



PASEO DE COLINAS TOWNHOMES

OWNER:

CAPISTRANO UNIFIED SCHOOL DISTRICT

OWNER'S AGENT:

PROJECT DIMENSIONS

IRVINE, CA

ARCHITECT:

KTGY

IRVINE, CA

CIVIL ENGINEERS:

FUSCOE ENGINEERING, INC.

IRVINE, CA

LANDSCAPE ARCHITECT:

MJS LANDSCAPE ARCHITECTURE

NEWPORT BEACH, CA



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PROJECT DIMENSIONS
4 Park Plaza, Suite 700
Irvine, CA 92614

PASEO DE COLINAS TOWNHOMES
LAGUNA NIGUEL, CA # 2018-1173

SITE DEVELOPMENT PERMIT APPLICATION
Plot Date: 5.16.2024
Updated Submittal: TBD

S H E E T I N D E X

A R C H I T E C T U R E

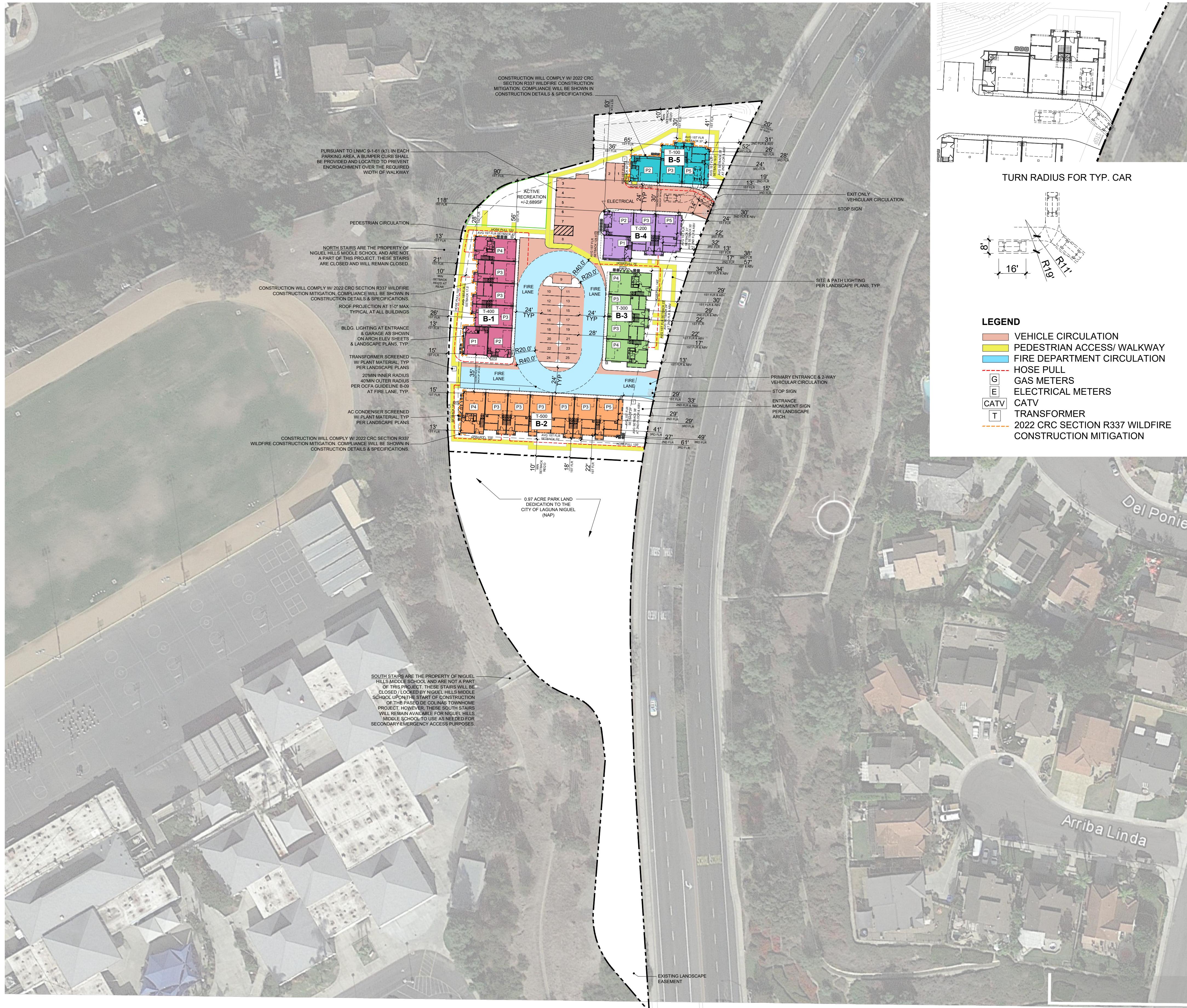
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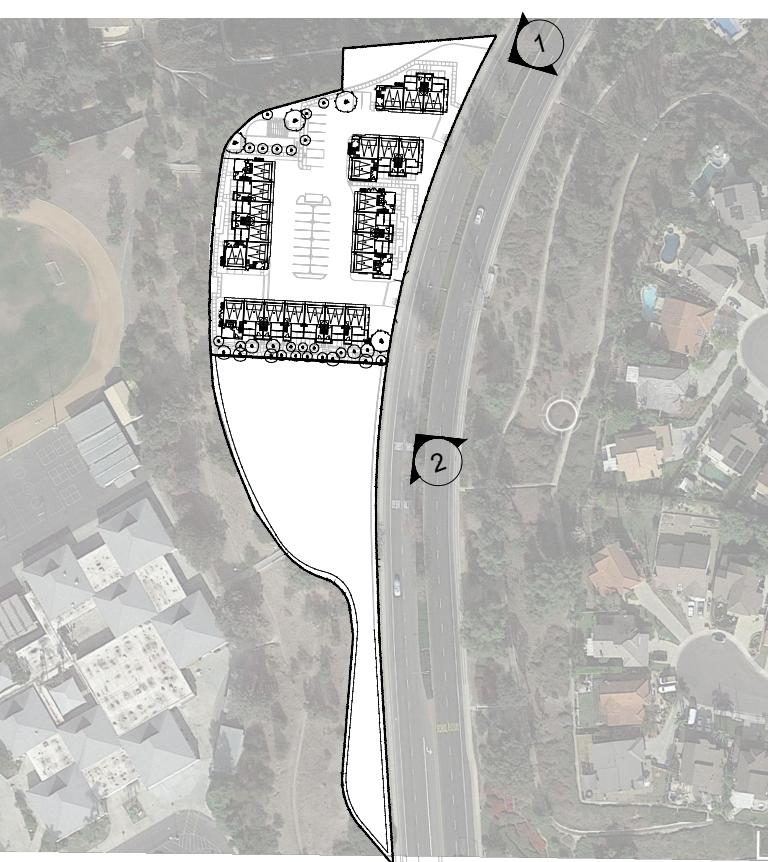
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KEY MAP N.T.S.



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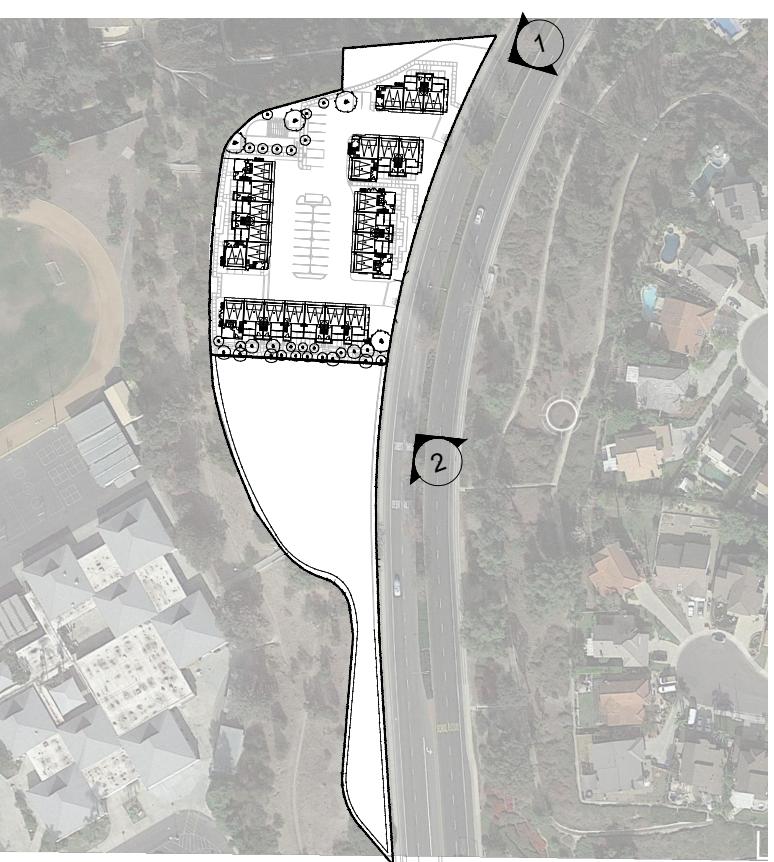
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STREET PERSPECTIVE
VIEW 1

A1.1



KEY MAP N.T.S.



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STREET PERSPECTIVE
VIEW 2

A1.2



FRONT/LEFT



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BUILDING PERSPECTIVES
BUILDING 5, T100 (3-PLEX)
COLOR SCHEME 2

A2.0

LEGEND

- [1] Smooth Trowel White Stucco Finish
- [2] Concrete "S" Profile Roof Tile
- [3] Stucco over Foam Eave w/ 1x3 Fascia Over
- [4] Stucco Scalloped Sill Trim
- [5] Stucco over Foam Surround (Where Occurs)
- [6] Stucco Recess
- [7] Recessed Faux Diamond Gable Vent
- [8] Decorative Stucco Finial
- [9] Vinyl Windows
- [10] Exposed Truss Tails at Eaves w/ 1x3 Fascia
- [11] Faux Wood Corbel
- [12] Accent Battered Ceramic Tile Surround
- [13] Stucco over Foam Corbel

- [14] Faux Window Shutter
- [15] Stucco over Foam Trim
- [16] Metal Wrought Iron Grille
- [17] Stucco Sloped Recessed Ledge
- [18] Stucco Arched Soffit
- [19] Stucco Patio Low Wall (See Landscape Dwgs)
- [20] Fiber Cement Trim
- [21] Fiber Cement Panel
- [22] Tile Cap
- [23] Metal Juliet Balcony with Scroll Brackets
- [24] Canvas Awning w/ Metal Spears
- [25] Fiberglass Entry Doors
- [26] Decorative Exterior Lights & Raised Address
- [27] Metal Sectional Garage Door
- [28] Micro Gutter at Back of Juliet Balcony
- [29] Utility Metal Doors
- [30] Decorative Metal Potshelf
- [31] Gutter and Downspout (Where Occurs)
- [32] Stone Veneer



RIGHT



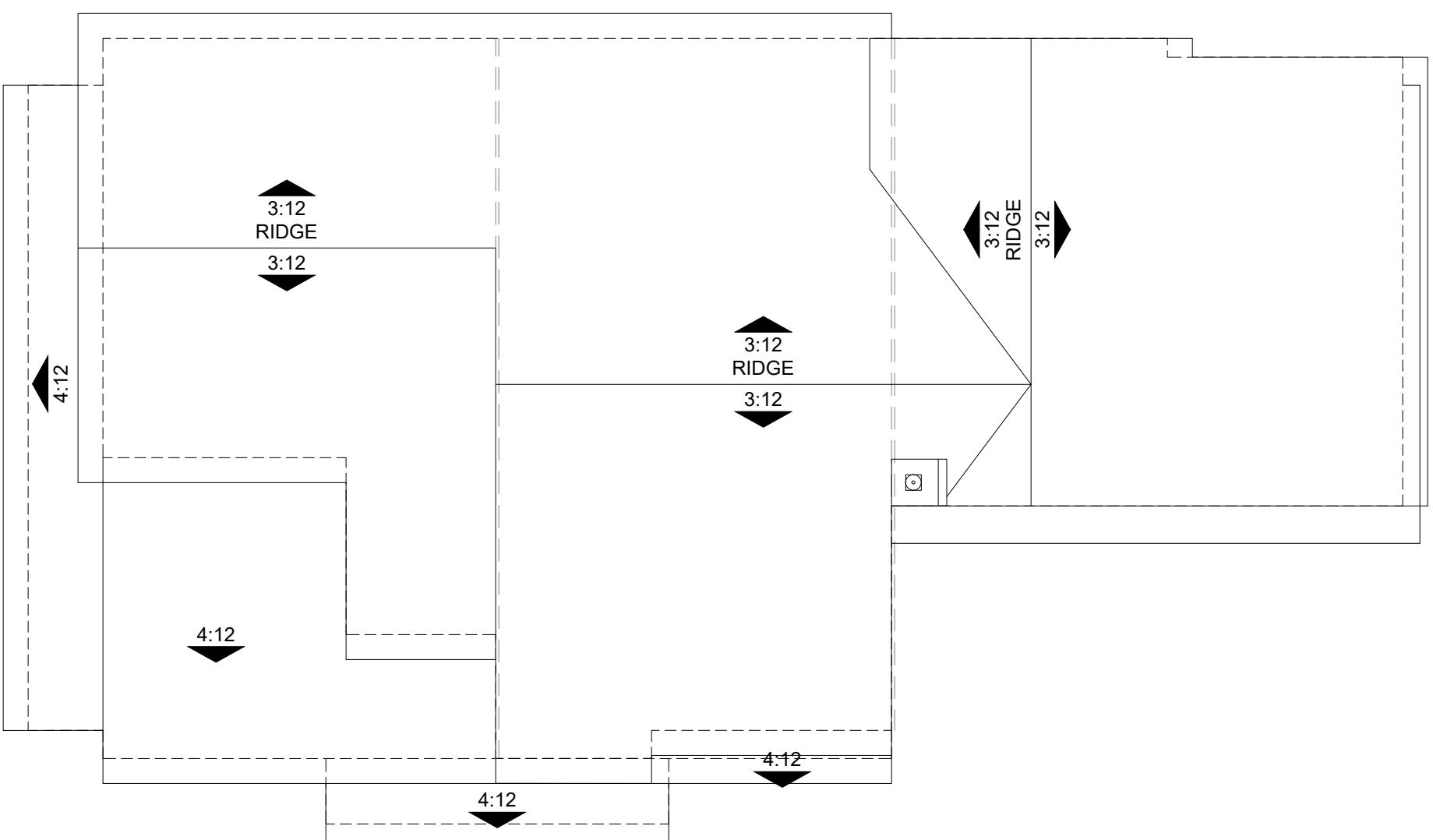
REAR



LEFT



FRONT

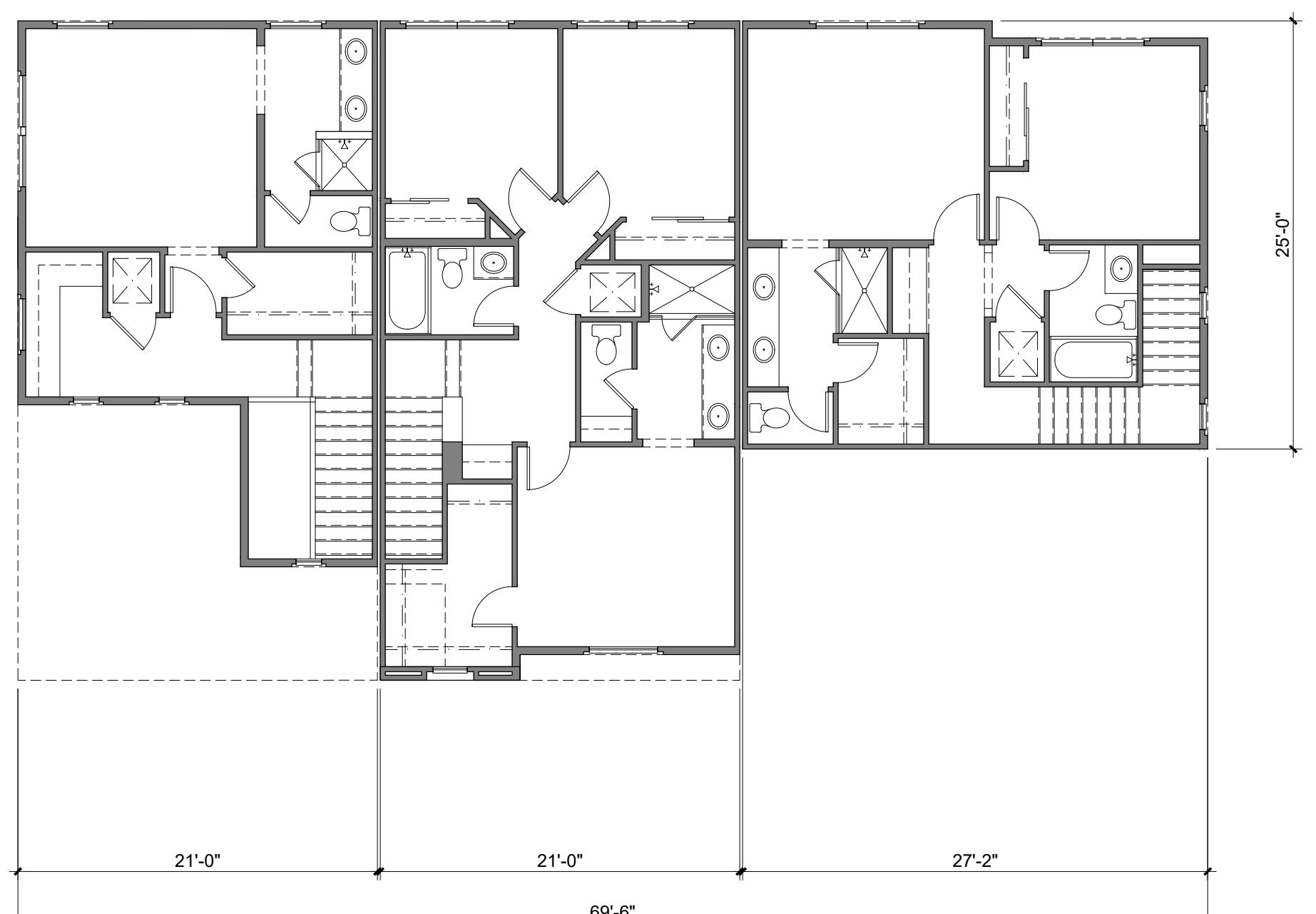


NOTE: NO ROOF MOUNTED EQUIPMENT
ROOF OVERHANG: 12" EAVE; 6" RAKE

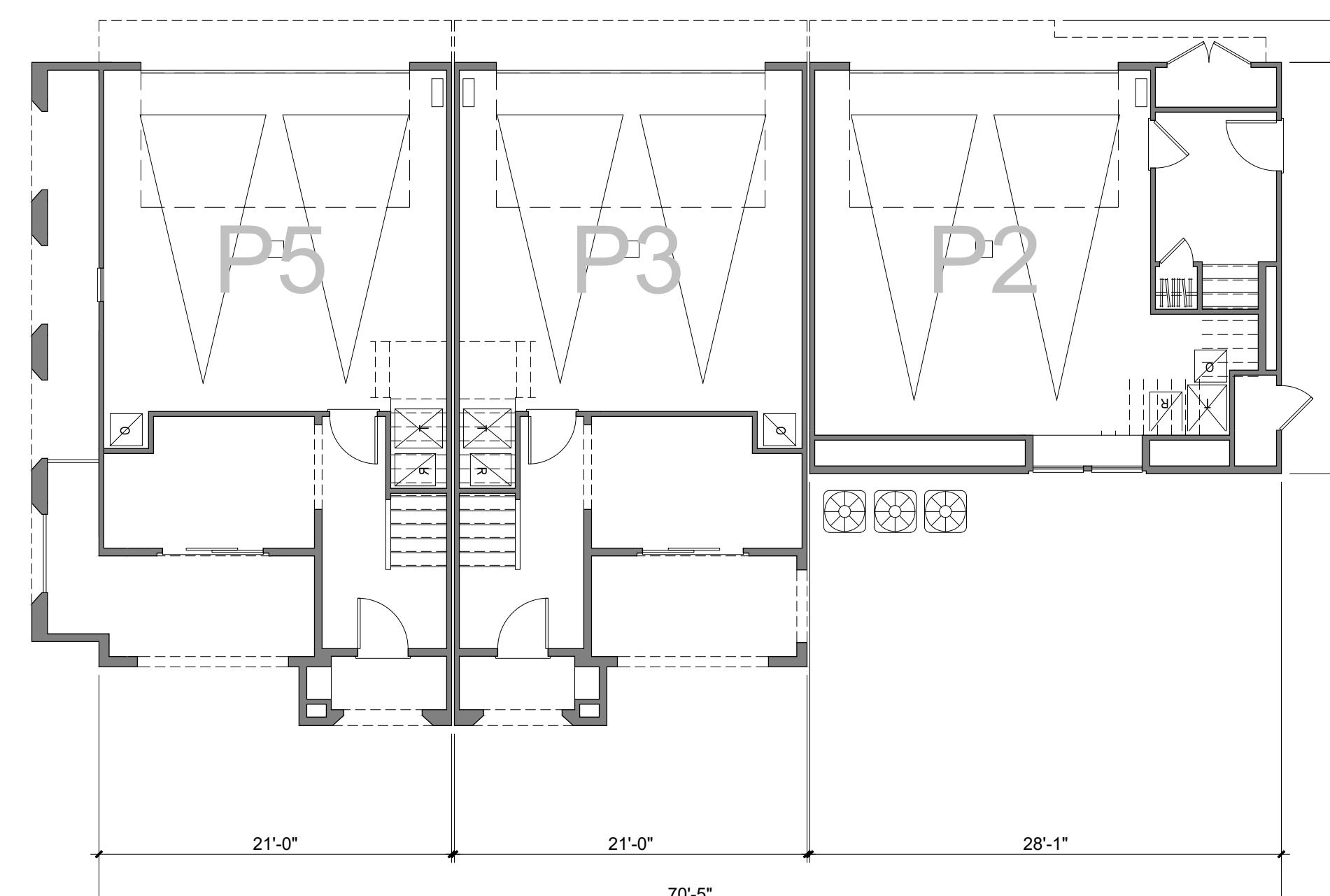
ROOF PLAN



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

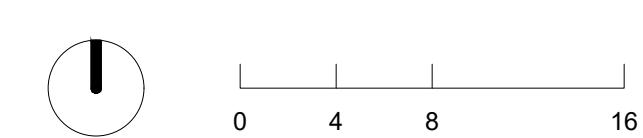


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BUILDING PLANS
BUILDING 5, T100 (3-PLEX)

A2.2



FRONT/LEFT



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BUILDING PERSPECTIVES
BUILDING 4, T200 (4-PLEX)
COLOR SCHEME 2

A2.3

LEGEND

- [1] Smooth Trowel White Stucco Finish
- [2] Concrete "S" Profile Roof Tile
- [3] Stucco over Foam Eave w/ 1x3 Fascia Over
- [4] Stucco Scalloped Sill Trim
- [5] Stucco over Foam Surround (Where Occurs)
- [6] Stucco Recess
- [7] Recessed Faux Diamond Gable Vent
- [8] Decorative Stucco Finial
- [9] Vinyl Windows
- [10] Exposed Truss Tails at Eaves w/ 1x3 Fascia
- [11] Faux Wood Corbel
- [12] Accent Battered Ceramic Tile Surround
- [13] Stucco over Foam Corbel

