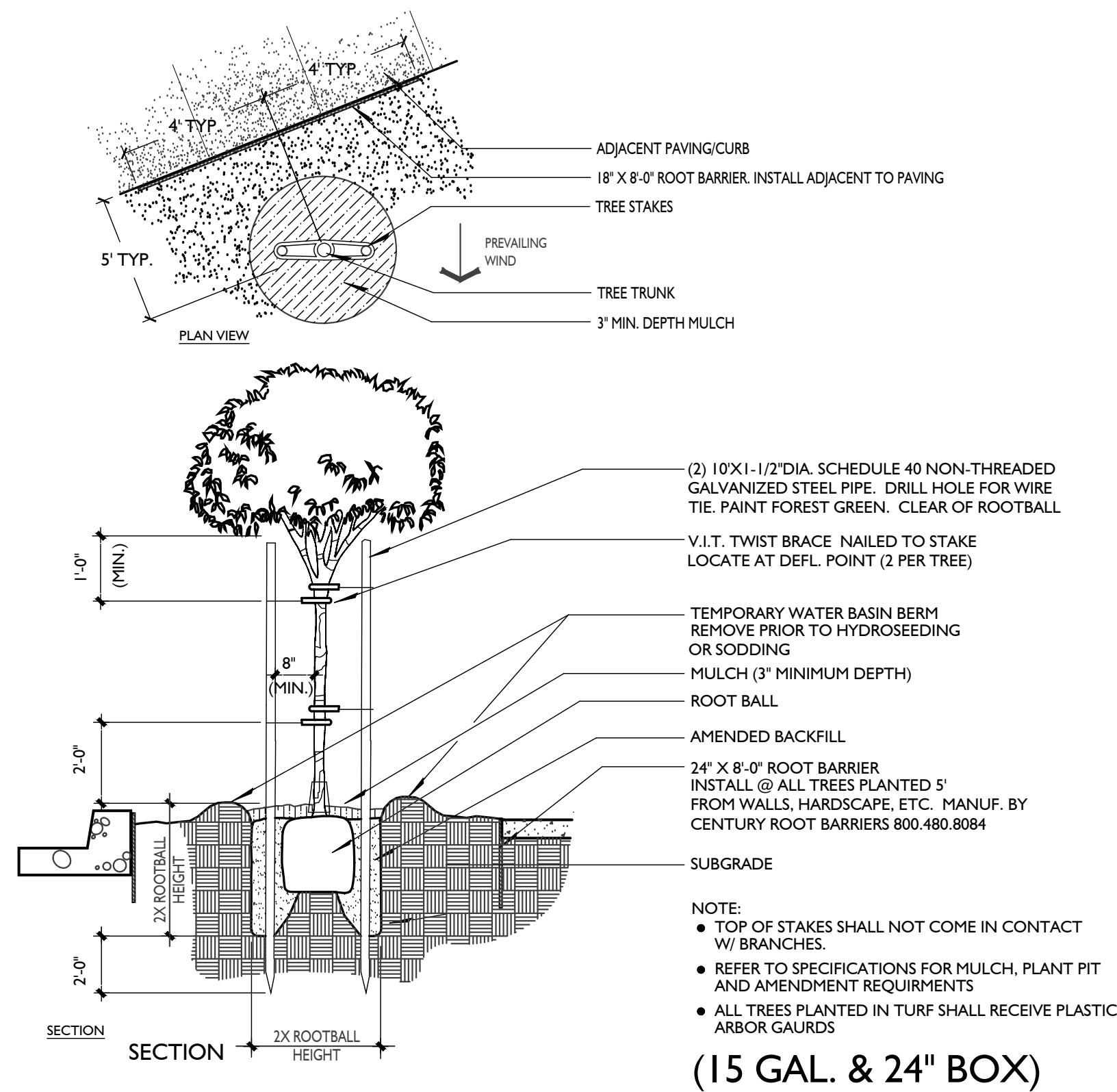
Sheet No.:

L.11

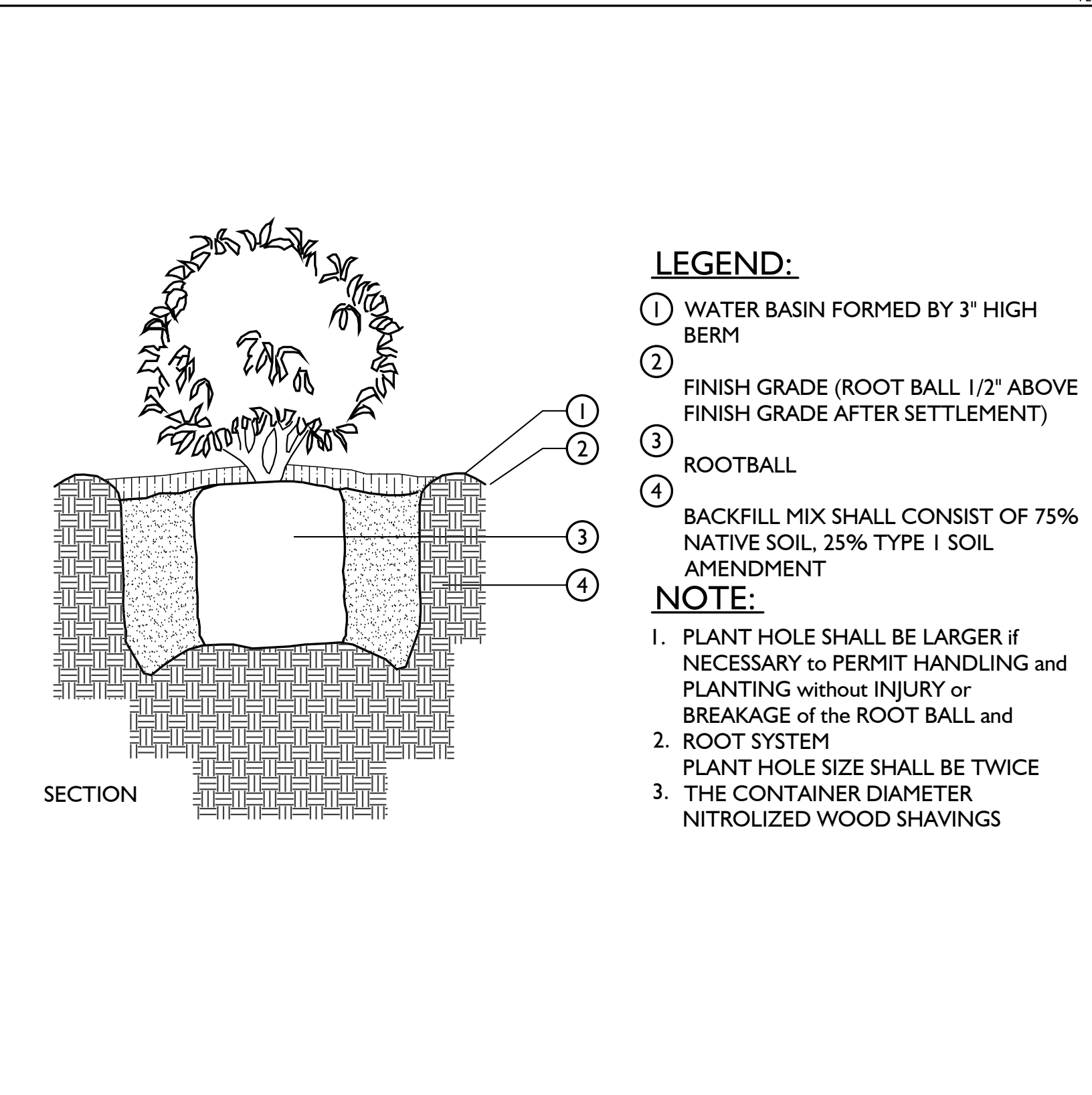
Plan Status:
SITE DEVELOPMENT
PERMIT

GENERAL PLANTING NOTES:

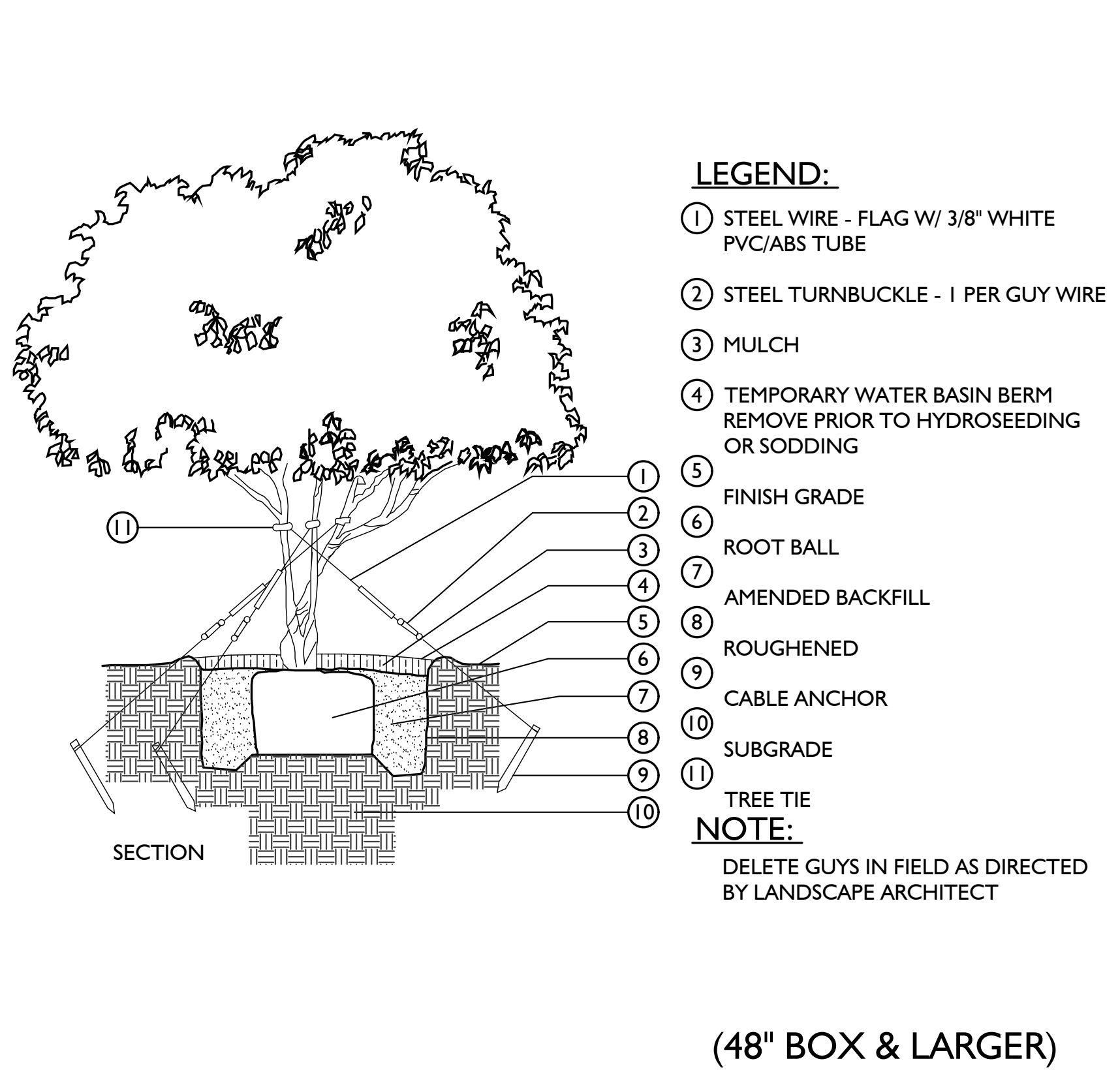
1. PRIOR TO ANY FINE GRADING OR PLANTING, CONTRACTOR SHALL OBTAIN AGRONOMIC SOIL REPORTS AND SOIL AMENDMENT RECOMMENDATIONS PER SPECIFICATIONS, WHICH SHALL SUPERSEDE THOSE WITHIN THE SPECIFICATIONS. SEE NOTE ABOVE FOR LOCATIONS.
2. LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN 1 WEEK PRIOR TO ANTICIPATED DELIVERY DATE.
3. CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.
4. LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.
5. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER "START OF MAINTENANCE" PERIOD.
6. CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREE AND PALM MATERIAL FOR 12 MONTHS (1 YEAR).
7. LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT PRIOR TO INSTALLATION.
8. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
9. TREES SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.
10. NO SHRUBS OR TREES SHALL BE PLANTED THAT WILL CREATE A VISUAL OBSTRUCTION TO SIGHT LINE OF VEHICLE TRAFFIC.
11. TREES PLANTED IN LANDSCAPE AREAS OF LESS THAN 5' IN WIDTH SHALL BE INSTALLED WITH APPROVED ROOT BARRIERS.
12. ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL.



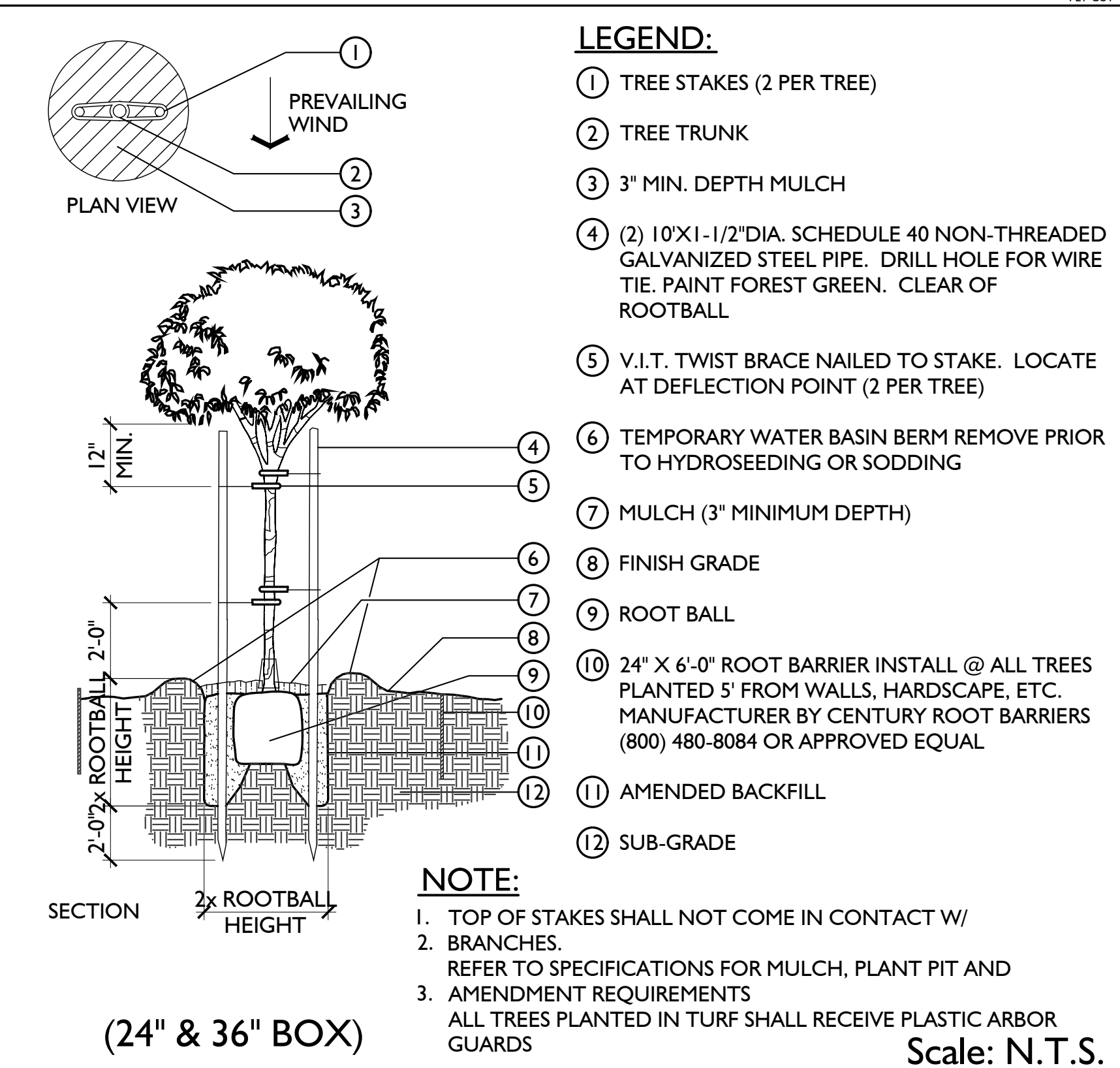
C TREE PLANTING (STAKING) Scale: N.T.S. PLT-S&OS