- [14] Faux Window Shutter
- [15] Stucco over Foam Trim
- [16] Metal Wrought Iron Grille
- [17] Stucco Sloped Recessed Ledge
- [18] Stucco Arched Soffit
- [19] Stucco Patio Low Wall (See Landscape Dwgs)
- [20] Fiber Cement Trim

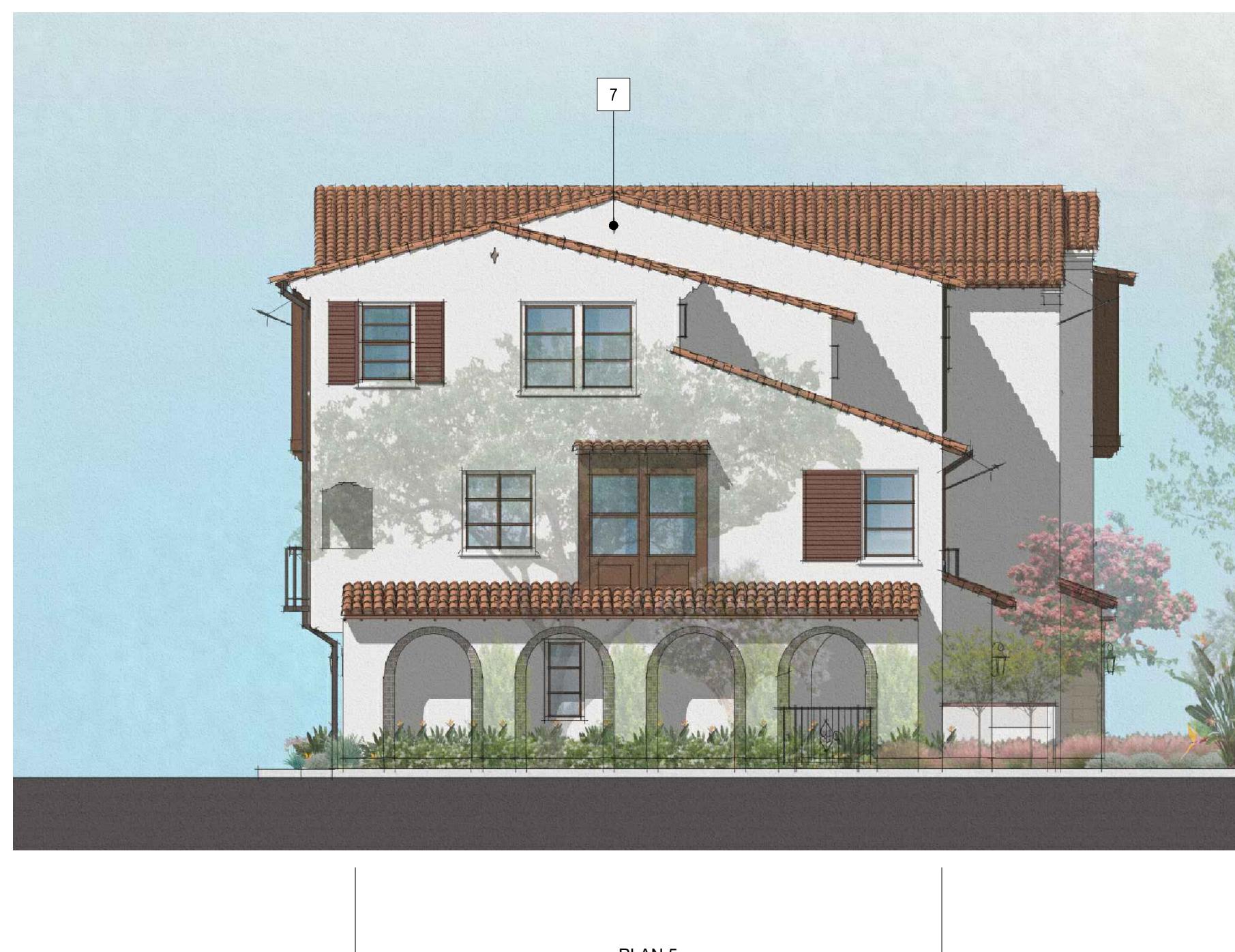
- [21] Fiber Cement Panel
- [22] Tile Cap
- [23] Metal Juliet Balcony with Scroll Brackets
- [24] Canvas Awning w/ Metal Spears
- [25] Fiberglass Entry Doors
- [26] Decorative Exterior Lights & Raised Address
- [27] Metal Sectional Garage Door
- [28] Micro Gutter at Back of Juliet Balcony
- [29] Utility Metal Doors
- [30] Decorative Metal Potshelf
- [31] Gutter and Downspout (Where Occurs)
- [32] Stone Veneer



RIGHT



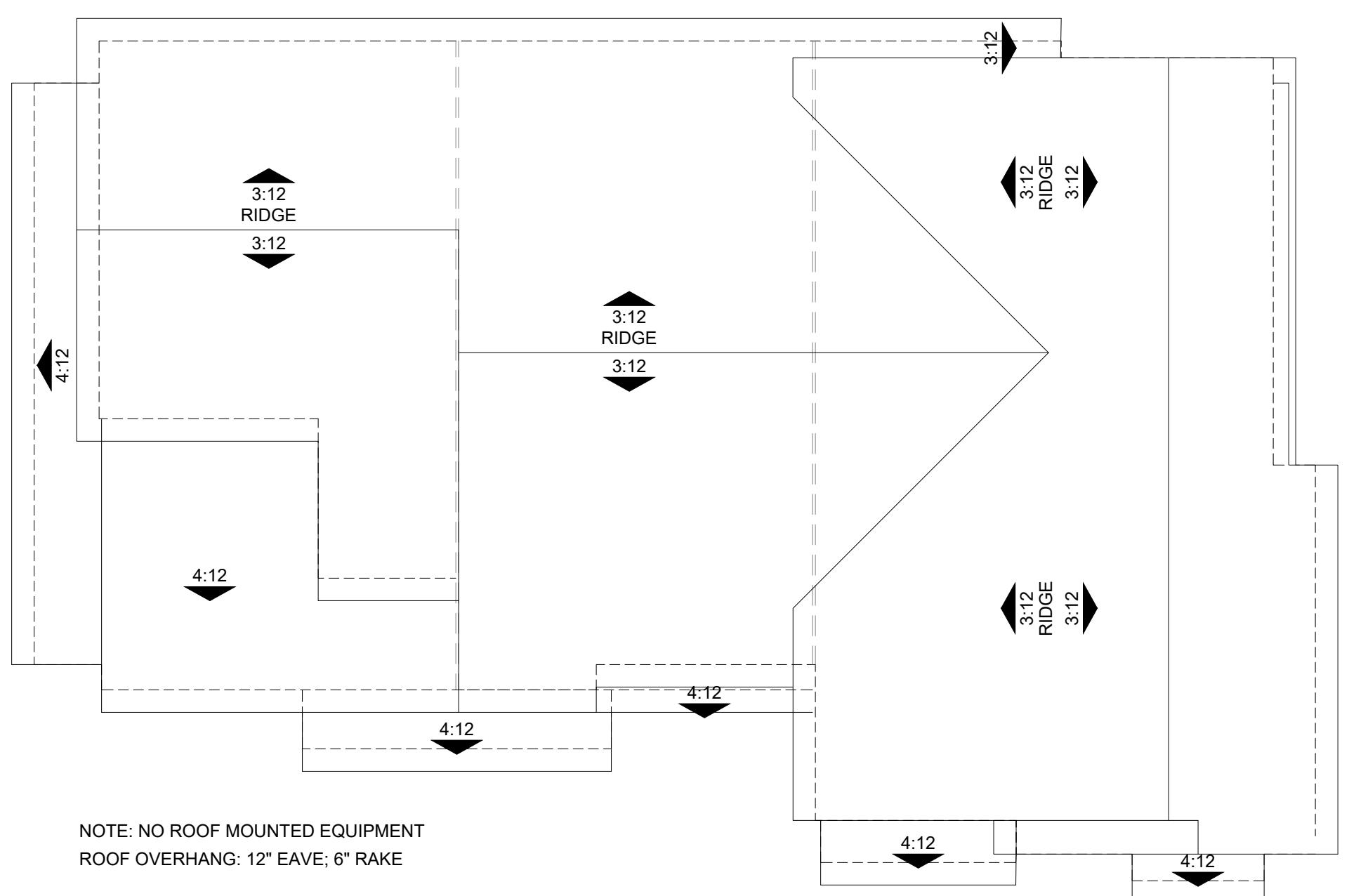
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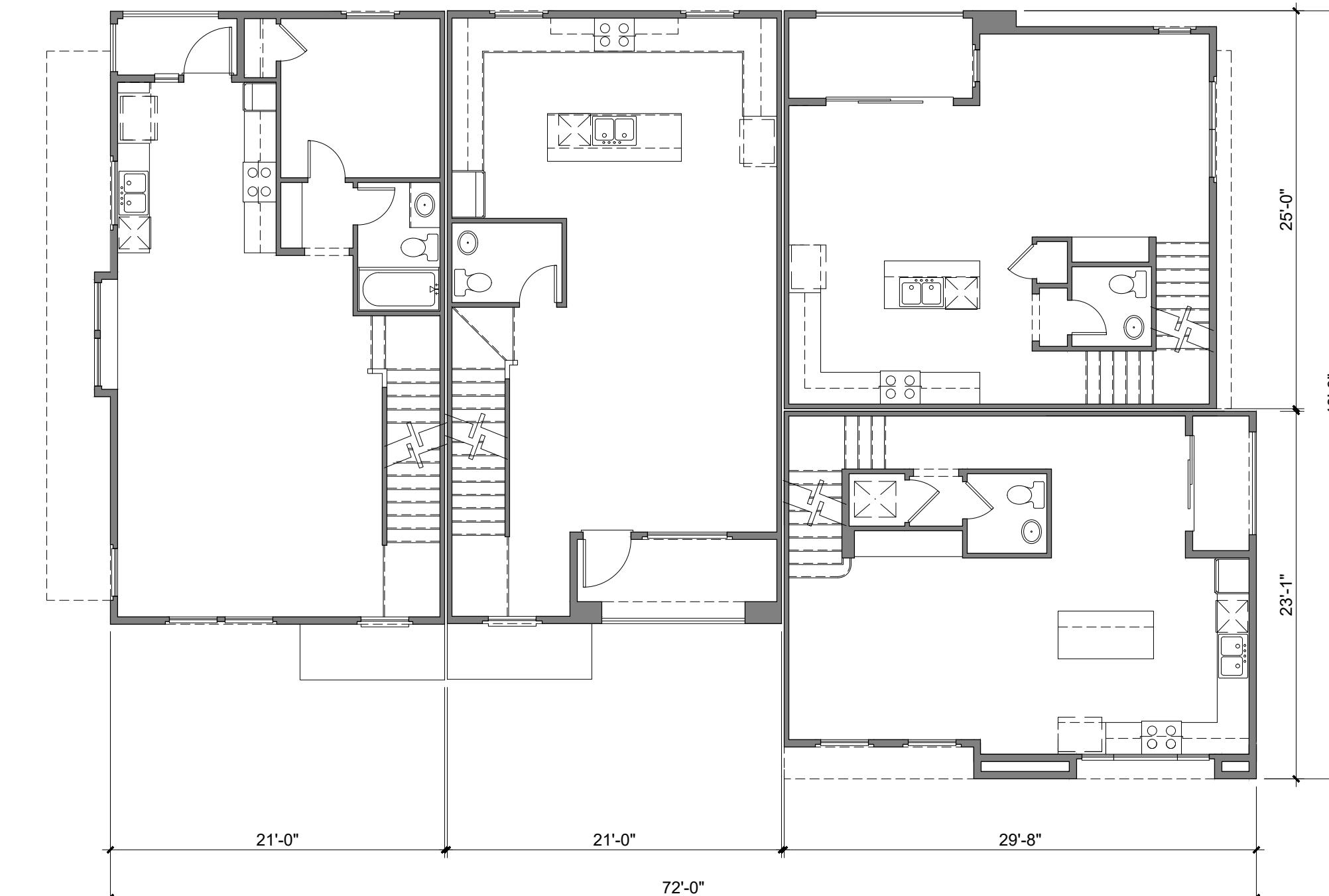
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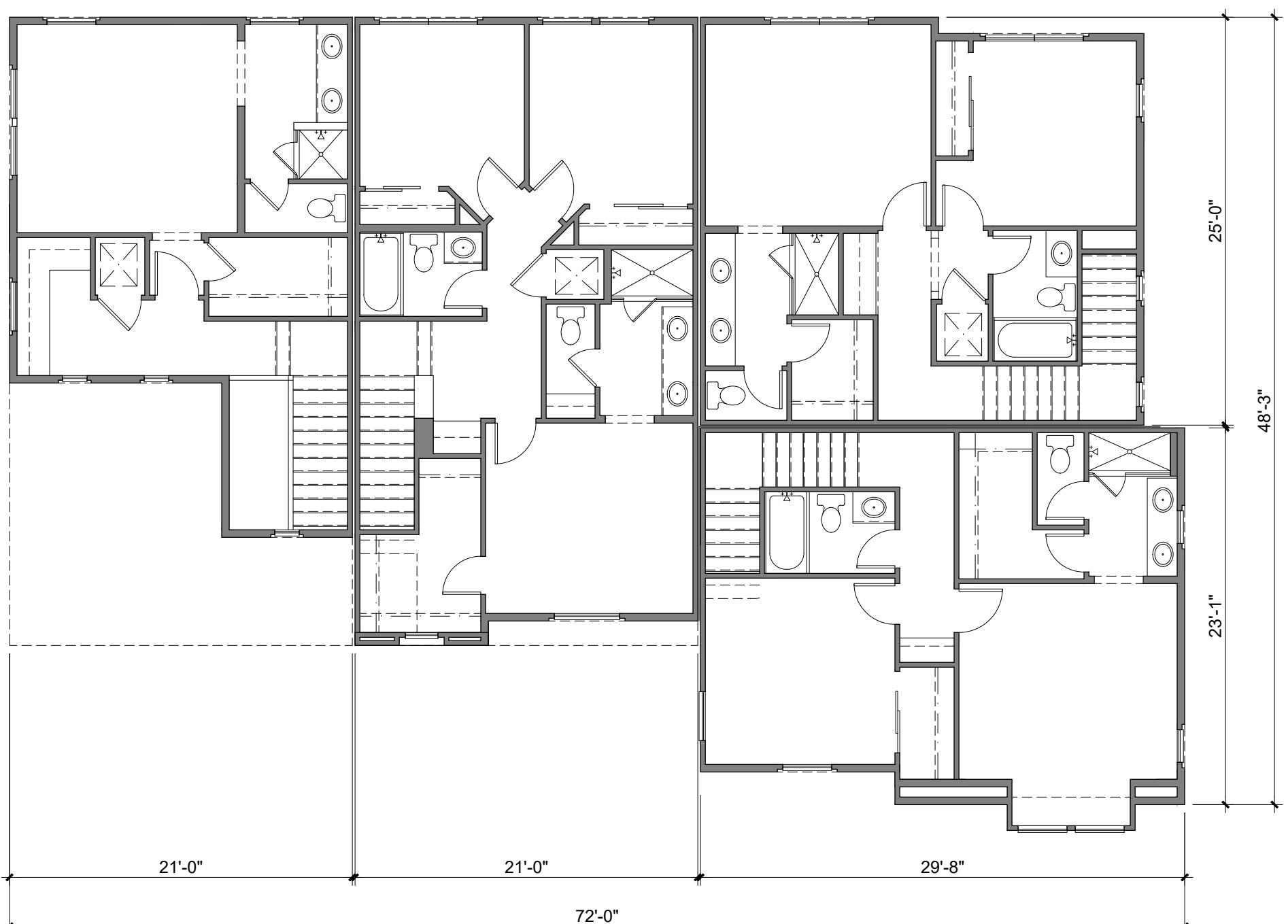
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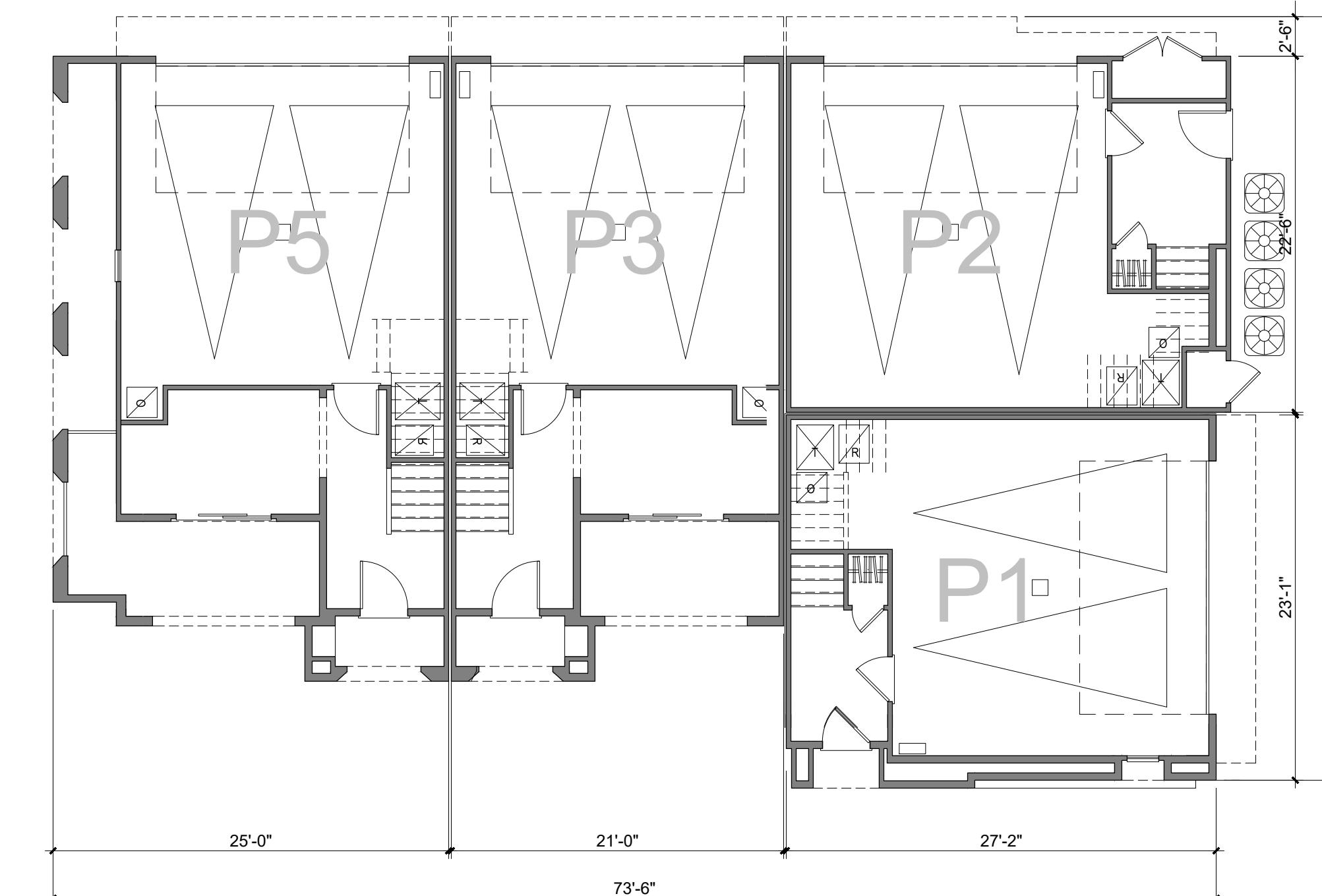
ROOF PLAN



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



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BUILDING PLANS
BUILDING 4, T200 (4-PLEX)

A2.5



FRONT/LEFT



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BUILDING PERSPECTIVES
BUILDING 3, T300 (4-PLEX)
COLOR SCHEME 2

A2.6

LEGEN

- 1 Smooth Trowel White Stucco Finish
- 2 Concrete "S" Profile Roof Tile
- 3 Stucco over Foam Eave w/ 1x3 Fascia Over
- 4 Stucco Scalloped Sill Trim
- 5 Stucco over Foam Surround (Where Occur)
- 6 Stucco Recess

- 7 Recessed Faux Diamond Gable Vent
- 8 Decorative Stucco Finial
- 9 Vinyl Windows
- 10 Exposed Truss Tails at Eaves w/ 1x3 Fascia
- 11 Faux Wood Corbel
- 12 Accent Battered Ceramic Tile Surround
- 13 Stucco over Foam Corbel

- 14 Faux Window Shutter
- 15 Stucco over Foam Trim
- 16 Metal Wrought Iron Grille
- 17 Stucco Sloped Recessed Ledge
- 18 Stucco Arched Soffit
- 19 Stucco Patio Low Wall (See Landscape Dw)
- 20 Fiber Cement Trim

- 21 Fiber Cement Panel
- 22 Tile Cap
- 23 Metal Juliet Balcony with Scroll Brackets
- 24 Canvas Awning w/ Metal Spears
- 25 Fiberglass Entry Doors
- 26 Decorative Exterior Lights & Raised Address
- 27 Metal Sectional Garage Door

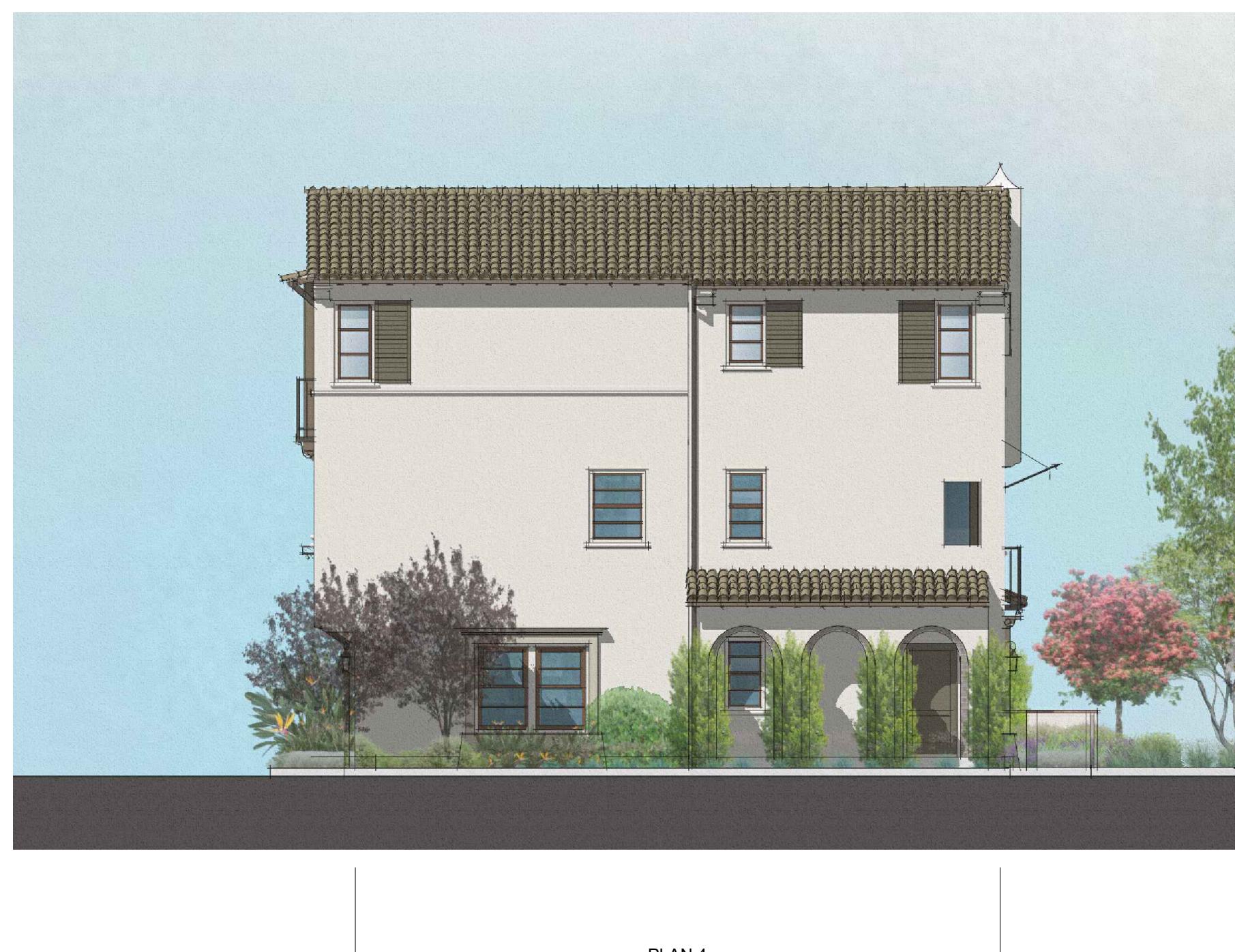
- 28 Micro Gutter at Back of Juliet Balcony
- 29 Utility Metal Doors
- 30 Decorative Metal Potshelf
- 31 Gutter and Downspout (Where Occurs)
- 32 Stone Veneer