D SHRUB PLANTING Scale: N.T.S. PLT-S&B



A TREE PLANTING (GUYING) Scale: N.T.S. PLT-GUY



B TREE PLANTING (DBL. STAKING) Scale: N.T.S. PLT-D&B

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| Revisions: | | |
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Project:

PASEO DE COLINAS TOWNHOMES

LAGUNA NIGUEL, CA

SITE DEVELOPMENT PERMIT #SP20-02

Client Representative:

PROJECT DIMENSIONS

4 PARK PLAZA, SUITE 700

IRVINE, CA 92614

Stamp:

Job No:

Drawn By: MO, PH

Checked By: MS

Plot Date: 05/13/2024

Scale: -

Title:

PLANTING DETAILS AND GENERAL PLANTING NOTES

Sheet No.:

L.12

Plan Status:

SITE DEVELOPMENT PERMIT

A. GENERAL NOTES

1. BIDDING IT SHALL BE THE OWNER'S RESPONSIBILITY IN OBTAINING AND OBTAINING BIDS, SETTING ITS PROVISIONS AND INSTRUCTIONS TO BIDDERS, SECURING THEIR BONDS AND WORKERS COMPENSATION INSURANCE CERTIFICATES, ETC. TO FULLY ENSURE THE QUALITY AND TIMELY COMPLETION OF THE PROJECT.
2. SCOPE OF WORK : CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO FURNISH AND INSTALL A COMPLETE ALL LANDSCAPING PER THE DRAWINGS AND SPECIFIED WITHIN.
3. PLAN VERIFICATION THESE DOCUMENTS MAY CONTAIN ERRORS, OMISSIONS, CONTRADICTIONS, ETC.. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS THOROUGHLY AND SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER IMMEDIATELY UPON ANY SUCH DISCOVERY OF DISCREPANCY. GOVERNING CODES SHALL THEN APPLY.
4. LICENSE THE CONTRACTOR SHALL BE A C-37 CALIFORNIA STATE LICENSED LANDSCAPE CONTRACTOR.
5. ORDINANCES AND REGULATIONS ALL LANDSCAPE PLANTING WITHIN THESE DRAWINGS AND SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES (LOCAL, COUNTY & STATE).
6. PERMITS AND INSPECTIONS : THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ALL PERMITS, FEES AND AGENCY INSPECTIONS AS REQUIRED.
7. FIELD VERIFICATION CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY UPON ANY DISCOVERY OF DISCREPANCIES. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
8. LIABLE FOR ENCROACHMENT THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENCROACHMENT ONTO ADJACENT PROPERTY, RIGHT-OF-WAYS, EASEMENTS, SET-BACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED.
9. METHODS OF CONSTRUCTION : THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, MEANS, SEQUENCES AND TECHNIQUES. THE LANDSCAPE ARCHITECTURAL FIRM IS NOT LIABLE FOR CONSTRUCTION METHODS.
10. SAFETY THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS DURING CONSTRUCTION.
11. UTILITIES THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, ELECTRICAL CABLES, CONDUITS, AND IRRIGATION LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH IMPROVEMENTS.
12. INSURANCE THE CONTRACTOR SHALL OBTAIN (AND KEEP IN FORCE DURING THE PERIOD OF THE CONTRACT) PUBLIC LIABILITY, WORKMAN'S COMPENSATION AND PROPERTY DAMAGE INSURANCE, AS REQUIRED BY ALL APPLICABLE CODES AND REGULATIONS.
13. LIABLE FOR DAMAGE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY ITS OPERATIONS TO UTILITIES, EXISTING PLANTING, CONSTRUCTION, PERSONS, PROPERTY, ETC. AND SHALL PROVIDE PROTECTIVE MEANS TO GUARD AGAINST DAMAGE.
14. COORDINATION: CONTRACTOR SHALL COORDINATE ALL LANDSCAPE CONSTRUCTION WITH APPROPRIATE TRADES THROUGH THE OWNER BEFORE STARTING WORK.
15. PLANTING PLANS: THE PLANTING PLANS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS DURING CONSTRUCTION TO AVOID CONFLICTS BETWEEN, EXISTING IRRIGATION, EXISTING PLANTING, ARCHITECTURAL FEATURES AND UTILITIES.
16. DIMENSIONS ALL SCALE DIMENSIONS ARE APPROXIMATE. WRITTEN DIMENSIONS ON DETAILS AND PLANS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
17. PLANTING NOTES : SEE GENERAL NOTES ON THE DRAWINGS FOR ADDITIONAL WORK REQUIRED, BUT NOT SPECIFICALLY MENTIONED IN THESE SPECIFICATIONS. ALL WORK CALLED FOR ON THE DRAWINGS BY NOTES SHALL BE FURNISHED AND INSTALLED WHETHER OR NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS AND/OR DETAILS.
18. MATERIALS ALL MATERIALS AND EQUIPMENT SPECIFIED IN THESE DRAWINGS SHALL BE NEW AND IN PERFECT CONDITION OR THE BEST GRADE OF THEIR RESPECTIVE KINDS WHERE INSTALLED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
19. SUBSTITUTIONS : DESIGN, MATERIAL, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED OR INDICATED ON DRAWINGS MAY BE CONSIDERED FOR USE. WRITTEN APPROVAL FOR SUBSTITUTIONS SHALL BE OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS SHALL CONFORM TO LOCAL CODES AND ORDINANCES. ANY EQUIPMENT OR MATERIALS INSTALLED WITHOUT APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT MAY BE REJECTED AND REMOVED AT CONTRACTOR'S EXPENSE.
20. NOTICE OF COMPLETION : THE COMPLETION OF THE CONTRACT SHALL BE ACCEPTED, AND NOTICE OF COMPLETION RECORDED ONLY WHEN THE ENTIRE CONTRACT IS COMPLETED TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
21. SITE MAINTENANCE : CONTRACTOR SHALL KEEP THE PROJECT SITE CLEAN AND FREE FROM RUBBISH AND DEBRIS. ALL DEBRIS SHALL BE REMOVED FROM SITE PER LOCAL CODE AND ORDINANCES.
22. MAINTENANCE INSTRUCTIONS: AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL INSTRUCT THE OWNER'S AUTHORIZED REPRESENTATIVE ON HOW TO PROPERLY MAINTAIN AND CARE FOR LANDSCAPE PLANTINGS.
23. GUARANTEE THE ENTIRE LANDSCAPE INCLUDING ALL WORK DONE UNDER THIS CONTRACT, SHALL BE GUARANTEED AGAINST ALL DEFECTS AND FAULT OF MATERIAL AND WORKMANSHIP, AND SHALL BE IN PERFECT WORKING ORDER FOR 90 DAYS FROM DATE OF COMPLETION BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER. TREES SHALL BE GUARANTEED FOR ONE (1) YEAR. ALL MATERIALS USED SHALL CARRY A MANUFACTURER'S GUARANTEE OF MINIMUM ONE (1) YEAR. ANY SETTLING OF TREE/SHRUB WELLS WHICH MAY OCCUR DURING THE 90 DAY PERIOD FINAL

B. FIELD OBSERVATIONS

1. REQUIRED FIELD OBSERVATION WORK: THESE PLANS WERE PREPARED WITH THE UNDERSTANDING THAT THE OWNER OF SAID PLANS WILL USE PROFESSIONAL DESIGN ASSOCIATES TO PROVIDE FULL CONTRACT SERVICES INCLUDING FIELD OBSERVATION SERVICES DURING CONSTRUCTION. FAILURE TO USE PROFESSIONAL DESIGN ASSOCIATES TO PROVIDE AND COMPLETE THE FIELD OBSERVATION SERVICES SET FORTH HEREIN WILL SIGNIFICANTLY INCREASE THE MISINTERPRETATION OF THE INTENT OF THE DESIGN. ANY UNAUTHORIZED MODIFICATIONS THERETO, AND FAILURE TO DETECT ERRORS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS CAN BECOME COSTLY MISTAKES BUILT INTO THE PROJECT. THEREFORE, IN THE EVENT THAT PROFESSIONAL DESIGN ASSOCIATES IS OTHERWISE PRECLUDED FROM COMPLETING THE FIELD OBSERVATION SERVICES SET FORTH HEREIN, THE OWNER, OR SUBSEQUENT OWNER (INDIVIDUALS OR CORPORATIONS WHO HAVE PURCHASED THESE PLANS WITH THE PROJECT), AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND PROFESSIONAL DESIGN ASSOCIATES AND THEIR CONSULTANTS FROM AND AGAINST ANY AND ALL CLAIMS.
2. FIELD OBSERVATION COORDINATION: THE FOLLOWING OBSERVATIONS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT). THE CONTRACTOR SHALL NOTIFY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT NOT LESS THAN FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY OBSERVATION. CONTINUED WORK WITHOUT OBSERVATION OF ANY REQUIRED CHANGES OR MODIFICATIONS TO BE AT THE CONTRACTOR'S EXPENSE. THE OWNER (JOB SUPERINTENDENT) SHALL INFORM THE LANDSCAPE ARCHITECT AS TO THE PURPOSE AND TIME OF THE OBSERVATION FORTY-EIGHT (48) HOURS IN ADVANCE.
3. CLOSING OF NOT INSPECTED WORK: THE CONTRACTOR SHALL NOT ALLOW WORK CAUSE ANY OF THE WORK TO BE COVERED OR ENCLOSED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED BY THE CONSULTING ENGINEER OR AUTHORIZED REPRESENTATIVE AND/OR GOVERNMENTAL AUTHORITY HAVING JURISDICTION OVER THE WORK. SHOULD ANY OF THE WORK BE ENCLOSED OR COVERED BEFORE SUCH INSPECTION AND TEST, HE SHALL UNCOVER HIS WORK AT HIS OWN EXPENSE AFTER IT HAS BEEN INSPECTED, TESTED AND APPROVED, THE CONTRACTOR SHALL MAKE ALL REPAIRS NECESSARY TO THE OWNER'S SATISFACTION.
4. JOB SITE MEETINGS AND REQUIRED INSPECTIONS :
A. PRE-JOB MEETING ON SITE - PRIOR TO COMMENCEMENT OF WORK
B. DURING SOIL PREPARATION
C. AT COMPLETION OF SOIL PREPARATION
D. COMPLETION OF WEED CONTROL
E. PLANT MATERIAL INSPECTION
F. GRADING CHECK PRIOR TO GROUND COVER
G. PROGRESS/INSTALLATION INSPECTION
H. COMPLETION OF PLANTING
I. 30, 60, & 90-DAY MAINTENANCE INSPECTIONS
5. COMPLETION: WORK SHALL BE COMPLETED UPON FINAL APPROVAL BY OWNER AND LANDSCAPE ARCHITECT. A FINAL INSPECTION SHALL BE HELD UPON THE COMPLETION OF THE WORK PROVIDING THE CONTRACTOR HAS COMPLETED THE INSTALLATION OF ALL PHASES OF THE CONTRACT AND CONFORMED TO ALL REQUIREMENTS OF THESE SPECIFICATIONS.

C. LANDSCAPE GRADING NOTES

1. SITE PREPARATION: THE CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS, DEBRIS, AND OTHER EXTRANEOUS MATERIALS FROM THE JOB SITE PRIOR TO PROCEEDING WITH ANY WORK.
2. SOIL PREPARATION: ALL SOIL PREPARATION SHALL BE INSTALLED AS PER THE SOIL AGRONOMY REPORT TO BE PROVIDED AND PAID FOR BY THE OWNER. SOILS REPORT SHALL CONTAIN FULL SOIL AMENDMENT RECOMMENDATIONS. THE REPORT SHALL BE IMMEDIATELY FORWARDED TO THE LANDSCAPE ARCHITECT UPON COMPLETION.
3. SOIL AMENDMENTS THE SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. THE OWNER SHALL PROVIDE FOR A SOILS AGRONOMY REPORT FROM AN APPROVED SOILS LABORATORY AND/OR ANY ADDITIONAL SPECIFICATION PROVIDED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS.
4. CULTIVATION DEPTH : ALL LANDSCAPE AREAS SHALL BE CULTIVATED TO A DEPTH OF 6".
5. AMENDMENT MIX : INCORPORATE THE FOLLOWING SOIL AMENDMENTS OR PER SOILS REPORT. IN THE UPPER 6" OF ALL TILLING OR DISKING UNTIL ALL POCKETS AND LAYERS OF SOIL AND SOIL CONDITIONERS ARE ELIMINATED.
- | | |
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| REDWOOD SHAVINGS | 6 YARDS PER 1000 SQ. FT. |
| COMMERCIAL FERTILIZER | 20 LBS. PER 1000 SQ. FT. |
| GYPSUM | 100 LBS. PER 1000 SQ. FT. |
6. FINISH GRADE: FINISH GRADES SHALL BE THOSE INDICATED ON THE DRAWINGS OR AS MAY BE CONTROLLED BY EXISTING INSTALLATIONS. GRADES NOT OTHERWISE INDICATED SHALL BE UNIFORM, STRAIGHT LEVELS BETWEEN POINTS WHERE ELEVATIONS ARE DETERMINED. FINISH GRADES SHALL BE SMOOTH AND EVEN OF A UNIFORM PLANE WITH AN ABRUPT CHANGES IN THE SURFACE. MINOR MODELING OF THE GROUND SURFACE MAY BE REQUIRED. GRADES SHALL PROVIDE FOR THE NATURAL RUN-OFF AFTER RAINFALL. LOW SPOTS OR POCKETS, FLOW LINES SHALL BE SET BY INSTRUMENT AND SHALL BE THE MAXIMUM GRADIENT POSSIBLE.
7. DRAINAGE THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE IN ALL PLANTING AREAS IN ACCORDANCE WITH THE PLANS, DETAILS AND SPECIFICATIONS OR AS SPECIFIED BY THE OWNER.
8. FINISH GRADE AT TURF AREAS : FINISH GRADE OF ALL TURF AREAS SHALL BE ONE INCH BELOW THE GRADE OF ADJACENT WALKS, PAVEMENTS, CURBS, ETC.
9. FINISH GRADE AT SHRUB AREAS : FINISH GRADE OF ALL SHRUBBERY AND GROUND COVER AREAS SHALL BE TWO INCHES BELOW THE GRADE OF ADJACENT WALKS, PAVEMENTS, CURBS, ETC., EXCEPT WHERE WATER FLOWS ACROSS SAME.