RIGH



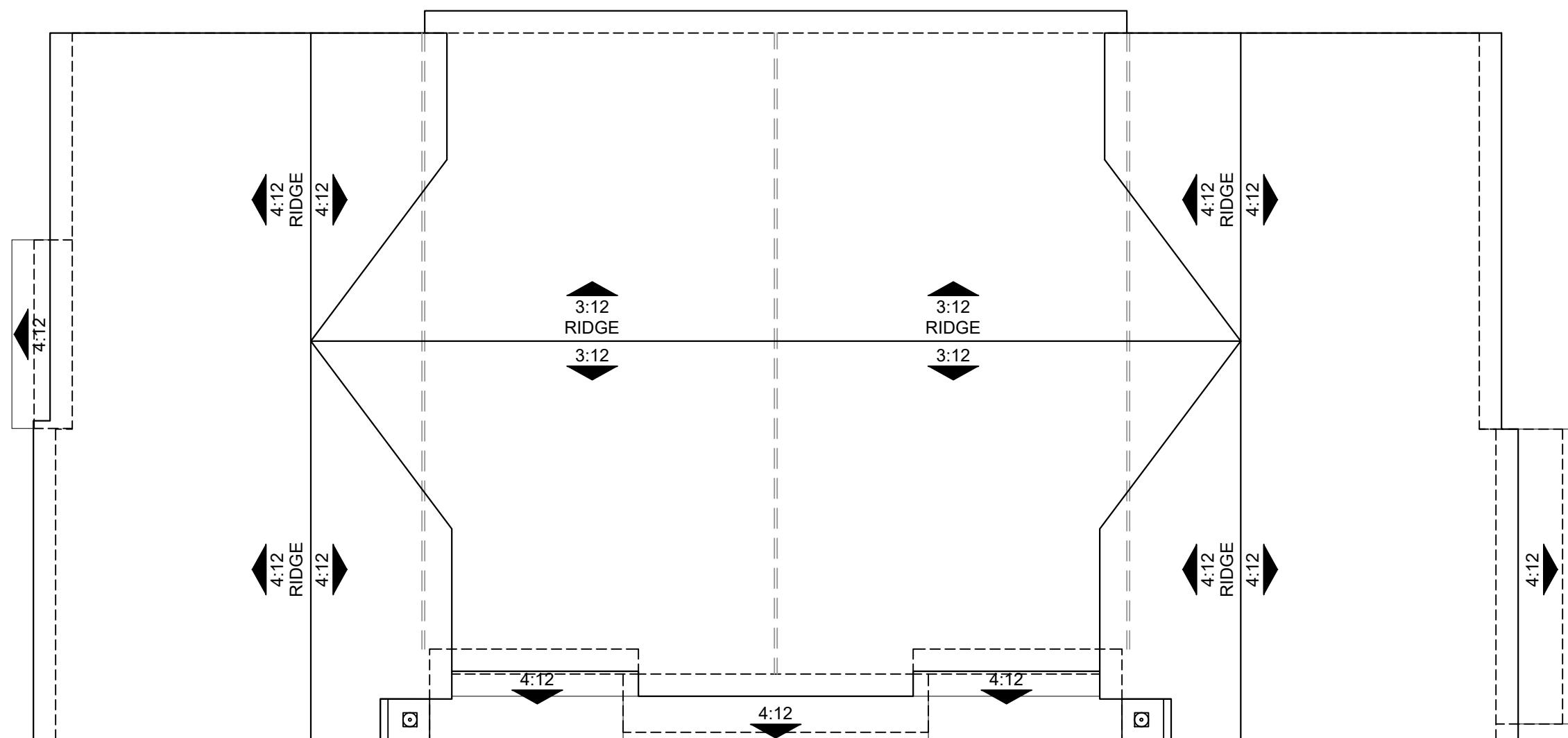
REAR



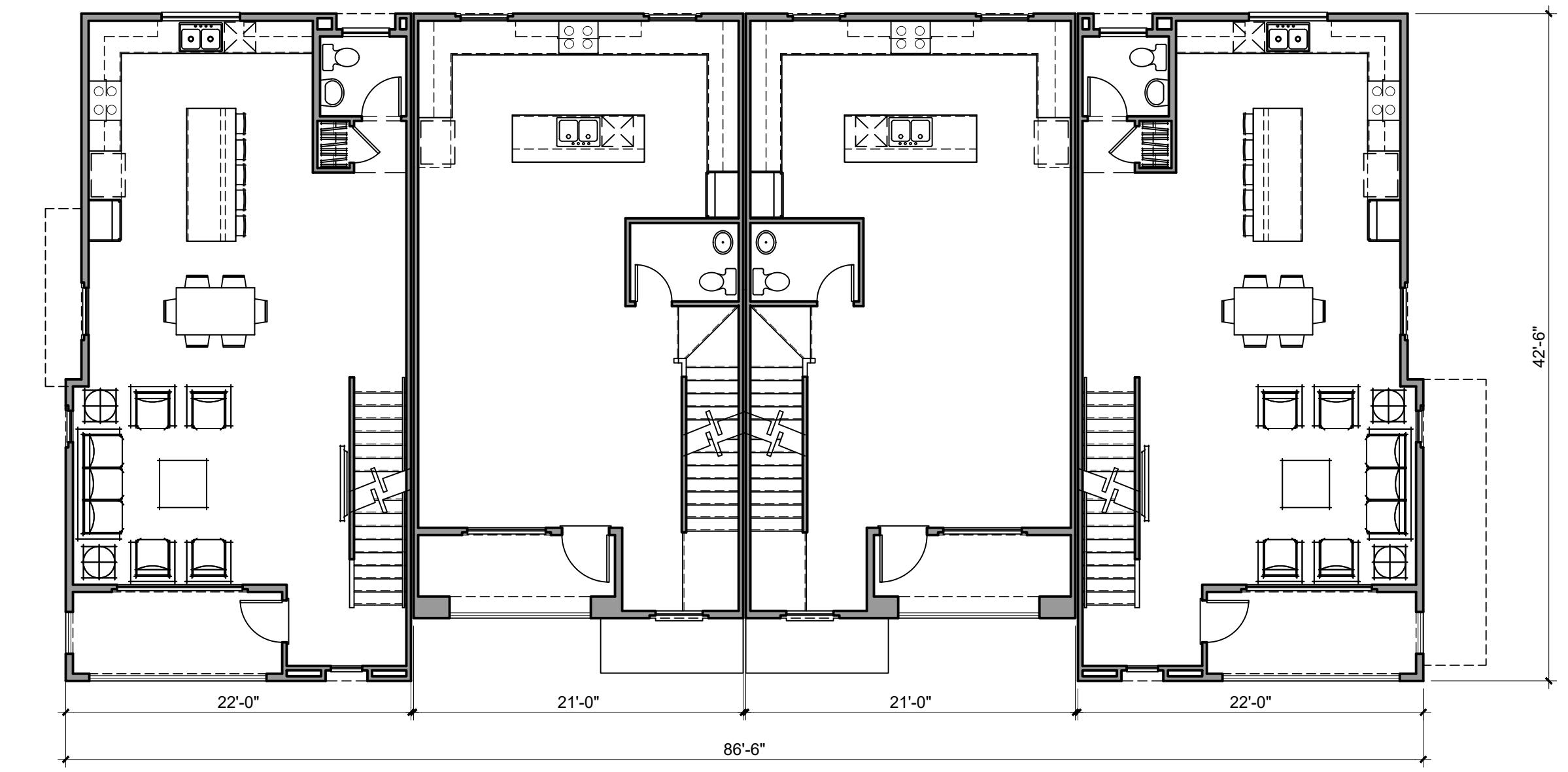
LEEF



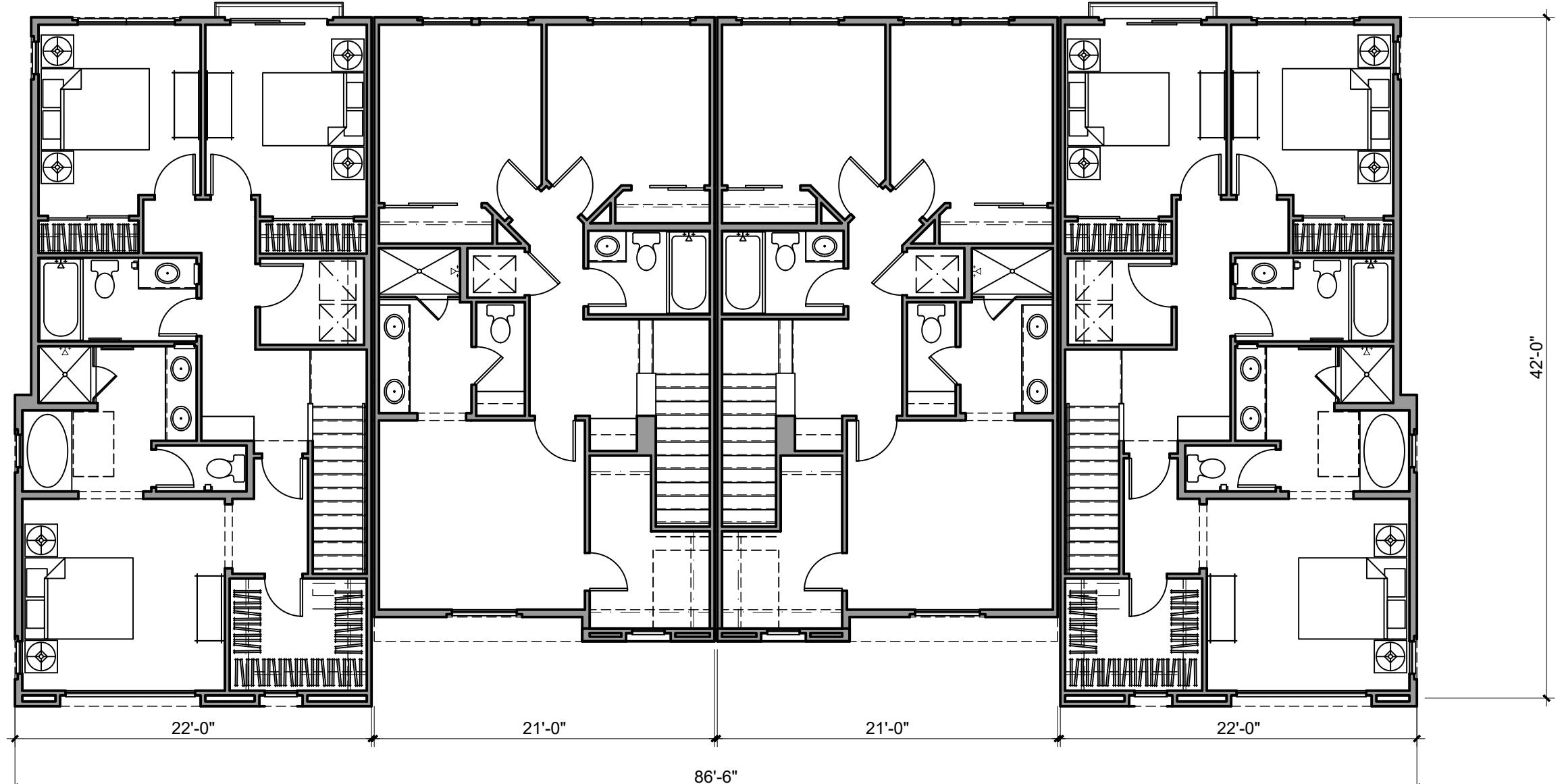
FRONT



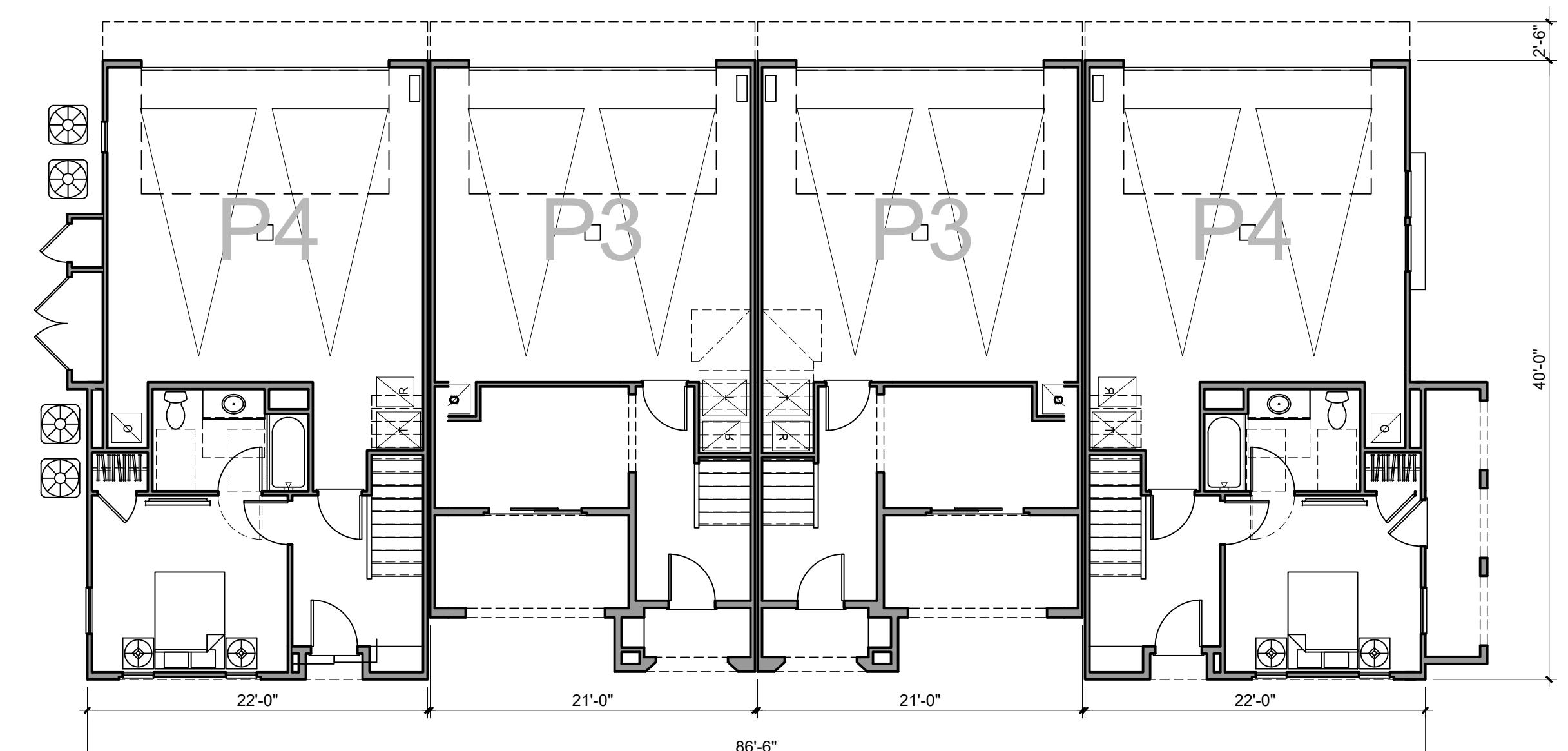
ROOF PLAN



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



FRONT/LEFT



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BUILDING PERSPECTIVES
BUILDING 1, T400 (6-PLEX)
COLOR SCHEME 2

A2.9

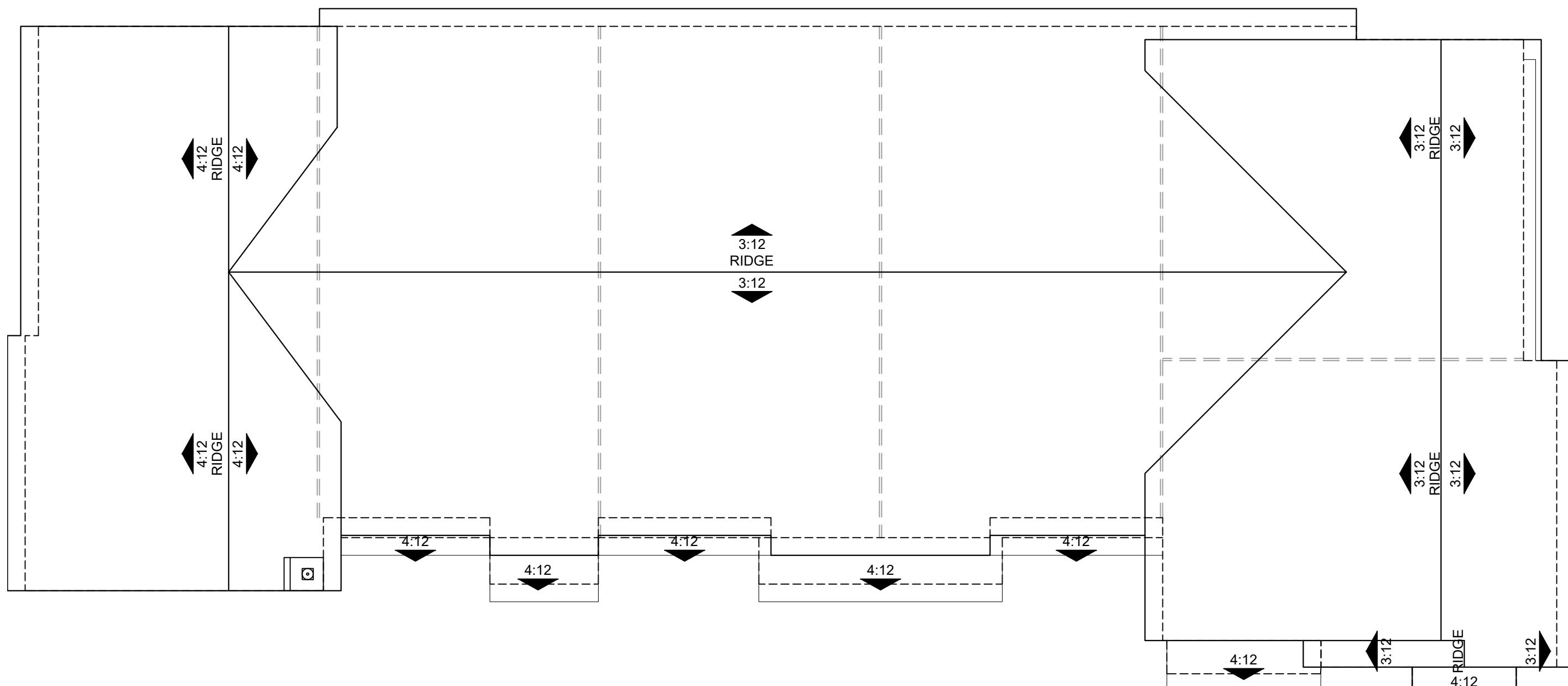
LEGEND

- 1 Smooth Trowel White Stucco Finish
- 2 Concrete "S" Profile Roof Tile
- 3 Stucco over Foam Eave w/ 1x3 Fascia Over
- 4 Stucco Scalloped Sill Trim
- 5 Stucco over Foam Surround (Where Occurs)
- 6 Stucco Recess
- 7 Recessed Faux Diamond Gable Vent
- 8 Decorative Stucco Finial
- 9 Vinyl Windows
- 10 Exposed Truss Tails at Eaves w/ 1x3 Fascia
- 11 Faux Wood Corbel
- 12 Accent Battered Ceramic Tile Surround
- 13 Stucco over Foam Corbel

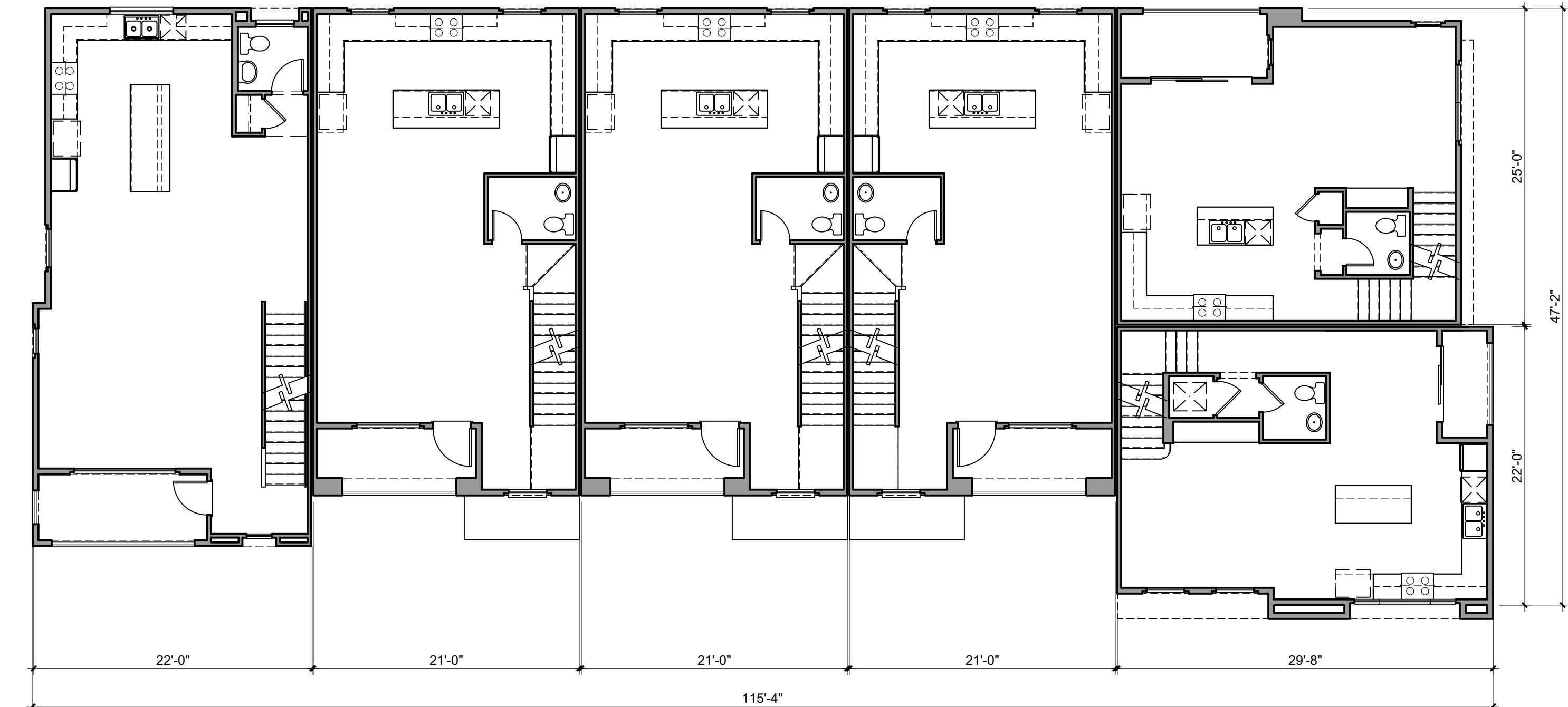
- 14 Faux Window Shutter
- 15 Stucco over Foam Trim
- 16 Metal Wrought Iron Grille
- 17 Stucco Sloped Recessed Ledge
- 18 Stucco Arched Soffit
- 19 Stucco Patio Low Wall (See Landscape Dwgs)
- 20 Fiber Cement Trim