D. MATERIAL NOTES

1. GENERAL: THE FOLLOWING LIST COMPRISES THE PRINCIPLE MATERIALS BUT DOES NOT SET THE LIMITATION FOR MATERIALS REQUIRED. IT SHALL BE UP TO THE CONTRACTOR TO SHOW THAT AMPLE QUANTITIES OF THE REQUIRED MATERIALS WERE USED AND INSTALLED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
2. SCOPE OF WORK: WORK SHALL CONSIST OF FURNISHING ALL MATERIALS, SERVICES AND EQUIPMENT NECESSARY TO COMPLETELY INSTALL ALL LANDSCAPE WORK AS INDICATED ON THE DRAWINGS AND HEREIN SPECIFIED.
3. PLANT MATERIALS: ALL PLANTS SHALL BE HEALTHY, WELL ESTABLISHED NURSERY STOCK, FREE FROM INSECTS AND THEIR EGGS AND DISEASES. PLANTS SHALL BE FURNISHED IN THE QUANTITIES REQUIRED TO COMPLETE THE WORK AS INDICATED ON THE DRAWINGS AND SHALL BE OF THE SPECIES AND SIZES INDICATED ON THE PLANT LIST. ALL PLANTS SHALL BE INSPECTED AND APPROVED PRIOR TO PLANTING.
4. REJECTION OF PLANT MATERIAL : THE OWNER OR LANDSCAPE ARCHITECT MAY REJECT ANY PLANT MATERIAL REGARDED AS UNSUITABLE AT ANY TIME AT NO ADDITIONAL COST TO THE OWNER.
5. HANDLING/STORAGE: ALL PLANTS SHALL BE HANDLED AND STORED SO THEY ARE ADEQUATELY PROTECTED FROM DRYING OUT, SUN, WIND BURN, VANDALISM OR ANY OTHER INJURY.
6. TREE TAGGING ALL SPECIMEN TREES CALLED OUT ON PLAN TO BE TAGGED SHALL BE SELECTED BY LANDSCAPE ARCHITECT.
7. TREE STAKES AND GUYS : TREE STAKES SHALL BE SCH 40 NON-TREDDED GALVANIZED PIPE. FURNISH AND INSTALL AS INDICATED ON DETAILS.
8. TREE TIES : SHALL BE FLEXIBLE NON-DETERIORATING SELF-FASTENING BLACK VINYL TREE TIES OF THE SIZES REQUIRED TO PROPERLY SUPPORT TREES. "CINCH TIES" OR EQUAL.
9. ROOT BARRIERS: CONTRACTOR SHALL INSTALL APPROVED ROOT BARRIERS ON ALL TREES WITHIN FIVE (5) FEET OF HARDSCAPE, STRUCTURES, ETC.
10. SOD: SOD VARIETY SHALL BE PER PLANS. SOD SHALL BE SUPPLIED BY PACIFIC SOD OR APPROVED EQUAL, PURCHASED FROM A RECOGNIZED TURF NURSERY, FIRST QUALITY, FRESH AND CLEAN.
11. AGRIFORM PLANTING TABLETS SHALL BE 20-10-5 ANALYSIS PROLONGED RELEASE NITROGEN. 1 PER 1 GALLON, 2 PER 5 GALLON, 4 PER 15 GALLON, AND 6 PER BOX FOR SPECIMENS LARGER THAN 15 GALLON OR PER DRAWINGS.
12. COMMERCIAL FERTILIZER SHALL BEAR THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE CONTROLLED RELEASE TYPE FERTILIZER WITH THE FOLLOWING MINIMUM REQUIREMENTS:
16% NITROGEN - 7% PHOSPHORIC ACID - 12% POTASH (+ IRON)
13. REDWOOD SHAVINGS SHALL BE PURE REDWOOD SAWDUST AND SHAVINGS OR NITROGEN FORTIFIED FIR RESULTING FROM MILLING OPERATIONS AND SHALL NOT CONTAIN STICKS, BLOCKS OF WOOD, OR OTHER FOREIGN MATTER. SOURCES OF SHAVINGS SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
14. SOIL SULFUR : STANDARD COMMERCIAL BRAND, GUARANTEED ANALYSIS OF 99% SULFUR (EXPRESSED AS ELEMENTAL) SUPPLIED IN UNOPENED BAGS WITH ANALYSIS ATTACHED.
15. BONE MEAL: SHALL BE FINE GROUND, STEAMED, DRY MATERIAL WITH A MINIMUM ANALYSIS OF 1% NITROGEN - 30% PHOSPHORIC ACID - 69.5% UNDILUTED BONE.
16. SAMPLES : SAMPLES OF REDWOOD SHAVINGS, STEER MANURE, FERTILIZER AND SEED SHALL BE SUBMITTED FOR APPROVAL AND SHALL BE STORED ON THE SITE UNTIL FURNISHING OF MATERIALS IS COMPLETED.
17. CERTIFICATES CERTIFICATES FOR EACH DELIVERY OF BULK MATERIAL SHALL BE FURNISHED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR. CERTIFICATES SHALL STATE THE SOURCE, QUANTITY AND TYPE OF MATERIAL AND DATE AND ADDRESS OF THE LOCATIONS IT WAS DELIVERED TO.

E. TREE AND SHRUB PLANTING NOTES

PLANT DEPTH: PLANT ALL PLANTS AT THEIR NATURAL GROWING DEPTH PER DETAIL. IN THE LOCATIONS SHOWN ON THE DRAWINGS.

EXCAVATED PITS EXCAVATE PITS WITH SQUARE AND VERTICAL SIDES 2 TIMES THE DIAMETER AND 12" GREATER IN DEPTH THAN THE SIZE OF THE PLANT CONTAINER.

BACKFILL MIXTURE BACKFILL TO BOTTOM OF ROOT BALL WITH PREPARED BACKFILL MIXTURE. TAP FIRMLY, SET PLANT IN CENTER OF PIT IN A VERTICAL POSITION, CROWN LEVEL WITH FINISH GRADE. BACKFILL BALANCE OF PIT WITH THE FOLLOWING PREPARED MIXTURE OR PER SOILS REPORT:

10 PARTS TOP SOIL
5 PARTS REDWOOD SHAVINGS
1/4 LB. BONE MEAL
AGRIFORM PLANT TABLETS, 1 PER GALLON, 2 PER 5 GALLON, 4 PER 15 GALLON, AND 6 PER BOX FOR SPECIMENS LARGER THAN 15 GALLON.

TREE LOCATIONS TREE LOCATIONS TAKE PRECEDENCE OVER IRRIGATION LINES. CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NECESSARY.

WATER BASIN CONSTRUCT A SIX INCH DEEP WATER BASIN, MULCH WITH A TWO INCH LAYER OF REDWOOD SHAVINGS, AND WATER THOROUGHLY, BACKFILLING WITH ADDITIONAL MIX WHERE VOIDS APPEAR.

TREE STAKES : ALL NURSERY STAKES SHALL BE REMOVED AND ALL TREES SHALL BE INSTALLED WITH SCH 40 STAKES DRIVEN 3 FEET INTO THE GROUND. TREE STAKES SHALL NOT PIERCE THE ROOTBALL AND NOT INJURE TREE ROOTS. SEE TREE PLANTING DETAILS.

TREE TIES : TREE TIES SHALL BE FASTENED TO THE TREE AND STAKE BY LOOPING THE TIES IN FIGURE 8'S WITH THE INSIDE OF THE TREE TRUNK. FASTEN TIE TO THE STAKE WITH ONE GALVANIZED ROOFING NAIL.