- 21 Fiber Cement Panel
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- 23 Metal Juliet Balcony with Scroll Brackets
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- 27 Metal Sectional Garage Door
- 28 Micro Gutter at Back of Juliet Balcony
- 29 Utility Metal Doors
- 30 Decorative Metal Potshelf
- 31 Gutter and Downspout (Where Occurs)
- 32 Stone Veneer

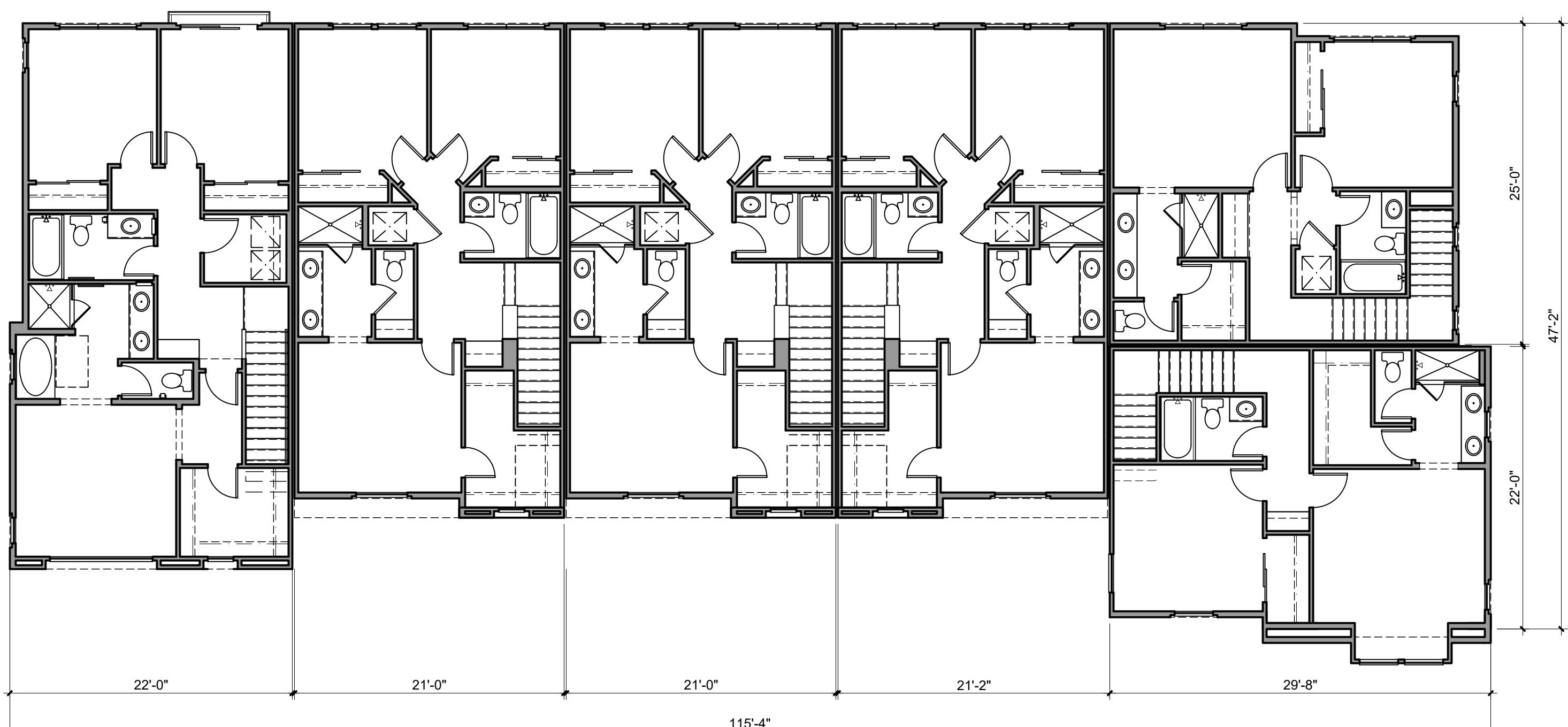




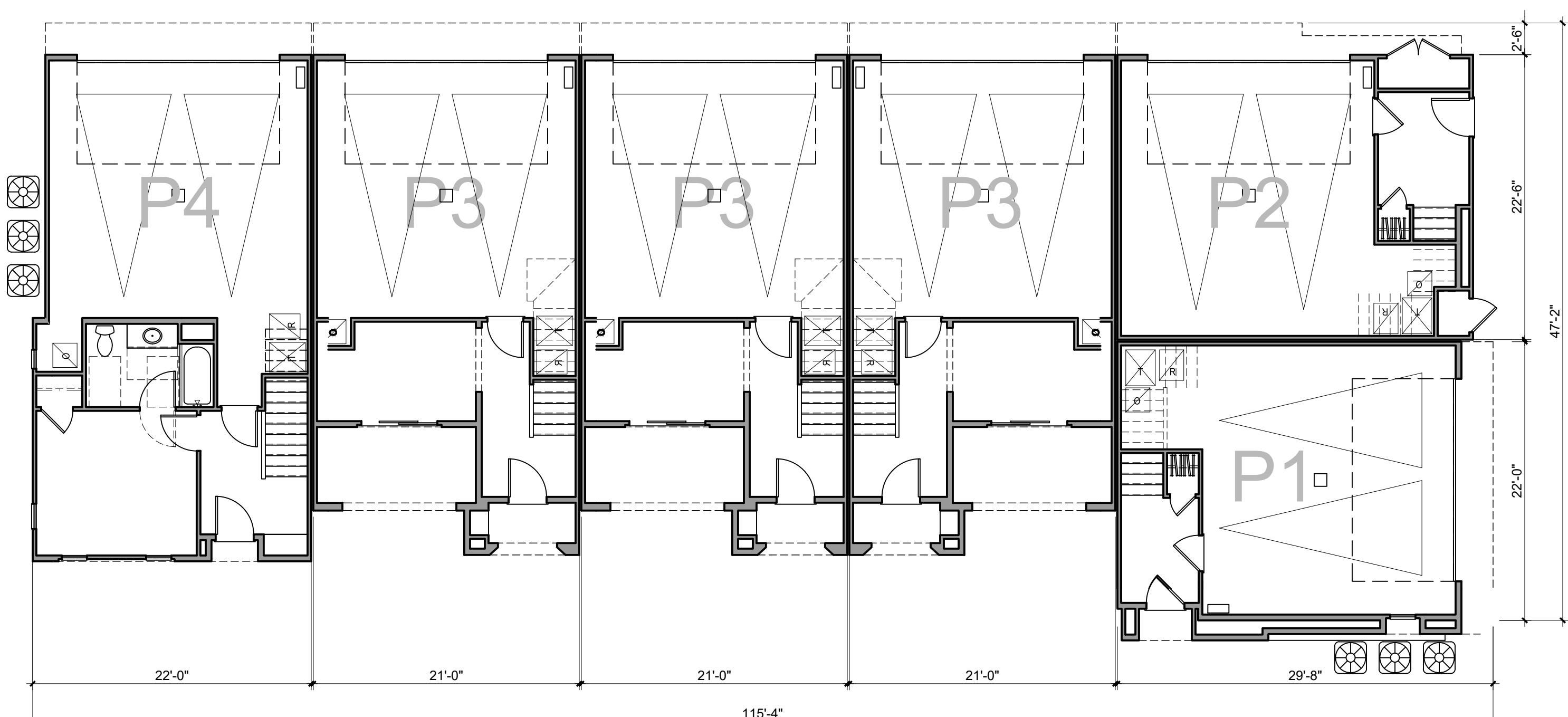
ROOF PLAN



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR



FRONT/RIGHT



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BUILDING PERSPECTIVES
BUILDING 2, T500 (7-PLEX)
COLOR SCHEME 1

A2.12

LEGEND

- [1] Smooth Trowel White Stucco Finish
- [2] Concrete "S" Profile Roof Tile
- [3] Stucco over Foam Eave w/ 1x3 Fascia Over
- [4] Stucco Scalloped Sill Trim
- [5] Stucco over Foam Surround (Where Occurs)
- [6] Stucco Recess

- [7] Recessed Faux Diamond Gable Vent
- [8] Decorative Stucco Finial
- [9] Vinyl Windows
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- [30] Decorative Metal Potshelf
- [31] Gutter and Downspout (Where Occurs)
- [32] Stone Veneer



RIGHT



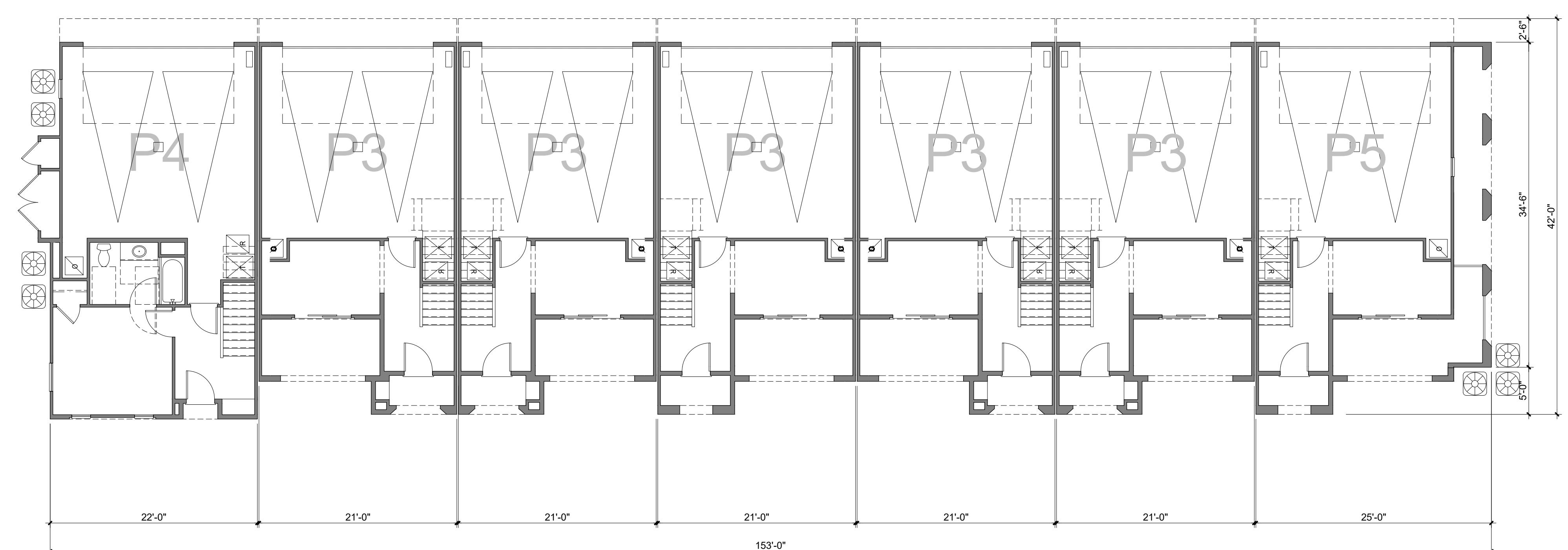
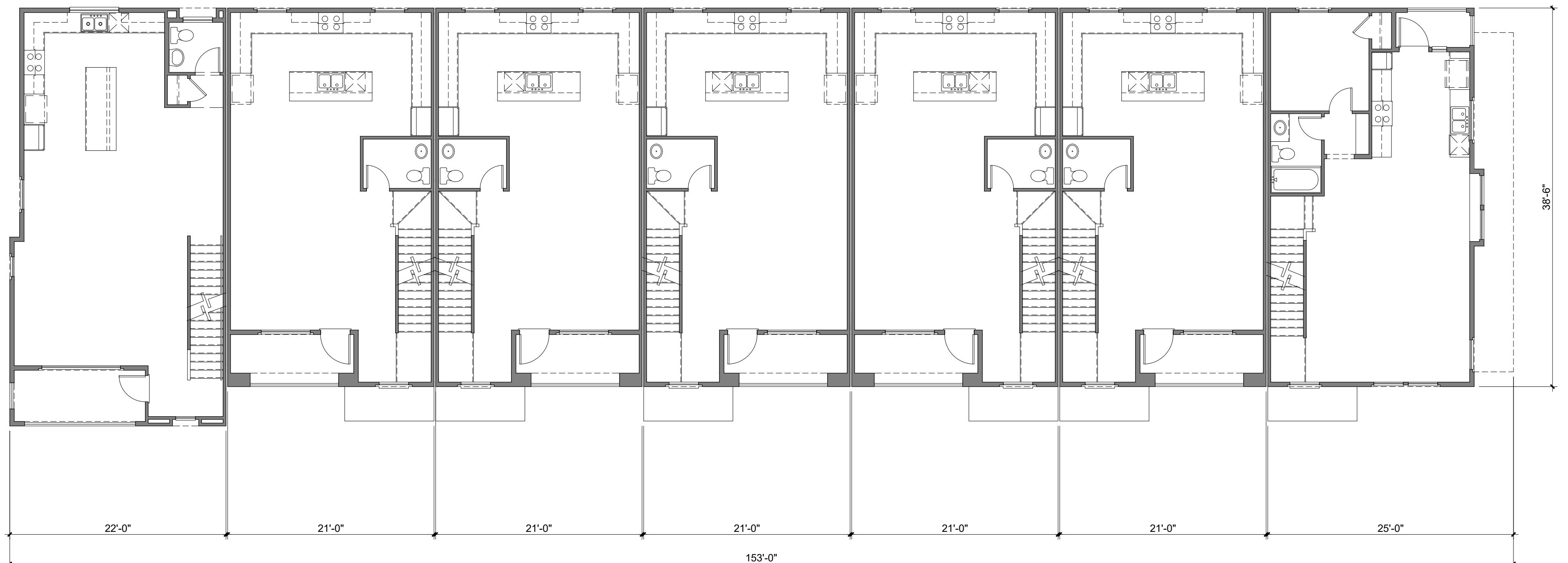
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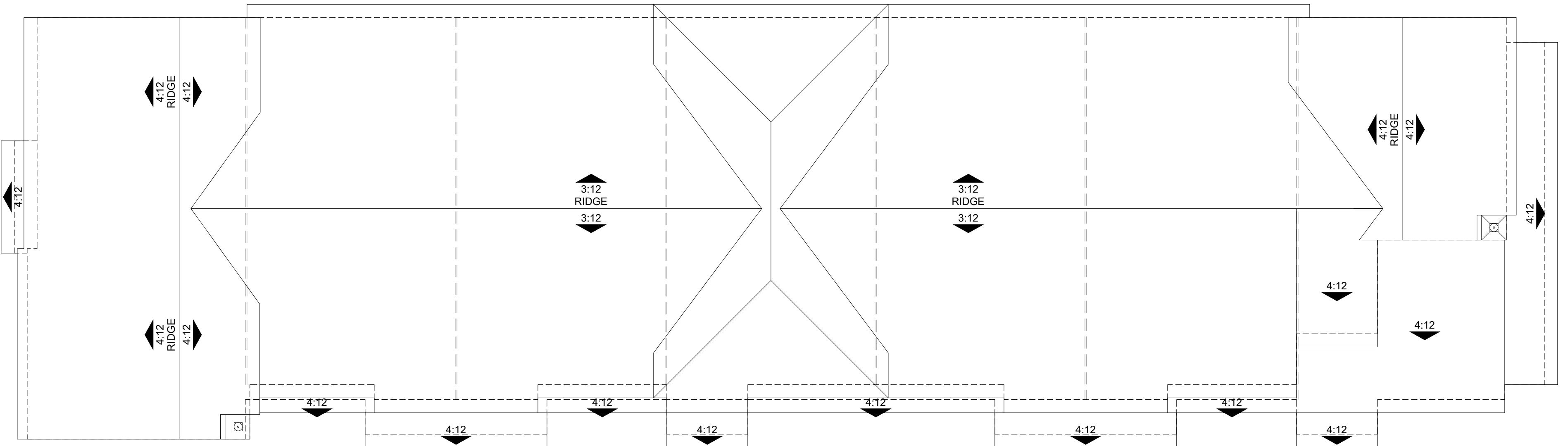