DEFECTS: ALL DEFECTS IN TREE AND SHRUB PLANTING SHALL BE CORRECTED THROUGH THE GUARANTEE PERIOD SPECIFIED HEREIN AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

F. MAINTENANCE NOTES

1. MAINTENANCE PERIOD THE MAINTENANCE PERIOD SHALL BE FOR 90 CALENDAR DAYS BEGINNING ON THE DAY OF THE CHECK INSPECTION AFTER ALL WORK HAS BEEN INSTALLED AND APPROVED BY THE LANDSCAPE ARCHITECT. THE MAINTENANCE PERIOD MAY BE EXTENDED TO INCLUDE ANY ADDITIONAL TIME THAT MAY BE REQUIRED TO MEET THE REQUIREMENTS OF THE WORK SPECIFIED.
2. GENERAL: THE GENERAL CARE AND MAINTENANCE OF ALL AREAS SHALL CONSIST OF PROPER WATERING, FERTILIZATION, WEEDING, RODENT CONTROL, CLEANUP, ETC.
3. SAFETY: ALL PLANT MATERIALS SHALL BE CHECKED AND MAINTAINED AS REQUIRED IN AN ONGOING PROGRAM TO ASSURE A SAFE ENVIRONMENT.
4. WATERING : WATER ALL PLANTINGS TO ASSURE COMPLETE GERMINATION OF ALL SEEDED AREAS AND CONTINUED GROWTH OF THE PLANTS. AREAS THAT DO NOT HAVE ADEQUATE IRRIGATION COVERAGE OR WHICH MAY REQUIRE ADDITIONAL DEEP WATERING SHALL BE WATERED BY HAND AS REQUIRED.
5. IRRIGATION COVERAGE: ADJUST ALL IRRIGATION HEADS IN EACH AREA AND ZONE OF EXPOSURE SO THAT THE OPTIMUM AMOUNT OF WATER IS APPLIED AT THE PROPER TIMES WITHOUT OVERTHROW ONTO WALLS, WALKS, ETC.
6. CULTIVATING AND WEEDING : CULTIVATE AND WEED ALL PLANTED AREAS AT REGULAR INTERVALS NOT TO EXCEED 15 DAYS. EXERCISE CARE WHEN CULTIVATING TO AVOID DAMAGE TO ROOTS OF THE GROWING PLANTS.
7. CHEMICAL HERBICIDES A CERTIFIED TECHNICIAN SHALL APPLY CHEMICAL HERBICIDES TO CONTROL WEEDS AT THE OPTION OF THE CONTRACTOR AND UPON PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
8. PEST AND DISEASE CONTROL : A CERTIFIED TECHNICIAN SHALL SPRAY AS NECESSARY TO CONTROL ALL INFESTATIONS.
9. RODENT CONTROL: THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO ELIMINATE ANY RODENTS ENCOUNTERED ON SITE.
10. PRUNING ALL PRUNING SHALL BE IN ACCORDANCE WITH ARBORS GUIDELINES. DAMAGED, DEAD OR DYING BRANCHES SHALL BE REMOVED BACK TO A POINT OF GROWTH.
11. PLANT REPLACEMENTS DURING THE MAINTENANCE PERIOD, SHOULD ANY PLANT SHOW WEAKNESS AND PROBABILITY OF DYING, IT SHALL BE REPLACED BY THE CONTRACTOR WITHIN 5 DAYS OF NOTIFICATION TO DO SO. AT THE END OF THE MAINTENANCE PERIOD, ALL PLANT MATERIAL SHALL BE IN A HEALTHY, GROWING CONDITION.
12. CLEAN UP : DURING THE COURSE OF THE MAINTENANCE WORK, THE CONTRACTOR SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE AND SHALL MAINTAIN THE PREMISES IN A NEAT AND CLEAN CONDITION AT ALL TIMES.
13. FINAL INSPECTION WILL BE HELD AT THE END OF THE 90-DAY MAINTENANCE PERIOD.

POST INSTALLATION MAINTENANCE GUIDELINES

A SCHEDULE FOR ONGOING MAINTENANCE SHALL BE PREPARED AND SHOWN ON THE PLANTING PLAN USING THE FOLLOWING GUIDELINES.

- A. ANY ALTERATIONS TO THE LANDSCAPE MUST BE APPROVED BY THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT.
- B. CONTROL ALL HARMFUL DISEASES AND PESTS. ALL CHEMICAL APPLICATIONS MUST BE PER STATE LICENSED ADVISORS AND APPLICATIONS.
- C. PRUNING SHALL BE DONE TO KEEP PLANTS WITHIN SPECIAL LIMITATIONS, REMOVAL OF DEADWOOD, CROSS-BRANCHING, ETC., PER INTERNATIONAL SOCIETY OF ARBORICULTURE STANDARDS (ISA). PLANTS SHALL NEVER BE SHEARED UNLESS SPECIFIED ON THE APPROVED PLAN. TREES ARE TO BE ALLOWED TO GROW TO THE DESIGNED SIZE TO PROVIDE MAXIMUM SHADING OF PAVED AREAS.
- D. WATER SHALL BE APPLIED FOR OPTIMUM PLANT GROWTH WITH MINIMAL RUNOFF OR OVERSPRAY.
- E. ADJUST CONTROLLERS PER CURRENT CALIFORNIA IRRIGATION MANAGEMENT INFORMATION SYSTEM (CIMIS) DATE (805) 664-4921.
- F. ALWAYS REPLACE HEADS WITH SAME KIND OR MATCHING PRECIPITATION RATE.
- G. BACKFLOW DEVICE SHALL BE TESTED AND CERTIFIED ANNUALLY BY THE VENTURA COUNTY ENVIRONMENTAL HEALTH DIVISION.
- H. INSPECT TREE SUPPORTS FREQUENTLY AND REMOVE AS SOON AS PLANTS WILL STAND WITHOUT SUPPORT AND WILL BE ABLE TO RESIST WIND DAMAGE. NEVER ALLOW SUPPORT MATERIALS TO GIRLDE TRUNK OF BRANCHES.
- I. LANDSCAPE IRRIGATION SHALL BE SCHEDULED DURING THE NIGHT OR EARLY MORNING HOURS.
- J. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE CHECKING, ADJUSTING, AND REPAIRING THE IRRIGATION EQUIPMENT, AERATING AND DETACHING TURF AREAS, REPLENISHING MULCH, FERTILIZATION, PRUNING, WEEDING, AND REMOVING LITTER IN ALL LANDSCAPED AREAS.

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Project:

PASEO DE COLINAS TOWNHOMES LAGUNA NIGUEL, CA SITE DEVELOPMENT PERMIT #SP20-02

Client Representative:

PROJECT DIMENSIONS

4 PARK PLAZA, SUITE 700 IRVINE, CA 92614

Stamp:

Job No:

Drawn By: MO, PH

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Plot Date: 05/13/2024

Scale: -

Title:

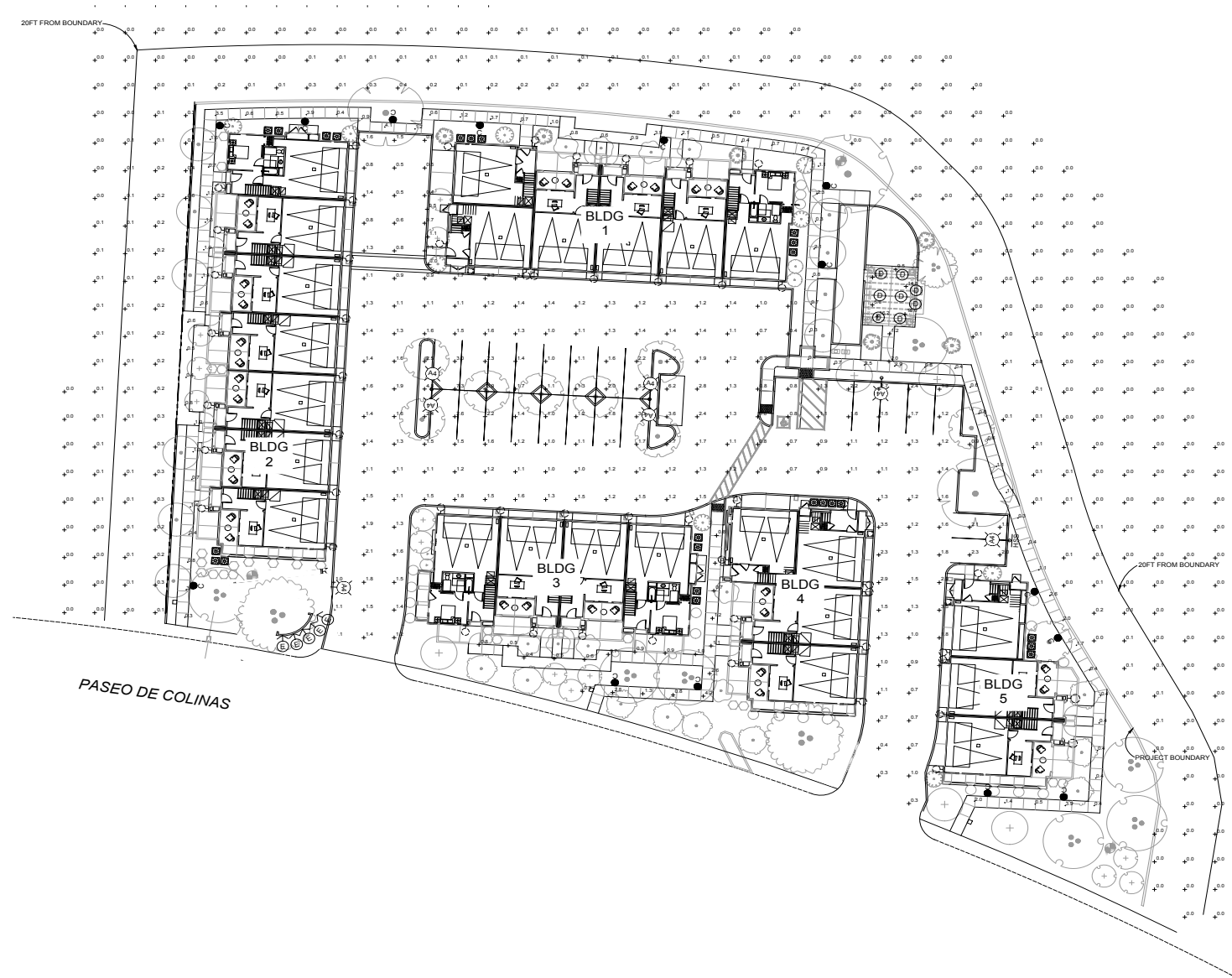
PLANTING SPECIFICATIONS

Sheet No.:

L.13

Plan Status:

SITE DEVELOPMENT PERMIT





VICINITY MAP
NOT TO SCALE

NIGUEL HILLS MIDDLE SCHOOL

APN: 637-181-001
OWNER: CAPISTRANO
UNIFIED SCHOOL DISTRICT

PARCEL 1
LLA NO. 07-01
INST 2007000641532 O.R.

PASEO DE COLINAS

NOTES

- ANY PROJECT ADJACENT EXISTING DRIVEWAY WHICH IS PROPOSED TO BE REMOVED SHALL BE REPLACED WITH NEW STREETScape CONSTRUCTED CITY OF LAGUNA NIGUEL & OC PUBLIC WORKS AGENCY STANDARDS
- SOUTH STAIRS ARE THE PROPERTY OF NIGUEL HILLS MIDDLE SCHOOL AND ARE NOT A PART OF THIS PROJECT. THESE STAIRS WILL BE CLOSED / LOCKED BY NIGUEL HILLS MIDDLE SCHOOL UPON THE START OF CONSTRUCTION OF THE PASEO DE COLINAS TOWNHOME PROJECT. HOWEVER, THESE SOUTH STAIRS WILL REMAIN AVAILABLE FOR NIGUEL HILLS MIDDLE SCHOOL TO USE AS NEEDED FOR SECONDARY EMERGENCY ACCESS PURPOSES

NORTH STAIRS ARE THE PROPERTY OF NIGUEL HILLS MIDDLE SCHOOL AND ARE NOT A PART OF THIS PROJECT. THESE STAIRS WILL BE CLOSED AND WILL REMAIN CLOSED.

ABBREVIATIONS

| | | | |
|---------|------------------|------|------------------|
| AC | ACRE | MNWD | MOULTON NIGUEL |
| APPROX. | APPROXIMATE | MWS | WATER DISTRICT |
| BLDG. | BUILDING | | MODULAR WETLAND |
| BW | BACK OF WALK | | SYSTEM |
| CB | CATCH BASIN | NAP | NOT A PART |
| C&G | CURB & GUTTER | PL | PROPERTY LINE |
| DW | DOMESTIC WATER | PIP | PROTECT IN PLACE |
| DWY | DRIVEWAY | PROP | PROPOSED |
| ELEC | ELECTRIC | R/W | RIGHT-OF-WAY |
| ESMT | EASEMENT | RW | RECYCLED WATER |
| EX | EXISTING | SD | STORM DRAIN |
| EXIST. | EXISTING | SE | SQUARE FEET |
| FF | FINISHED FLOOR | SS | SANITARY SEWER |
| FG | FINISHED GRADE | ST | STREET |
| PH | FIRE HYDRANT | SW | SIDEWALK |
| FL | FLOW LINE | TC | TOP OF CURB |
| FS | FINISHED SURFACE | TYP. | TYPICAL |
| HP | HIGH POINT | W | WATER |
| HYD | HYDRANT | XFMR | TRANSFORMER |
| IRR | IRRIGATION | | |

LEGEND

| | |
|-----|------------------------|
| --- | EXISTING PROPERTY LINE |
| --- | EXISTING CENTERLINE |
| --- | EXISTING EASEMENT LINE |
| --- | EXISTING SETBACK LINE |
| --- | DRAINAGE PATTERN |

ASSESSOR PARCEL NO.

637-181-01
637-392-02
637-412-02

SITE ADDRESS

29001 PASEO DE COLINAS
LAGUNA NIGUEL, CA 92677

OWNER

CAPISTRANO UNIFIED SCHOOL DISTRICT
33122 VALLE ROAD
SAN JUAN CAPISTRANO, CA 92675
949.234.9200

OWNER'S REPRESENTATIVE

PROJECT DIMENSIONS - JON KONK
4 PARK PLAZA, SUITE 700
IRVINE, CA 92614
TEL: 949.476.2246

CIVIL ENGINEER

FUSCOE ENGINEERING
16795 VON KARMAN, SUITE 100
IRVINE, CA 92606
TEL: 949.474.1960

ARCHITECT

KTGY
17911 VON KARMAN AVE, SUITE 200
IRVINE, CA 92614
949.851.2133

BENCHMARK

DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3MM-26-87", SET IN THE SOUTHWESTERLY CORNER OF A 4 FT. BY 4 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHEASTERLY CORNER OF THE INTERSECTION OF PASEO ESCUELA AND STREET OF THE GOLDEN LANTERN, 76.5 FT. EASTERLY OF THE CENTERLINE OF GOLDEN LANTERN AND 23 FT. SOUTHERLY OF THE CENTERLINE OF PASEO ESCUELA. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

BASIS OF BEARINGS

THE BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, ZONE VI, NAD 83 (2017.50 EPOCH OCS GPS ADJUSTMENT), AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS GLOBAL POSITIONING STATIONS (RMW) CCCS AND (LGWD) BEING N47°44'44"W AS DERIVED FROM GEODETIC VALUES PUBLISHED AND ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

SURVEYOR - KURT R. TROXELL
DATE OF SURVEY: AUGUST 22, 2019

SOILS ENGINEER & GEOLOGIST

LGC GEOTECHNICAL, INC.
1311 CALLE IGLESIA, SUITE 200
SAN CLEMENTE, CA 92672
TEL: 949.369.6141

PROJECT DIMENSIONS
4 Park Plaza, Suite 700
Irvine, CA 92614

PASEO DE COLINAS

LAGUNA NIGUEL, CA # 2018-1173

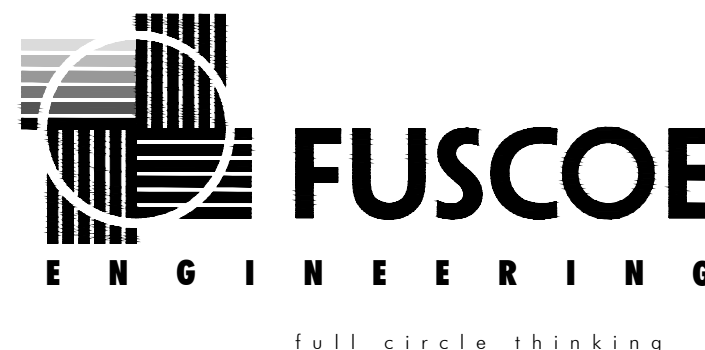
SITE DEVELOPMENT PERMIT APPLICATION

PLOT DATE: 4.29.2024

C-I.0 SITE PLAN - EXISTING CONDITION

FEL # 662-002-01

Civil Engineer
16795 Von Karman, Suite 100
Irvine, California 92606
tel 949.474.1960
fax 949.474.5315
www.fuscoe.com