LEFT



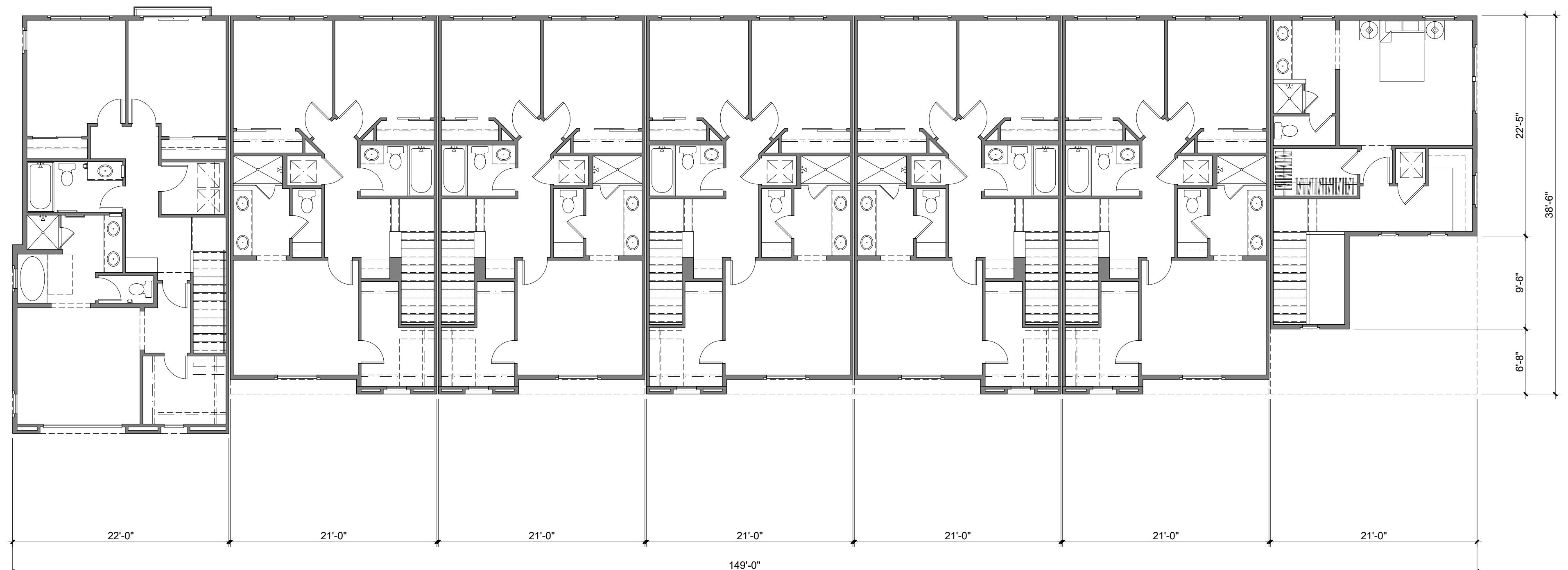
FRONT





NOTE: NO ROOF MOUNTED EQUIPMENT
ROOF OVERHANG: 12" EAVE; 6" RAKE

ROOF PLAN



THIRD FLOOR

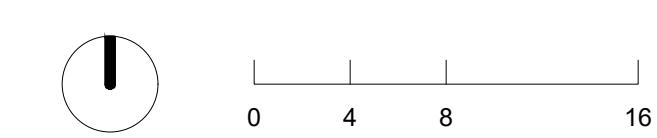


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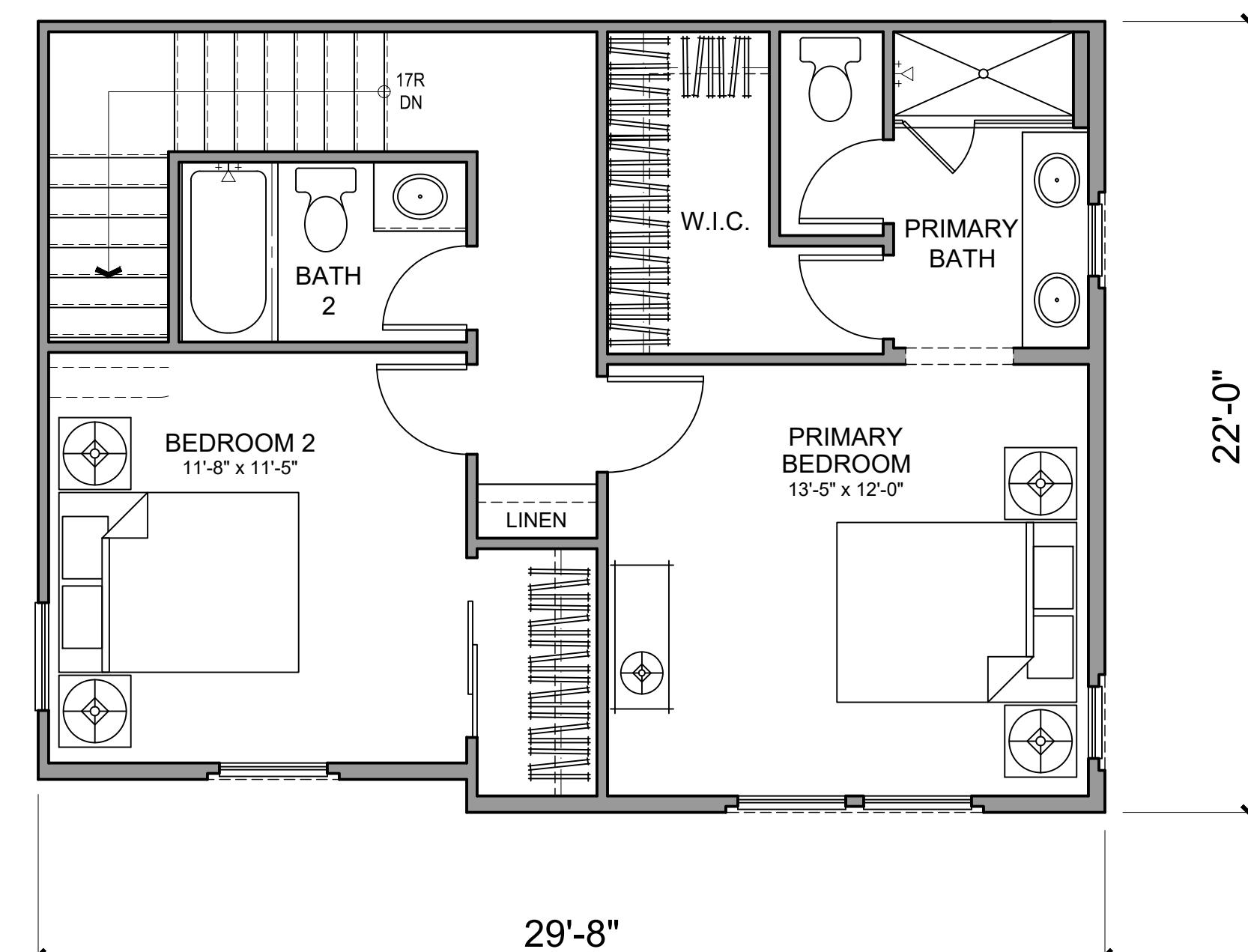
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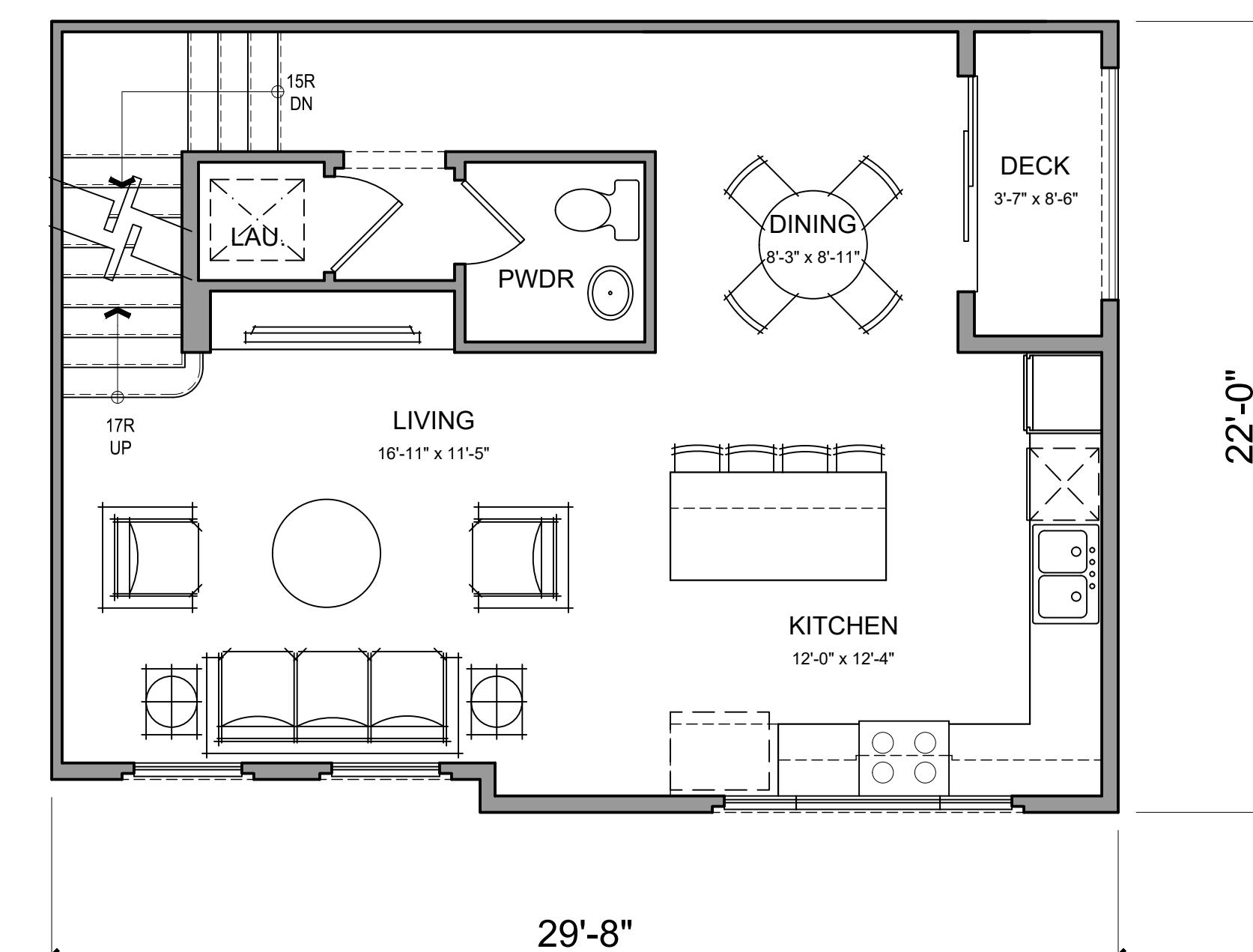


BUILDING PLANS
BUILDING 2, T500 (7-PLEX)

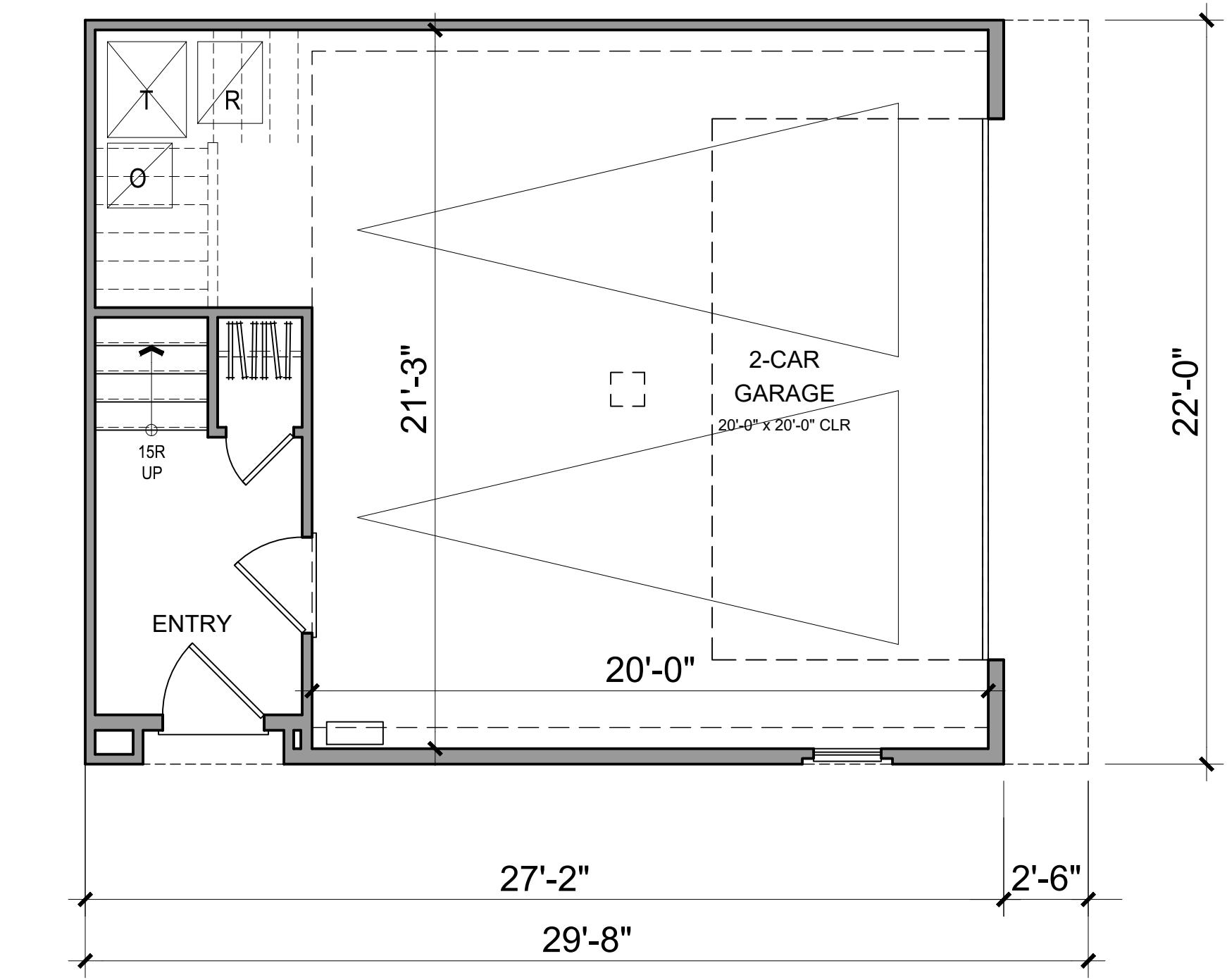
A2.15



THIRD FLOOR

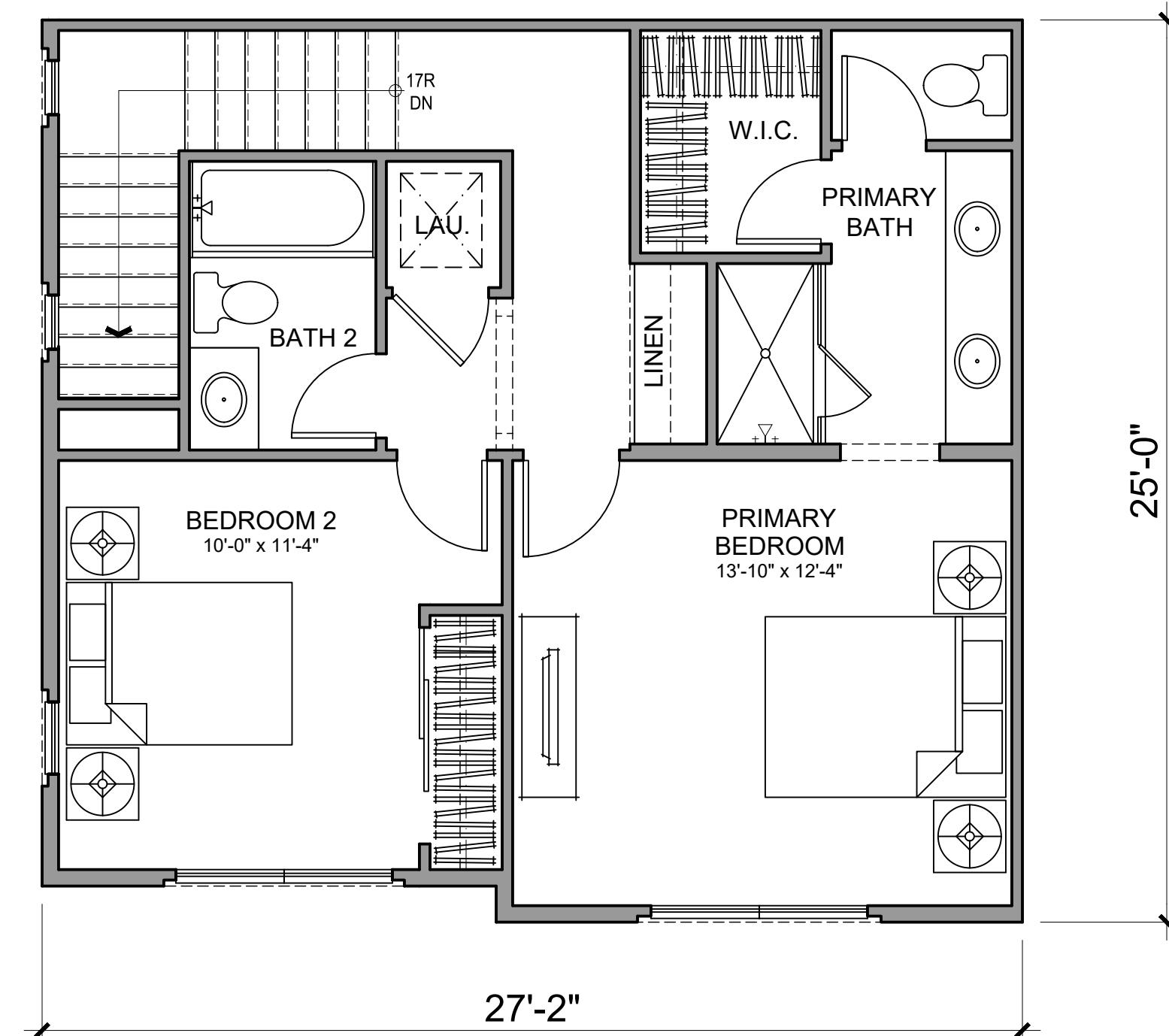


SECOND FLOOR

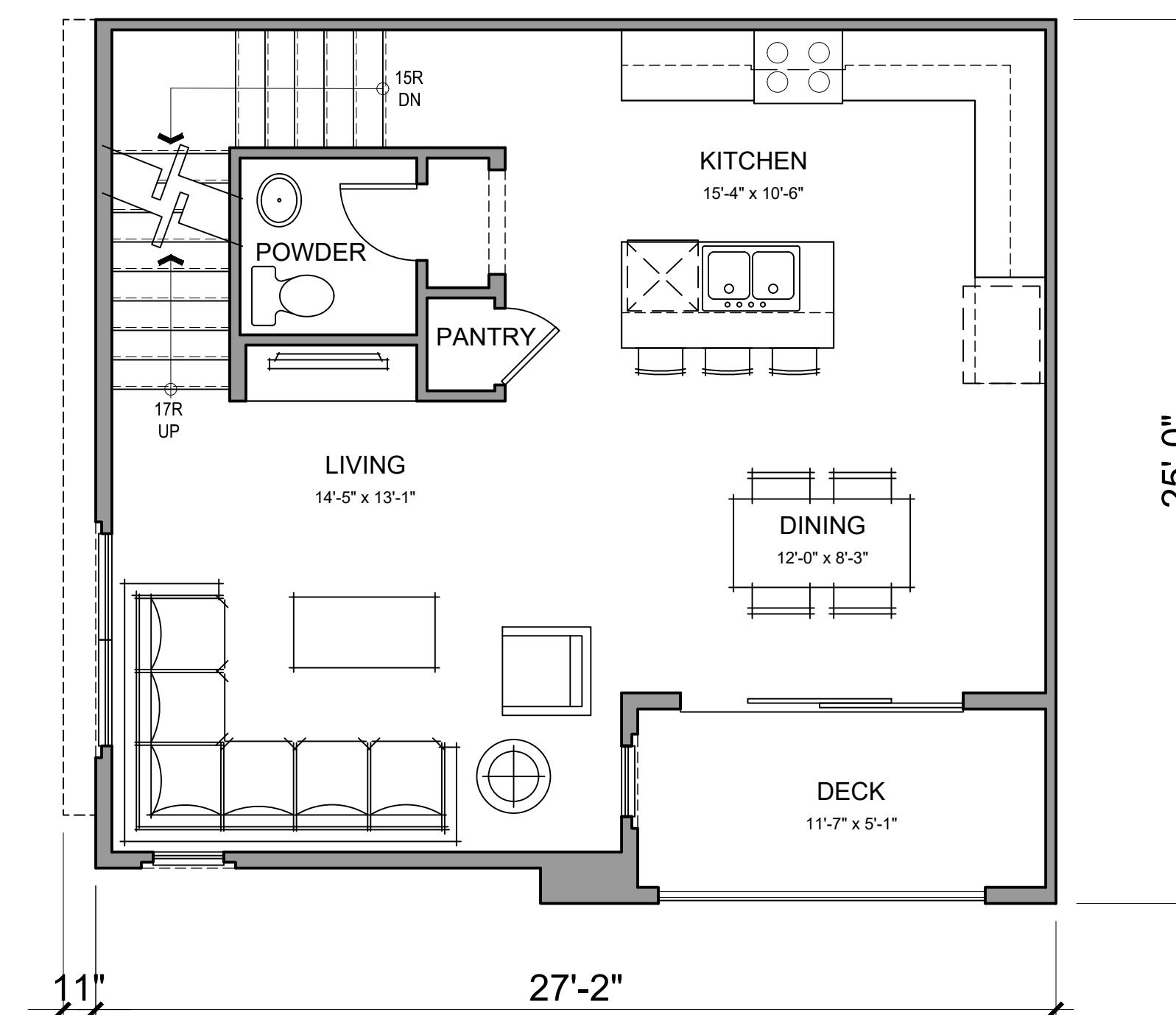


FIRST FLOOR

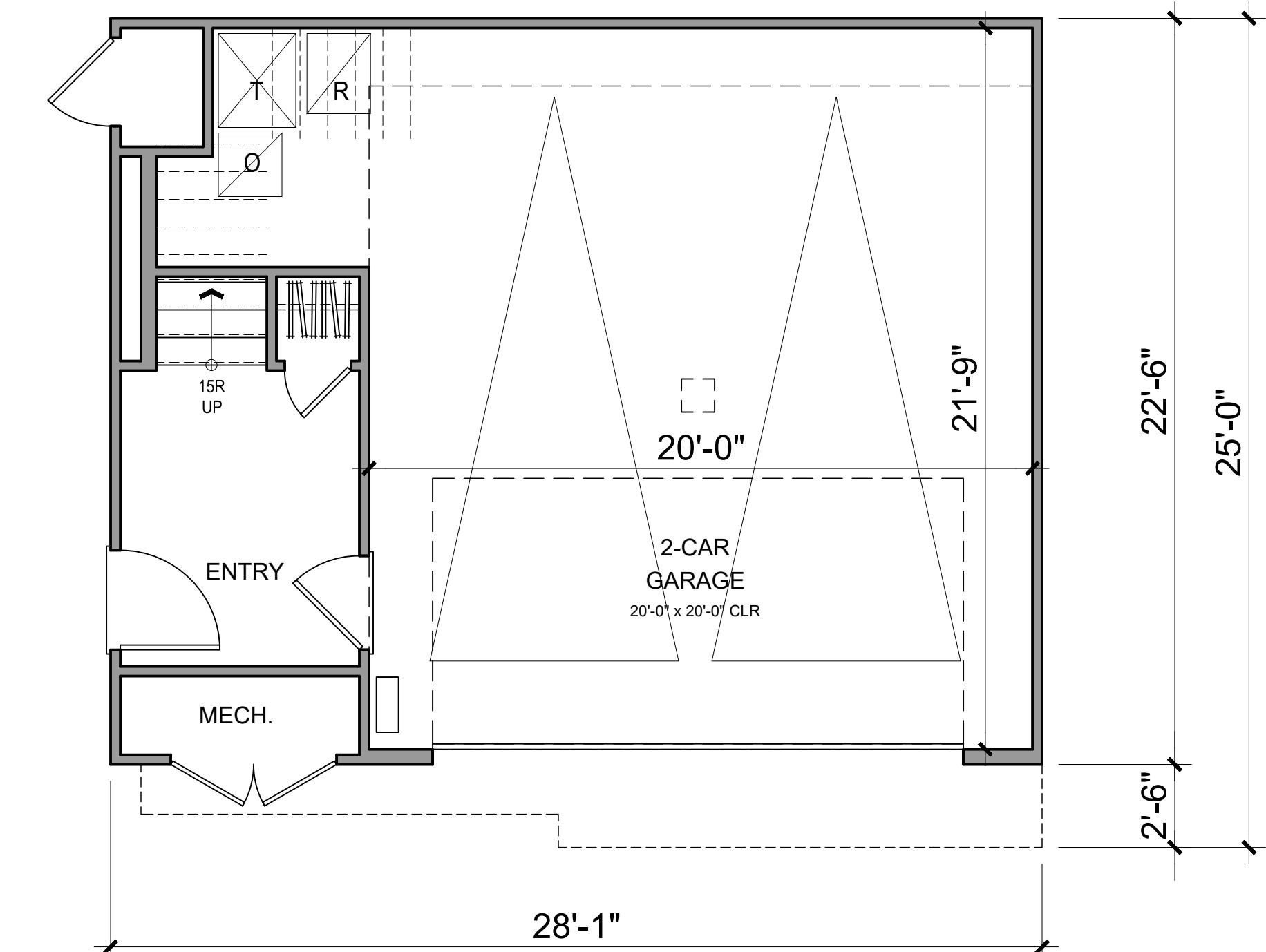
P1 - NET AREA	
1ST FLOOR	113 SQ. FT.
2ND FLOOR	568 SQ. FT.
3RD FLOOR	555 SQ. FT.
TOTAL LIVING	1236 SQ. FT.
DECK	30 SQ. FT.
GARAGE	478 SQ. FT.



THIRD FLOOR

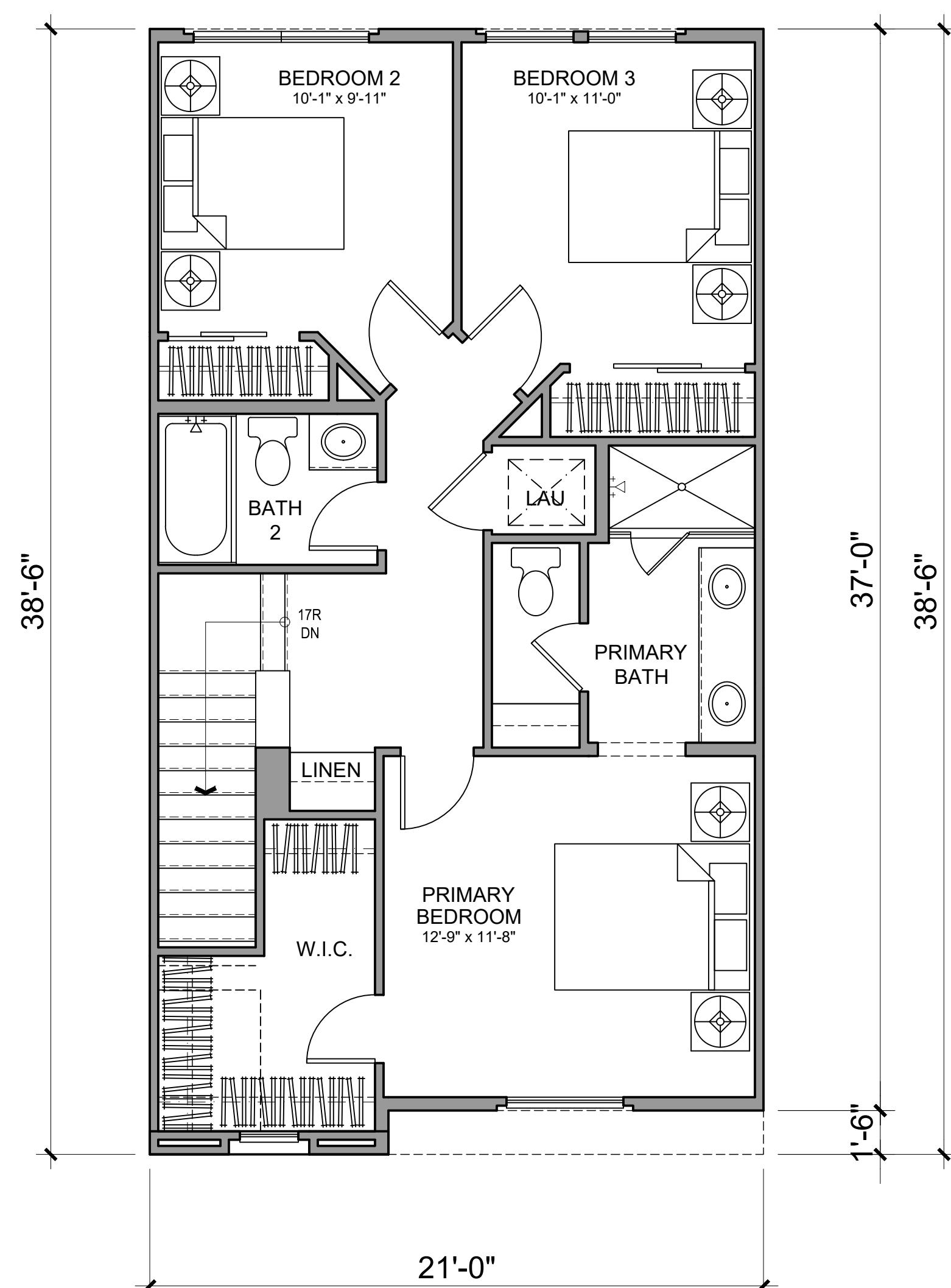


SECOND FLOOR

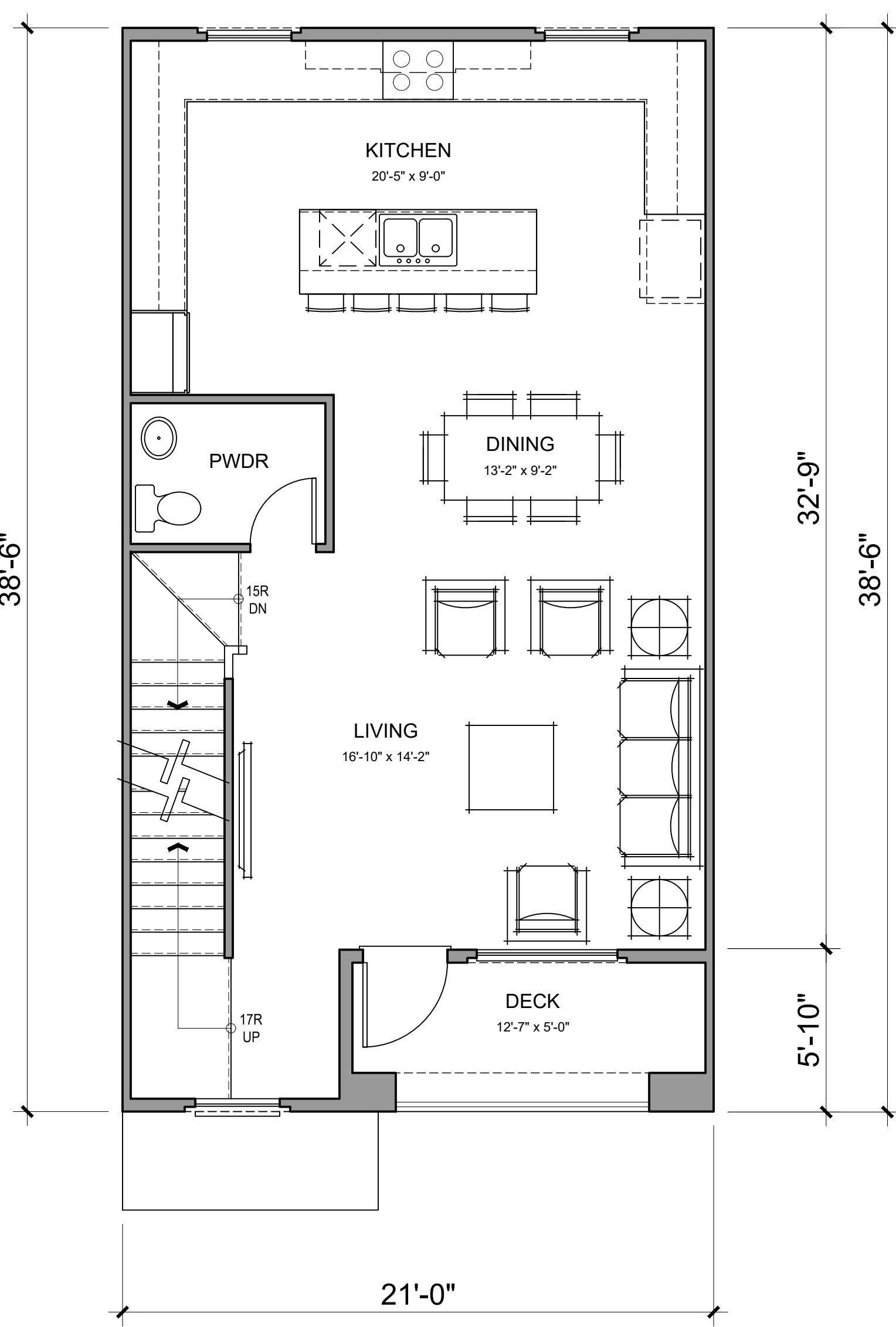


FIRST FLOOR

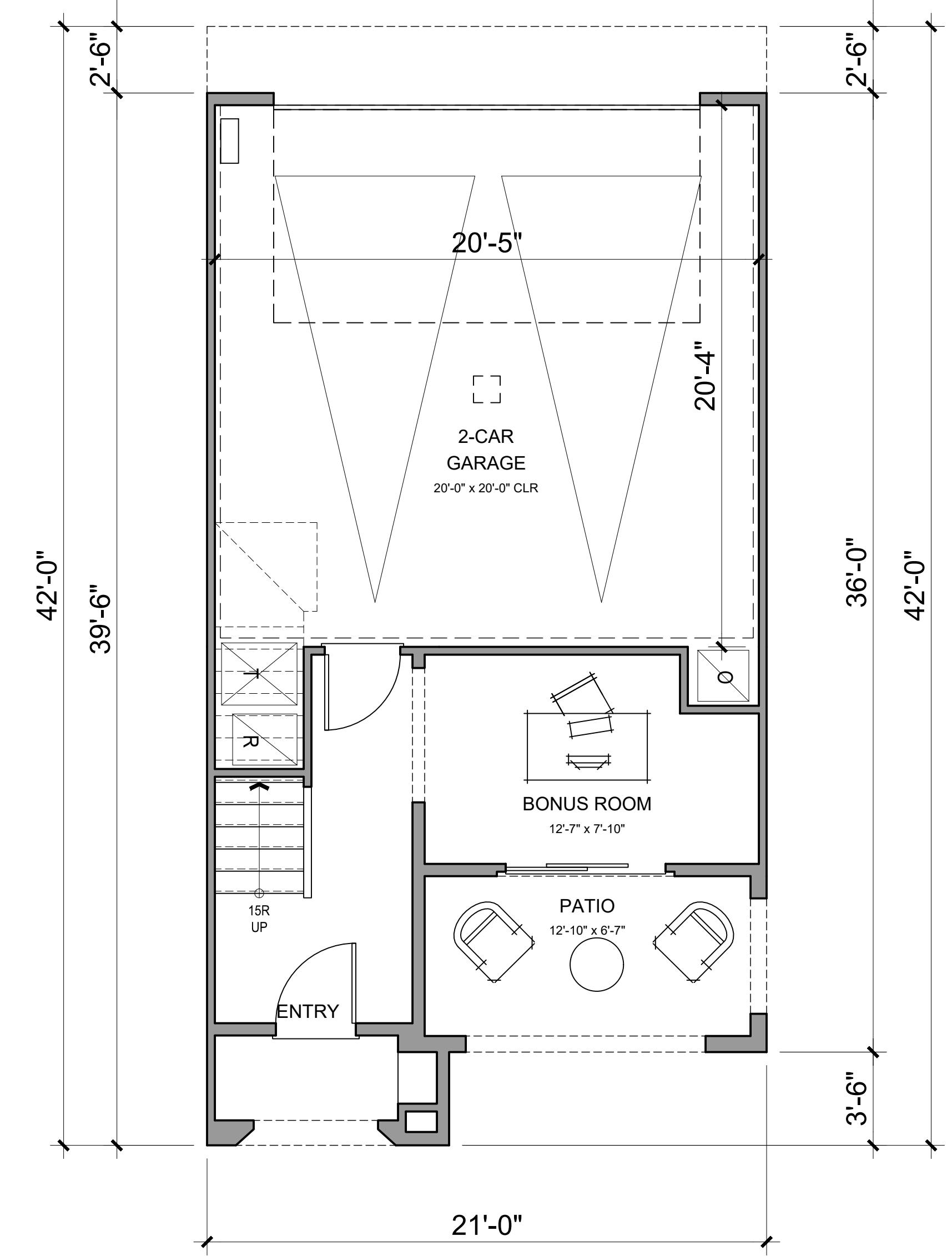
P2 - NET AREA	
1ST FLOOR	125 SQ. FT.
2ND FLOOR	560 SQ. FT.
3RD FLOOR	574 SQ. FT.
TOTAL LIVING	1259 SQ. FT.
DECK	58 SQ. FT.
GARAGE	475 SQ. FT.



THIRD FLOOR

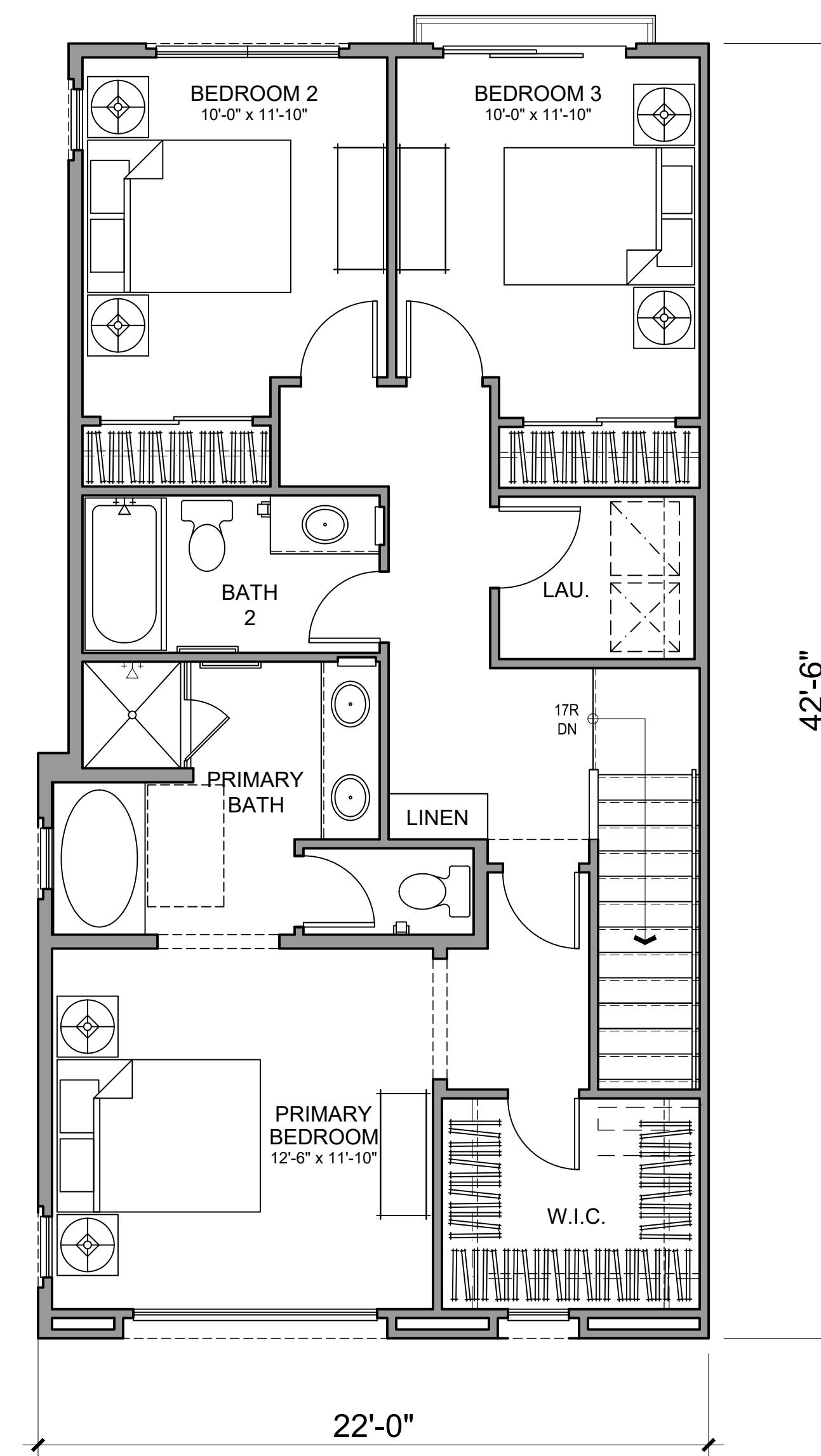


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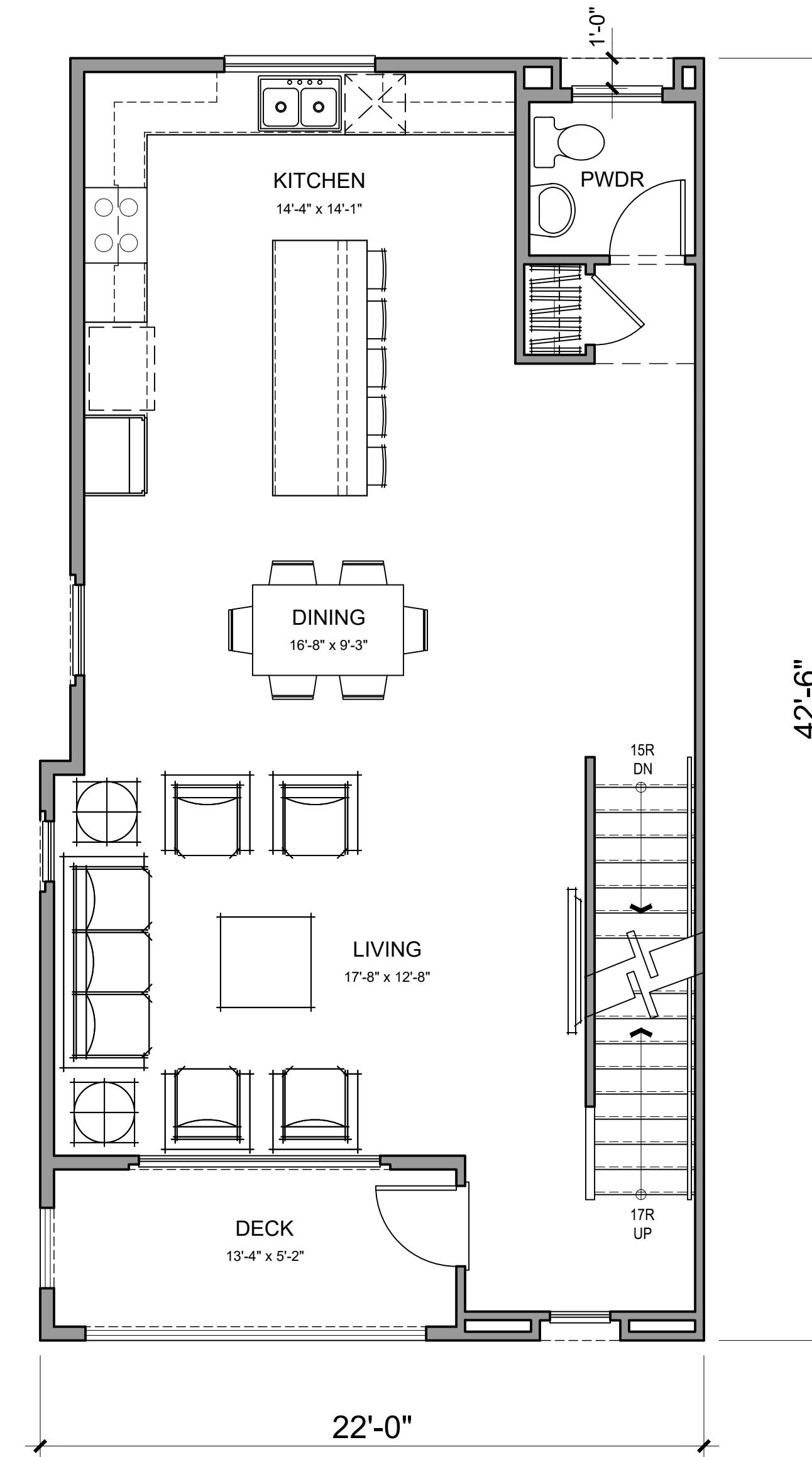


FIRST FLOOR

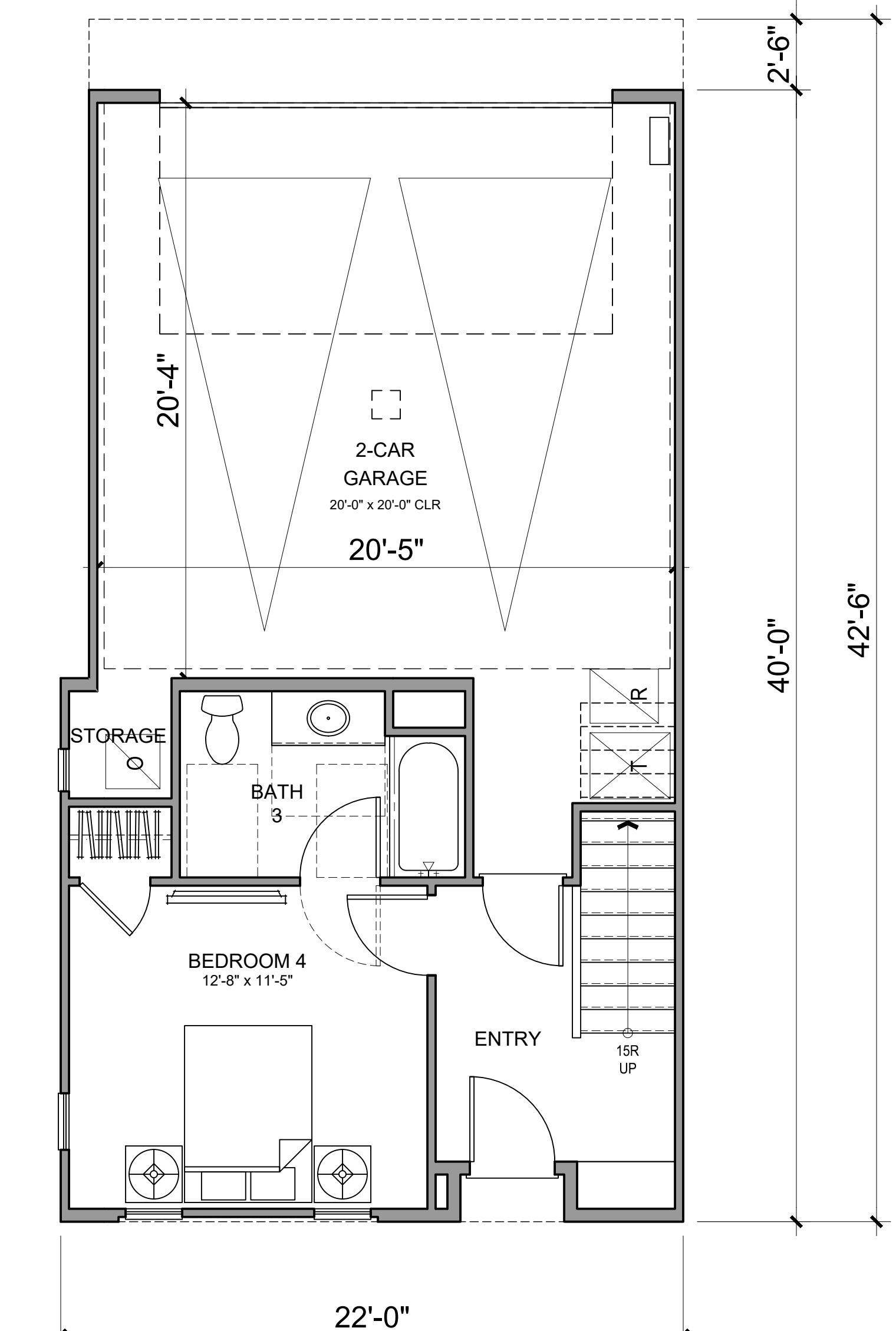
P3 - NET AREA	
1ST FLOOR	222 SQ. FT.
2ND FLOOR	699 SQ. FT.
3RD FLOOR	696 SQ. FT.
TOTAL LIVING	1617 SQ. FT.
PATIO	81 SQ. FT.
DECK	61 SQ. FT.
GARAGE	435 SQ. FT.