NIGUEL HILLS
MIDDLE SCHOOL

APN: 637-181-001
OWNER: CAPISTRANO
UNIFIED SCHOOL DISTRICT

0.97 ACRE PARK
(N.A.P.)

PASEO DE COLINAS

ABBREVIATIONS

| | | | |
|---------|------------------|----------------|------------------|
| AC | ACRE | MNWD | MOULTON NIGUEL |
| APPROX. | APPROXIMATE | WATER DISTRICT | |
| BLDG. | BUILDING | MWS | MODULAR WETLAND |
| BW | BACK OF WALK | | SYSTEM |
| CB | CATCH BASIN | NAP | NOT A PART |
| C&G | CURB & GUTTER | PL | PROPERTY LINE |
| DW | DOMESTIC WATER | PIP | PROTECT IN PLACE |
| DWY | DRIVEWAY | PROP | PROPOSED |
| ELEC | ELECTRIC | R/W | RIGHT-OF-WAY |
| ESMT | EASEMENT | RW | RECYCLED WATER |
| EX. | EXISTING | SD | STORM DRAIN |
| EXIST. | EXISTING | SF | SQUARE FEET |
| FF | FINISHED FLOOR | SS | SANITARY SEWER |
| FG | FINISHED GRADE | ST. | STREET |
| FH | FIRE HYDRANT | SW | SIDEWALK |
| FL | FLOW LINE | TC | TOP OF CURB |
| FS | FINISHED SURFACE | TYP. | TYPICAL |
| HP | HIGH POINT | W | WATER |
| HYD | HYDRANT | XFMR | TRANSFORMER |
| IRR | IRRIGATION | | |

LEGEND

- EXISTING PROPERTY LINE
- EXISTING CENTERLINE
- EXISTING EASEMENT LINE
- EXISTING SETBACK LINE

EARTHWORK

3,400 CY RAW CUT *
3,400 CY RAW FILL *
0 CY NET EXPORT/IMPORT

* CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES
PRIOR TO BIDDING & CONSTRUCTION. CONSULT
GEOTECHNICAL ENGINEER FOR SHRINKAGE &
SUBSIDENCE AMOUNTS.

NOTES

1. ANY PROPOSED DRIVEWAY, CURB, GUTTER, CURB RAMP
AND/OR SIDEWALK TO BE CONSTRUCTED PER CITY OF
LAGUNA NIGUEL & OC PUBLIC WORKS AGENCY
STANDARDS
2. THE SITE WILL BE DESIGNED AND CONSTRUCTED IN
ACCORDANCE WITH THE CALIFORNIA REGIONAL WATER
QUALITY BOARD DISCHARGE REQUIREMENTS APPLICABLE TO
THIS SITE.
3. MAIN ENTRY TO BE RIGHT-IN/RIGHT-OUT ONLY
4. 60' SHEAR PINS ARE PROPOSED ON NORTH TOP OF
SLOPE TO IMPROVE STABILITY PER GEOTECHNICAL
ADDENDUM DATED 4/19/2021. SHEAR PINS MAY ALSO
SERVE TO ADDRESS TOP OF SLOPE SETBACKS FROM
NORTH SLOPE.
5. STAIRS ARE THE PROPERTY OF NIGUEL HILLS MIDDLE
SCHOOL AND ARE NOT A PART OF THIS PROJECT.
ACCESS TO THE STAIRCASES WILL NOT BE PERMITTED
FROM THE PASEO DE COLINAS TOWNHOME PROPERTY.

PROJECT DIMENSIONS
4 Park Plaza, Suite 700
Irvine, CA 92614

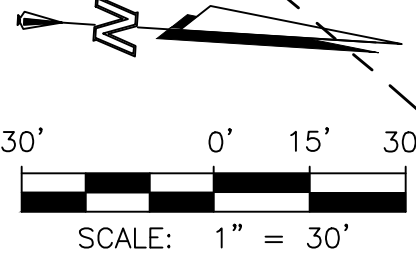
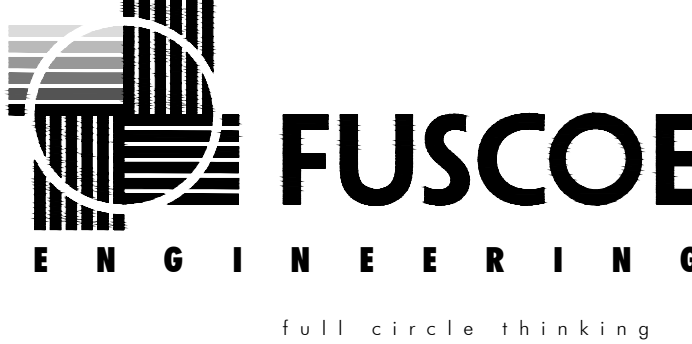
PASEO DE COLINAS
LAGUNA NIGUEL, CA # 2018-1173

SITE DEVELOPMENT PERMIT APPLICATION
PLOT DATE: 5.14.2024

C-2.0
SITE PLAN - IMPROVEMENTS

FEI # 662-002-01

Civil Engineer
16795 Von Karman, Suite 100
Irvine, California 92606
tel 949.474.1960
fax 949.474.5315
www.fuscoe.com



NIGUEL HILLS
MIDDLE SCHOOL

APN: 637-181-001
OWNER: CAPISTRANO
UNIFIED SCHOOL DISTRICT

0.97 ACRE PARK
(N.A.P.)

PASEO DE COLINAS

APN: 637-471-002
OWNER: N/A

ABBREVIATIONS

| | | | |
|---------|------------------|------|------------------|
| AC | ACRE | MNWD | MOULTON NIGUEL |
| APPROX. | APPROXIMATE | | WATER DISTRICT |
| BLDG. | BUILDING | MWS | MODULAR WETLAND |
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| CB | CATCH BASIN | NAP | NOT A PART |
| C&G | CURB & GUTTER | PL | PROPERTY LINE |
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| FF | FINISHED FLOOR | SS | SANITARY SEWER |
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| FH | FIRE HYDRANT | SW | SIDEWALK |
| FL | FLOW LINE | TC | TOP OF CURB |
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| HP | HIGH POINT | W | WATER |
| HYD | HYDRANT | XFMR | TRANSFORMER |
| IRR | IRRIGATION | | |

LEGEND

| | |
|-----|------------------------|
| --- | EXISTING PROPERTY LINE |
| --- | EXISTING CENTERLINE |
| --- | EXISTING EASEMENT LINE |
| --- | EXISTING SETBACK LINE |

NOTES

- UTILITY SIZES TO BE FINALIZED IN FINAL ENGINEERING DOCUMENTS AND LAYOUT PER CITY OF LAGUNA NIGUEL, MNWD & OC PUBLIC WORKS AGENCY STANDARDS
- THE SITE WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA REGIONAL WATER QUALITY BOARD DISCHARGE REQUIREMENTS APPLICABLE TO THIS SITE.
- MNWD EASEMENT WILL BE PROVIDED FOR ONSITE DOMESTIC WATER & METERS.
- STAIRS ARE THE PROPERTY OF NIGUEL HILLS MIDDLE SCHOOL AND ARE NOT A PART OF THIS PROJECT. ACCESS TO THE STAIRCASES WILL NOT BE PERMITTED FROM THE PASEO DE COLINAS TOWNHOME PROPERTY.

PROJECT DIMENSIONS
4 Park Plaza, Suite 700
Irvine, CA 92614

PASEO DE COLINAS
LAGUNA NIGUEL, CA # 2018-1173

SITE DEVELOPMENT PERMIT APPLICATION
PLOT DATE: 5.14.2024

C-3.0
SITE PLAN - UTILITIES

FEI # 662-002-01

Civil Engineer
16795 Von Karman, Suite 100
Irvine, California 92606
tel 949.474.1960
fax 949.474.5315
www.fuscoe.com