THIRD FLOOR

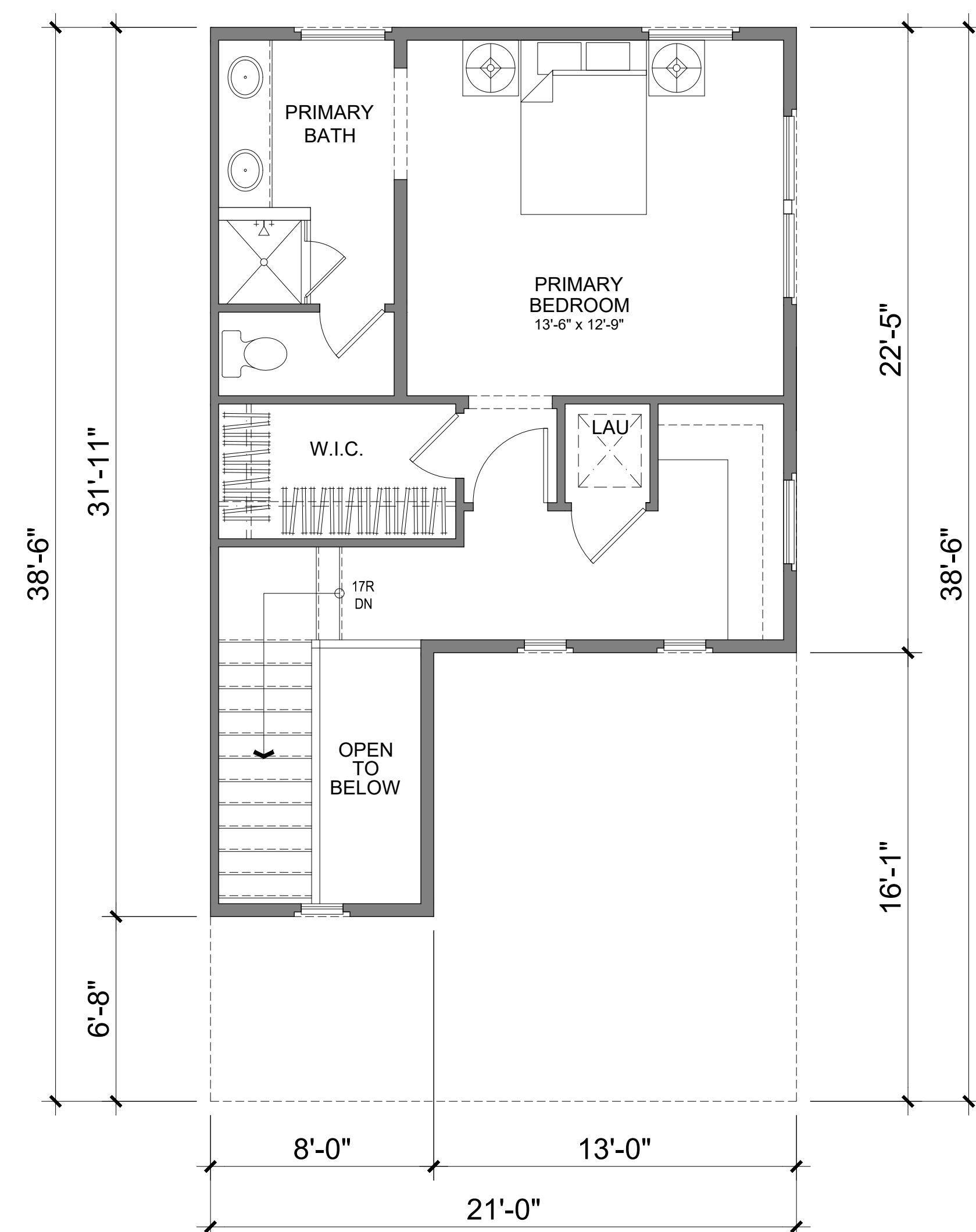


SECOND FLOOR

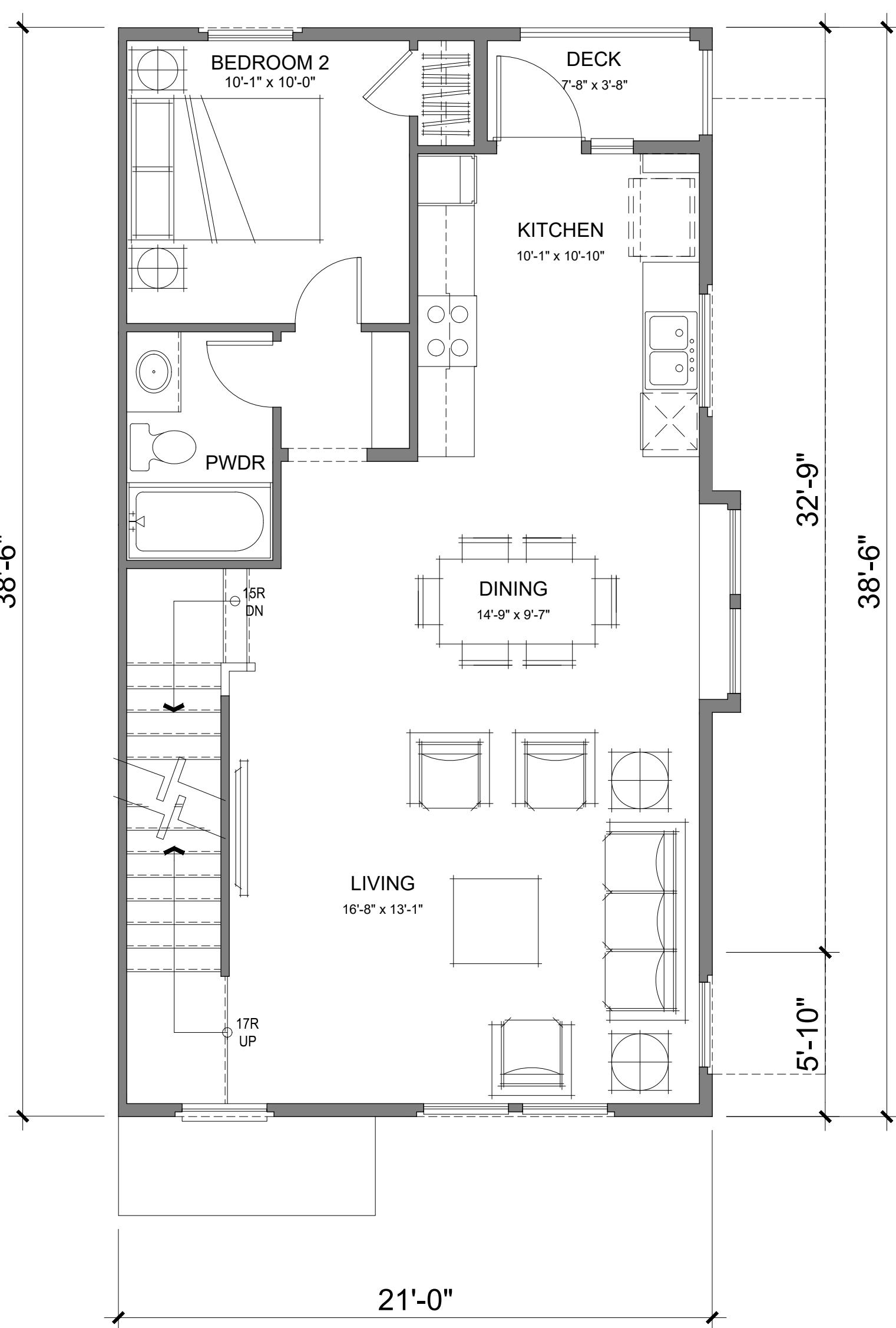


FIRST FLOOR
ACCESSIBLE UNIT ADAPTABLE

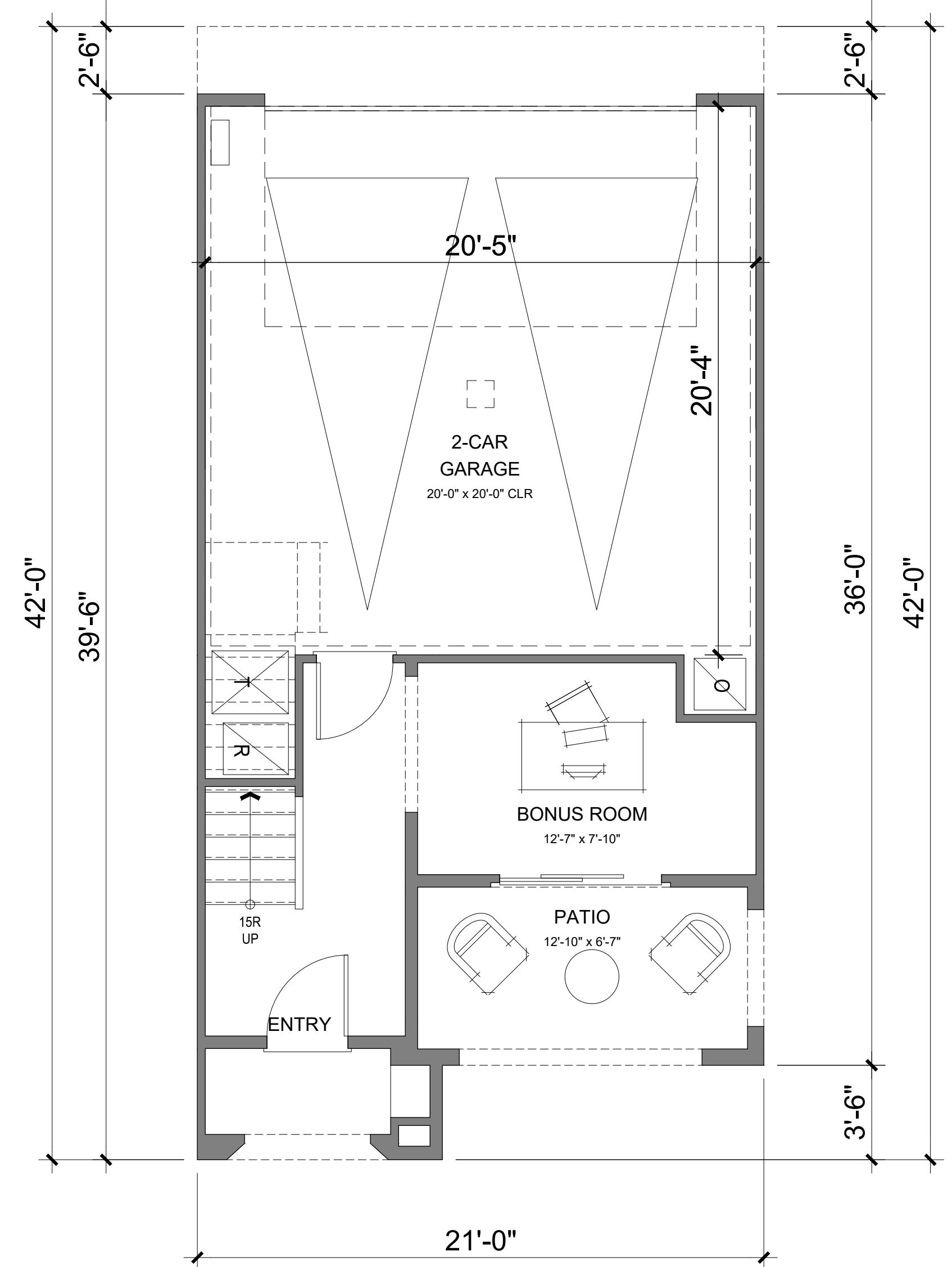
P4 - NET AREA	
1ST FLOOR	347 SQ. FT.
2ND FLOOR	780 SQ. FT.
3RD FLOOR	803 SQ. FT.
TOTAL LIVING	1930 SQ. FT.
DECK	69 SQ. FT.
GARAGE	471 SQ. FT.



THIRD FLOOR

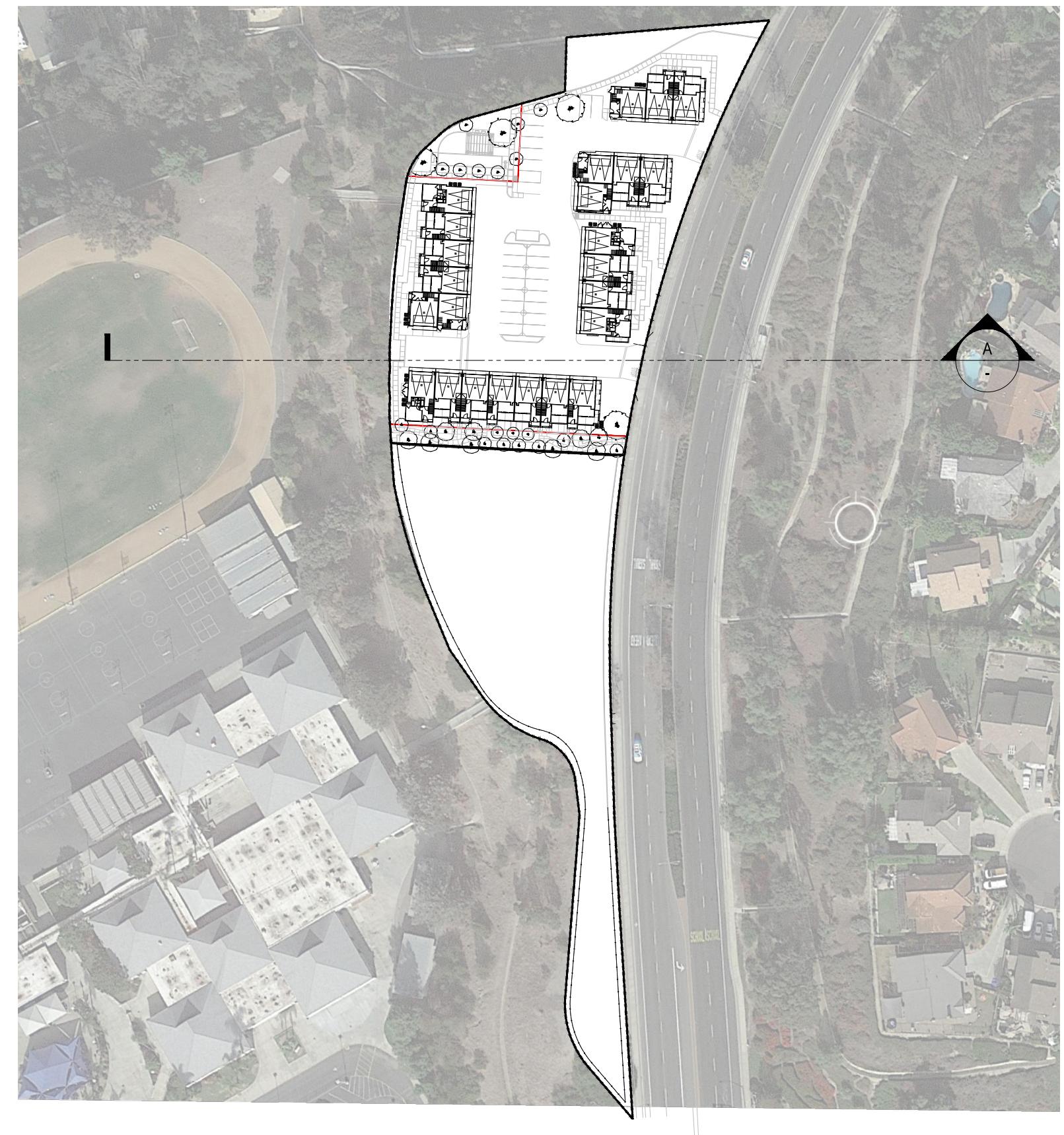


SECOND FLOOR



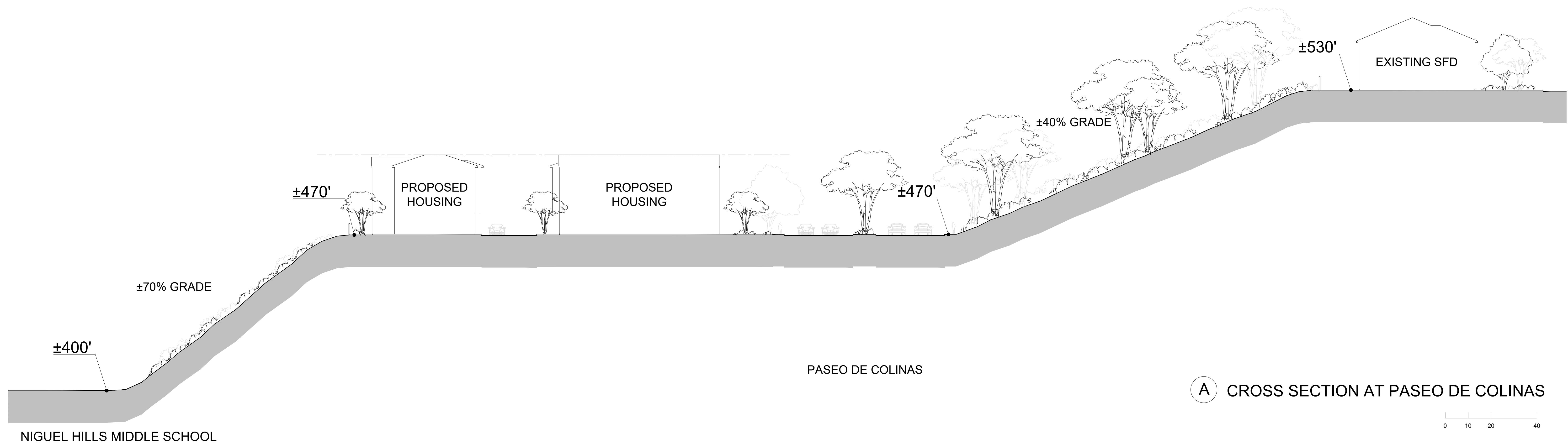
FIRST FLOOR

P5 - NET AREA	
1ST FLOOR	222 SQ. FT.
2ND FLOOR	729 SQ. FT.
3RD FLOOR	421 SQ. FT.
TOTAL LIVING	1372 SQ. FT.
PATIO	81 SQ. FT.
DECK	31 SQ. FT.
GARAGE	436 SQ. FT.



SITE REFERENCE

0 50 100 200



Architecture + Planning
888.456.5849
ktgy.com

PROJECT DIMENSIONS
4 Park Plaza, Suite 700
Irvine, CA 92614

PASEO DE COLINAS TOWNHOMES
LAGUNA NIGUEL, CA # 2018-1173

SITE DEVELOPMENT PERMIT APPLICATION
Plot Date: 5.16.2024
Updated Submittal: TBD

STREET SECTION
ACROSS PASEO DE COLINAS

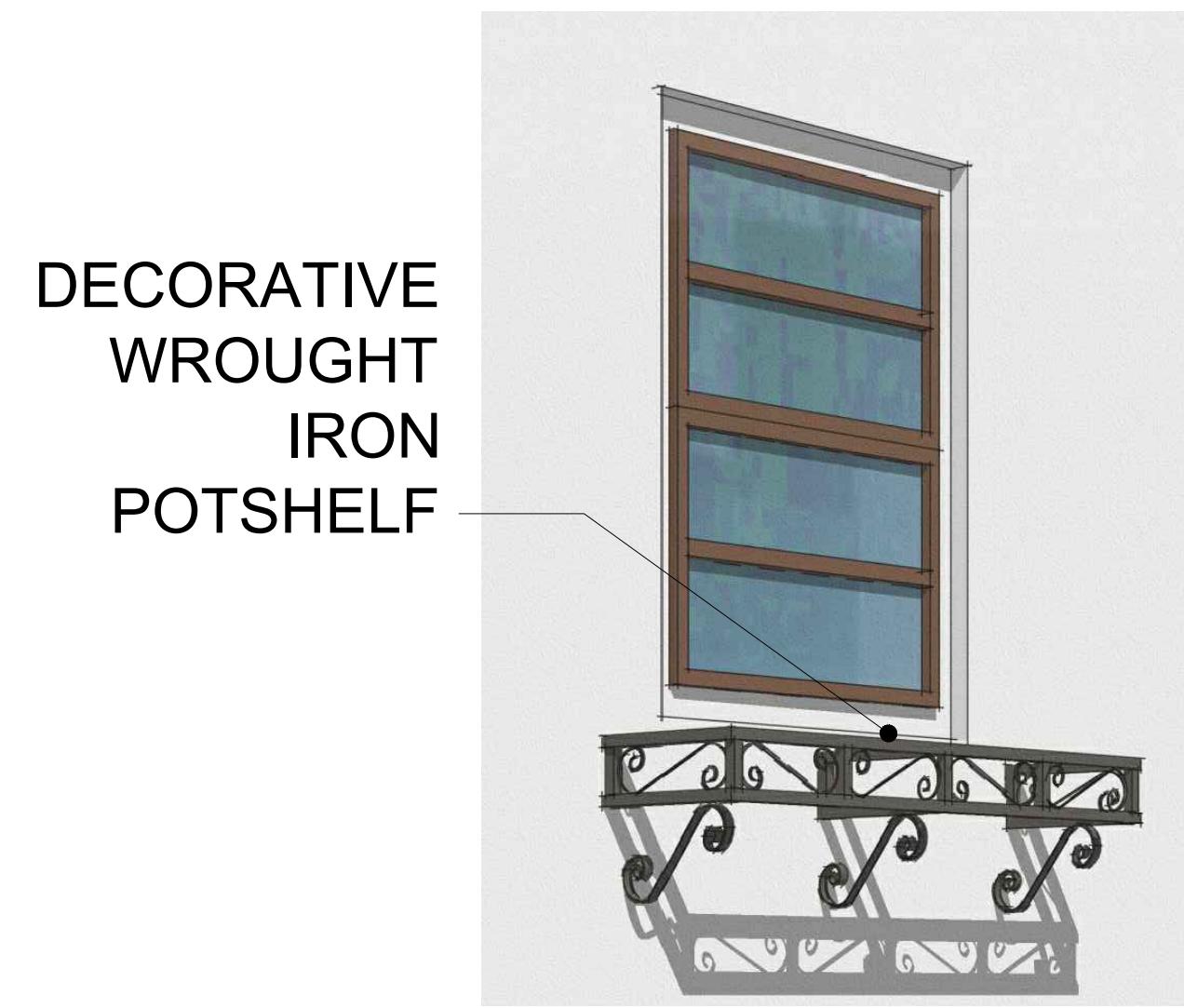
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WINDOW AND CHIMNEY DETAIL



WINDOW DETAIL



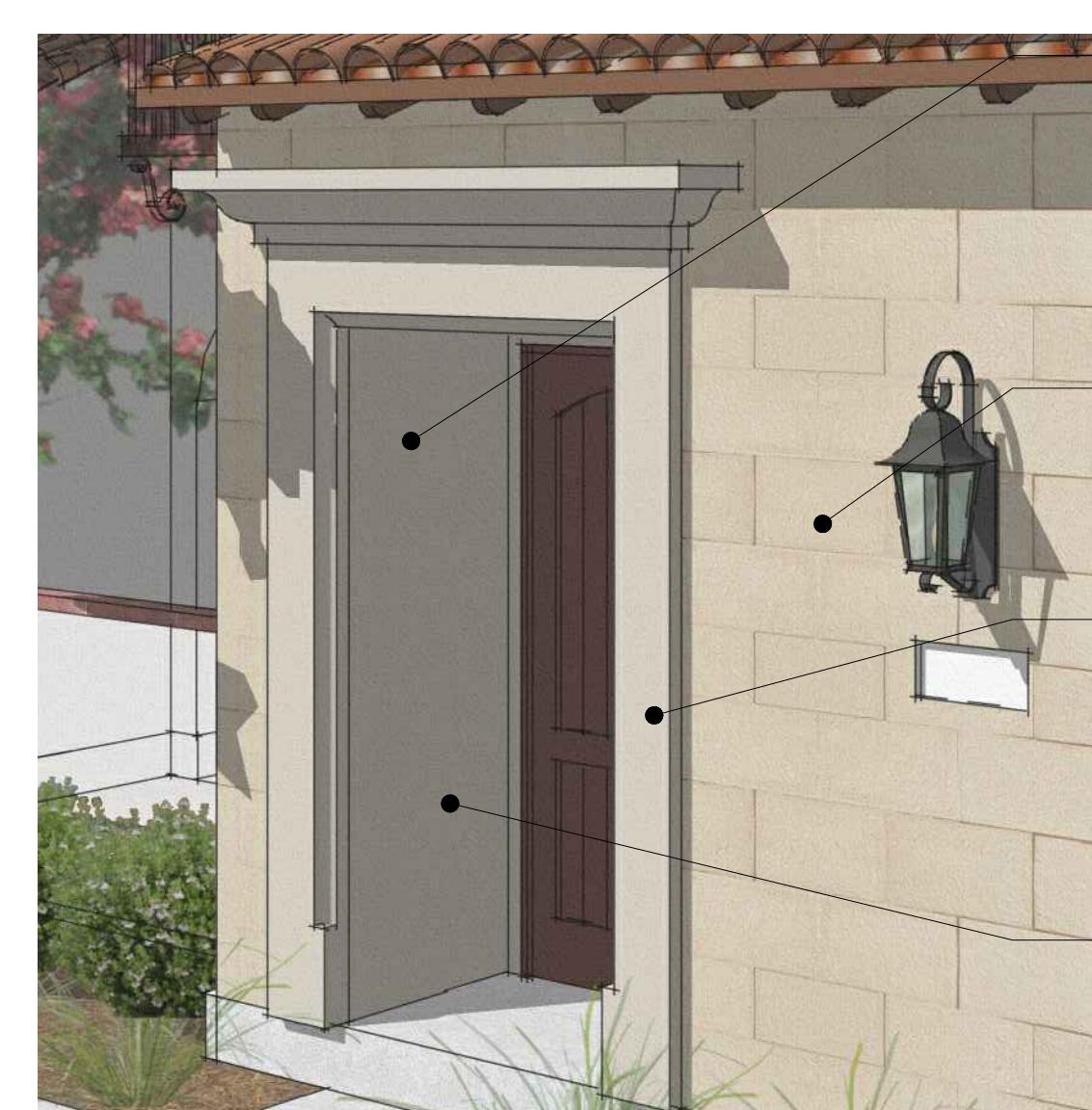
WINDOW DETAIL



WINDOW DETAIL



BAY WINDOW RAFTER TAIL / TRIM



STUCCO SURROUND



BALCONY AND OPENING



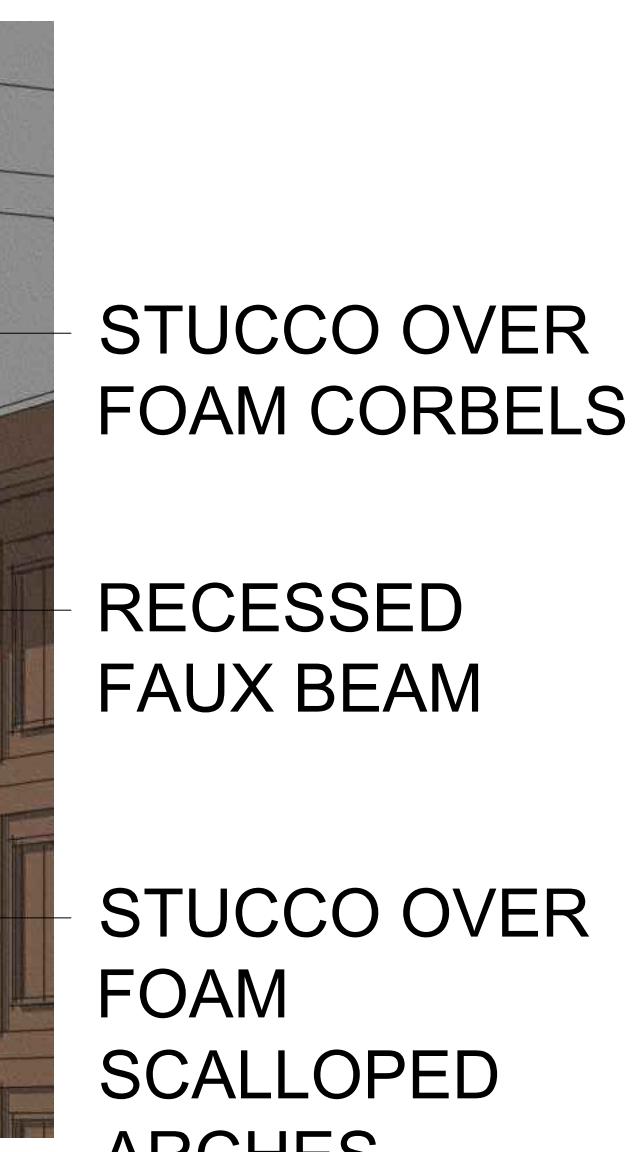
BRACKET AT BAY WINDOW



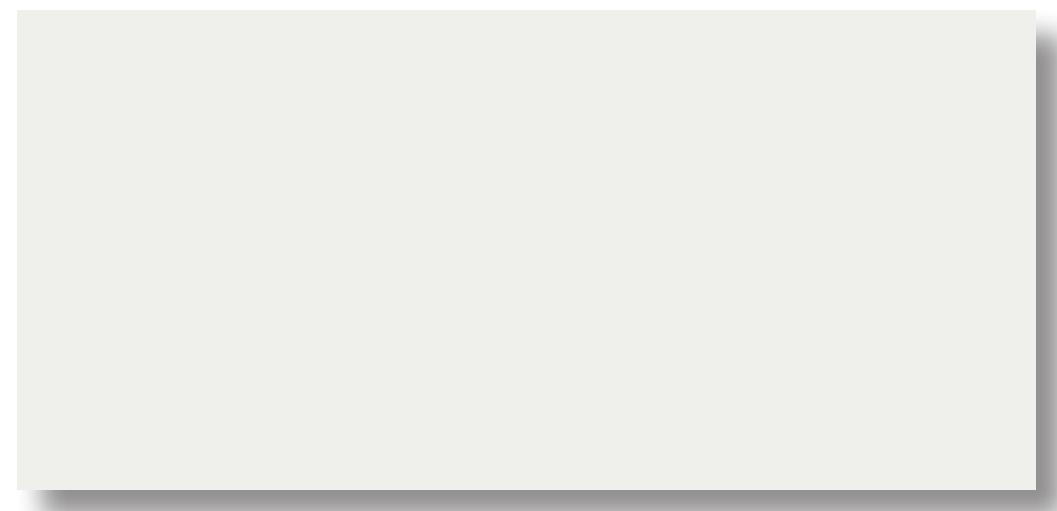
BATTERED ARCH



CORBEL DETAIL



COLOR SCHEME I



STUCCO BODY I
SW 7006 EXTRA WHITE



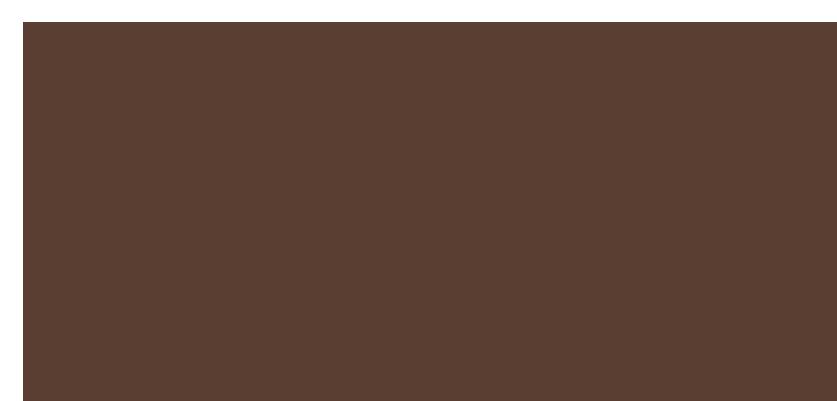
ENTRY DOOR I
SW 6377 BUTTERSCOTCH



ENTRY DOOR 2 | SHUTTERS
SW 2837 AURORA BROWN



FASCIA | BARGE BD. | TRIMS | WOOD
ACCENTS | RAFTER TAILS | GARAGE DR
SW 6090 JAVA



WINDOW FRAME
CLASSIC BROWN - VINYL



STONE VENEER
EL DORADO STONE - MARQUEE24 - DOVETAIL



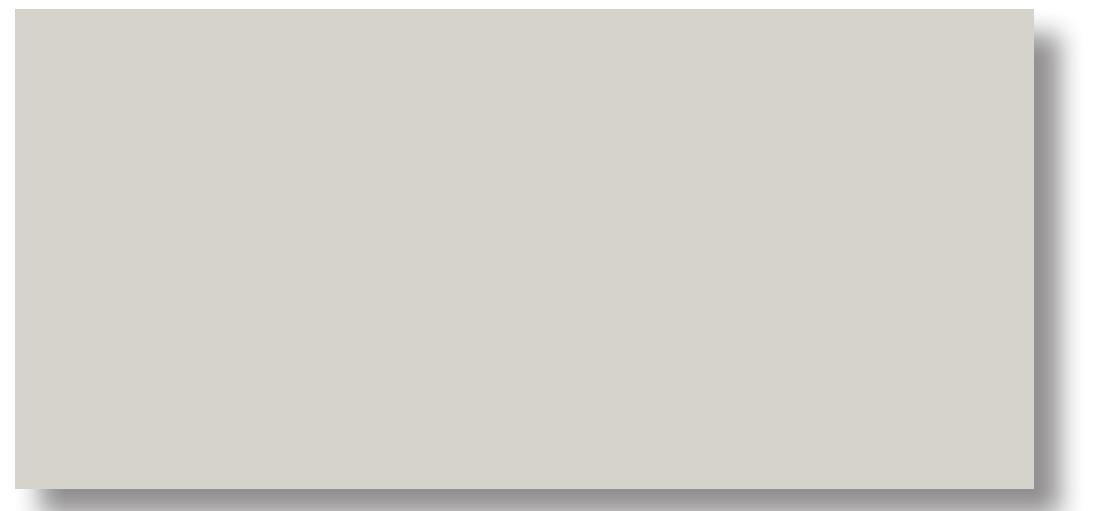
AWNNG
SUNBRELLA - MAHOGANY 4667



'S' TILE ROOFING
EAGLE ROOFING - CAPISTRANO - 3615 WEATHERED TERRACOTTA RANGE



TILE SURROUND



STUCCO BODY I
SW7647 CRUSHED ICE



ENTRY DOOR I
SW 6244 NAVAL



ENTRY DOOR 2 | SHUTTERS
SW 7740 MESSENGER BAG



FASCIA | BARGE BD. | TRIMS | WOOD
ACCENTS | RAFTER TAILS | GARAGE DR
SW 7040 SMOKEHOUSE



WINDOW FRAME
CLASSIC BROWN - VINYL



STONE VENEER
EL DORADO STONE - MARQUEE24 - SANDERLING

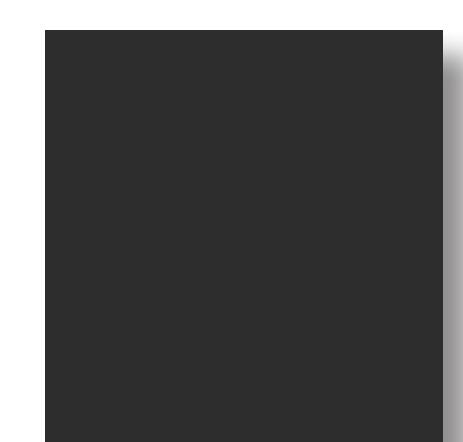


AWNNG
SUNBRELLA - TRUE BROWN 4621

COLOR SCHEME I



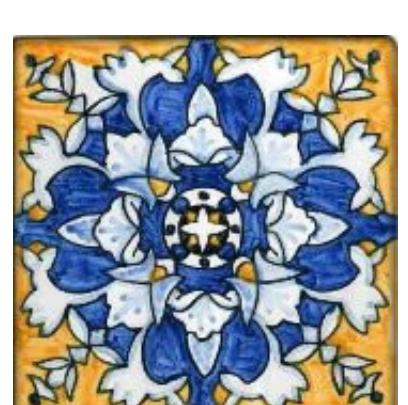
COLOR SCHEME 2



ALL METAL
SW 6258 TRICORN BLACK

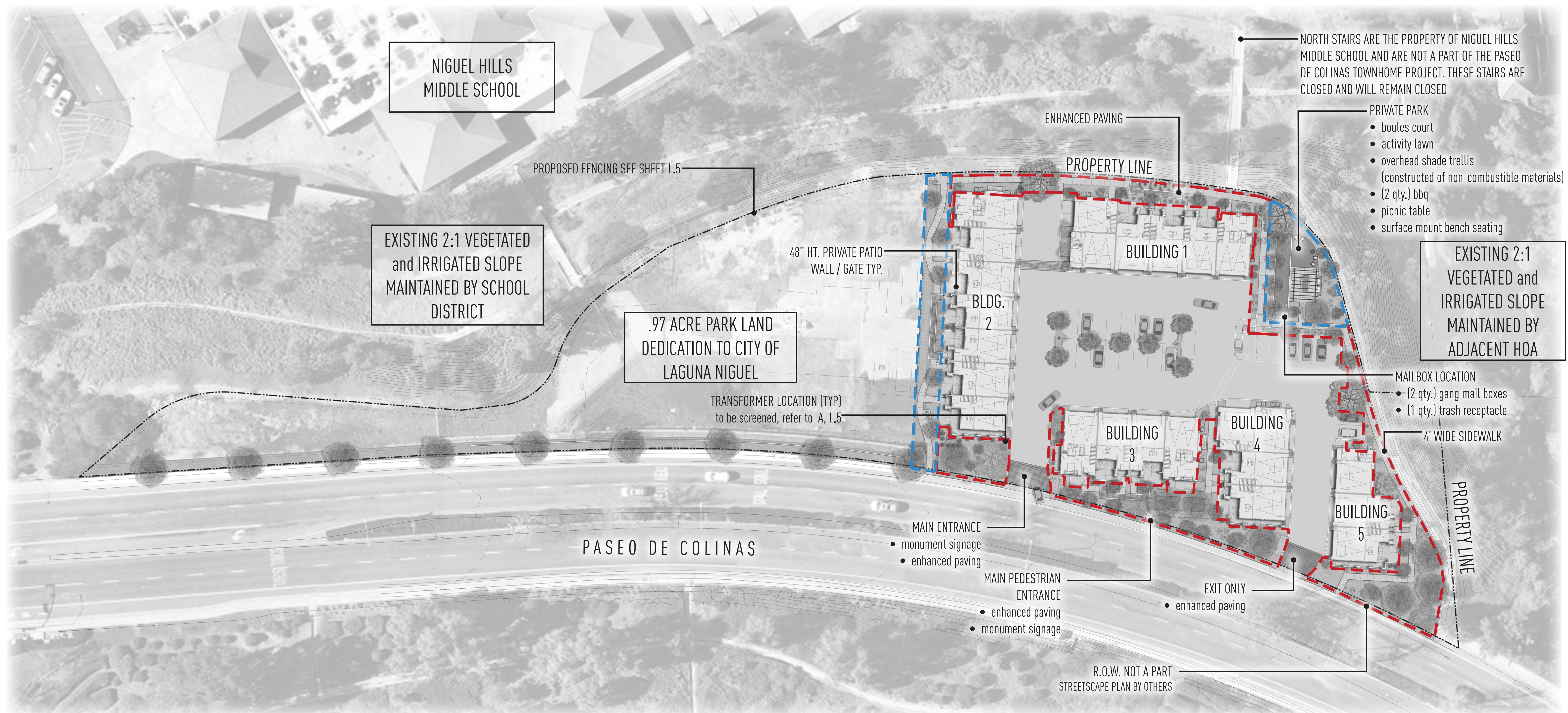


'S' TILE ROOFING
EAGLE ROOFING - CAPISTRANO - 3646 SUNSET BLEND



TILE SURROUND

COLOR SCHEMES INDICATE TYPICAL COLOR AND MATERIAL APPLICATION
ALL PAINT TO BE BENJAMIN MOORE OR EQUAL
ALL ROOFING TO BE EAGLE ROOFING PRODUCT OR EQUAL
(DUE TO VARIATIONS IN COLOR PRINTERS, SEE PAINT CHIPS FOR ACTUAL COLORS)



OPEN SPACE CALCULATIONS:		
PER LNZC 9-1-35.13		
BUILDABLE PROJECT AREA:	62,004 S.F.	
COMMON OPEN AREA		
COMMON OPEN AREA REQUIRED : (25% of BUILDABLE PROJECT AREA)	15,682 S.F. (25%)	
COMMON OPEN AREA PROVIDED:	17,974 S.F. (28.9%)	
ACTIVE RECREATION AREA		
ACTIVE RECREATION AREA REQUIRED: (10% of BUILDABLE PROJECT AREA AT LEAST 15' WIDE AND 300 S.F. IN AREA)	6,009 S.F. (10% at > 15' WIDE/300 sf)	
ACTIVE RECREATION AREA PROVIDED:	6,462 S.F. (10.4%)	

REFERENCE NOTES:		
• SEE SHEET L.2 FOR PLANT LIST		
• SEE SHEET L.6-L.7 FOR TREE AND SHRUB PLANS		
• SEE SHEET L.8 FOR PLANTING DETAILS		
• SEE SHEET L.9 FOR PLANTING SPECIFICATIONS		

LANDSCAPE GUIDELINE NOTE:		
PER LNZC 9-1-93.3(c), PROJECT FRONTEAGE, ENTRY, BOUNDARY/INTERIOR, AND PEDESTRIAN AREA LANDSCAPE, AND COORDINATION OF LANDSCAPING AND UTILITIES, SHALL FOLLOW THE NONRESIDENTIAL LANDSCAPING GUIDELINES CONTAINED IN SECTION 9-1-92.3. AT LEAST 5% OF THE NET USABLE AREA OF THE PROJECT SITE IS LANDSCAPE, WITH AT LEAST HALF OF THAT LANDSCAPING LOCATED IN AREAS DEVOTED FOR PARKING.		

PASEO DE COLINAS TOWNHOMES - LAGUNA NIGUEL, CA

PROJECT DIMENSIONS

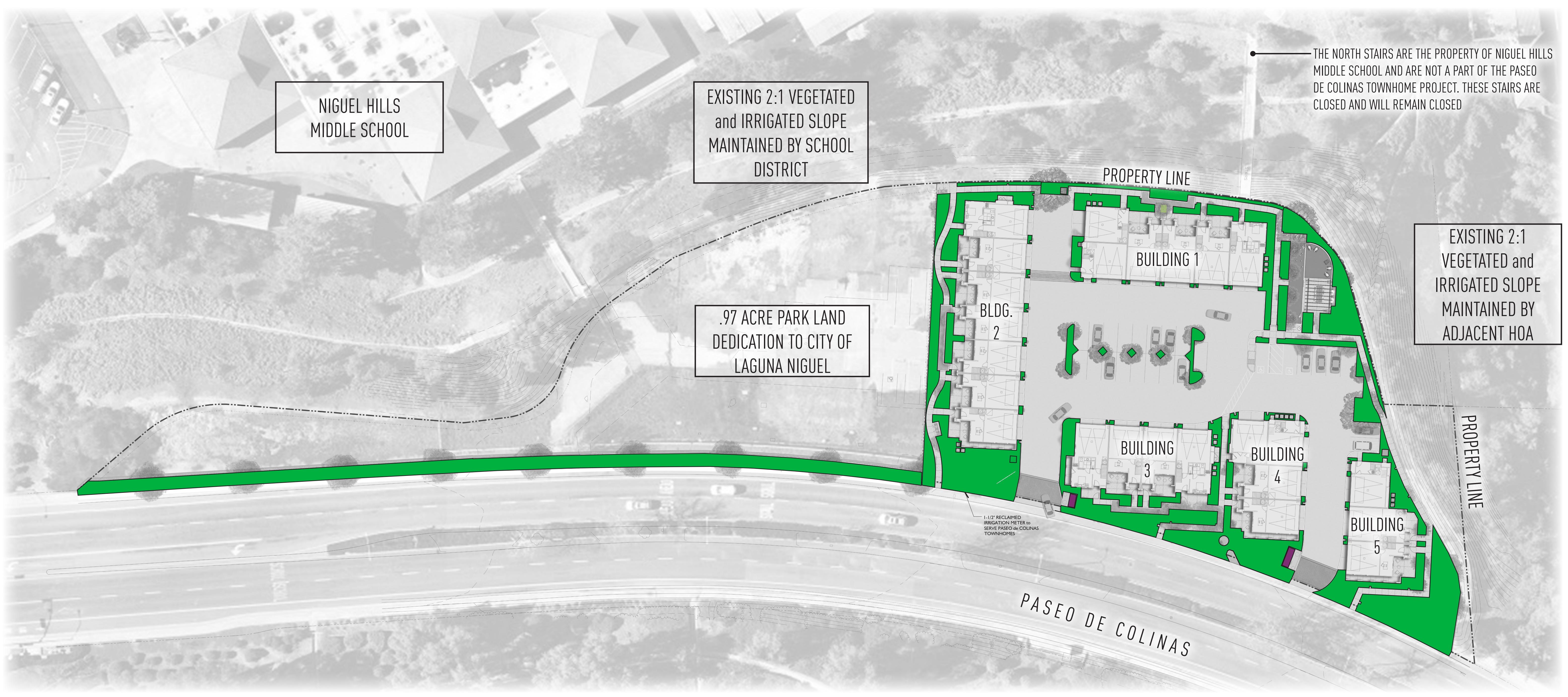
REVISED: MAY 13, 2024

TOTAL NUMBER OF DWELLING UNITS: 24

CONCEPTUAL LANDSCAPE PLAN - L.1



PROPOSED ENHANCED PAVING TREATMENT NOTE:	LANDSCAPE NOTES:	PROPOSED PLANT PALETTE:																																																																																																																																																								
 <p>FLORENTINE PAVERS BY ACKERSTONE SIZE: 3" X 9" X 7 CM (PEDESTRIAN APPLICATION) 3" X 9" X 10 CM (VEHICULAR APPLICATION)</p> <p>COLOR: GENOA BLEND, HERRINGBONE PATTERN</p>	<ol style="list-style-type: none"> 1. PROVIDE SIMPLE, BOLD, AND LOW MAINTENANCE LANDSCAPE PLANTING DESIGN WHICH INCORPORATES NON-INVASIVE AND WATER CONSERVING PLANT TYPES. 2. PROVIDE A VARIETY OF PLANT MATERIAL SHAPES, SIZES, AND TEXTURE IN AN INFORMAL ARRANGEMENT COMPATIBLE WITH THE ARCHITECTURAL THEME. 3. ALL LANDSCAPE IMPROVEMENTS WILL MEET THE REQUIREMENTS CONTINED IN THE CITY OF LAGUNA NIGUEL. 4. THE CONCEPTUAL LANDSCAPE PLAN HAS BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT. 5. LANDSCAPE SHALL BE DESIGNED, DOCUMENTED, INSTALLED, AND MAINTAINED IN CONFORMANCE TO THE GUIDELINES FOR IMPLEMENTATION OF THE CITY OF LAGUNA NIGUEL WATER EFFICIENT LANDSCAPE REGULATIONS. 6. ANY TREE WITHIN 5 FEET OF HARSCAPE AREA SHALL RECEIVE ROOT CONTROL BARRIERS. 7. ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF WOOD MULCH. 	<p>ALL PROPOSED SHRUBS WILL BE COMPLIANT WITH CITY OF LAGUNA NIGUEL LANDSCAPE STANDARDS AND GUIDELINES - ATTACHMENT II, CAL GREEN REQUIREMENTS FOR WATER CONSERVING, AND NON-INVASIVE AS DEFINED BY IPC.</p> <table border="1"> <thead> <tr> <th>BOTANICAL NAME TREES/LARGE SHRUBS</th><th>COMMON NAME</th><th>SIZE</th><th>WUCOLS</th></tr> </thead> <tbody> <tr><td>ARBUTUS X 'MARINA'</td><td>MARINA STRAWBERRY TREE</td><td>36" BOX</td><td>LOW</td></tr> <tr><td>CERCIS CANADENSIS 'FOREST PANSY'</td><td>REDBUD</td><td>36" BOX</td><td>LOW</td></tr> <tr><td>DODONEA VISCOSA 'PURPUREA'</td><td>PURPLE HOPSEED</td><td>15 GAL</td><td>MODERATE</td></tr> <tr><td>FEIJOA SELLOWIANA</td><td>PINEAPPLE GUAVA</td><td>24" BOX</td><td>LOW</td></tr> <tr><td>LAGERSTROEMIA 'NATCHEZ'</td><td>CRAPE MYRTLE</td><td>24" BOX</td><td>MODERATE</td></tr> <tr><td>LAURUS NOBILIS 'SARATOGA'</td><td>LAUREL</td><td>36" BOX</td><td>LOW</td></tr> <tr><td>LYNNONTHAMNUS FLORIBUNDUS ASPLENIFOLIUS</td><td>CATALINA IRONWOOD</td><td>36" BOX</td><td>LOW</td></tr> <tr><td>MELALEUCA NESOFILA</td><td>PINK MELALEUCA</td><td>24" BOX</td><td>LOW</td></tr> <tr><td>METROSIDEROS EXCELSA</td><td>NEW ZEALAND CHRISTMAS TREE</td><td>36" BOX</td><td>MODERATE</td></tr> <tr><td>PARKINSONIA X DESERT MUSEUM</td><td>DESERT MUSEUM PALO VERDE</td><td>36" BOX</td><td>LOW</td></tr> <tr><td>PLATANUS RACEMOSA</td><td>CALIFORNIA SYCAMORE</td><td>24" BOX</td><td>MODERATE</td></tr> <tr><td>PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT'</td><td>CAROLINA CHERRY LAUREL</td><td>24" BOX</td><td>MODERATE</td></tr> <tr><td>QUERCUS AGRIFOLIA</td><td>COAST LIVE OAK</td><td>60" BOX</td><td>LOW</td></tr> <tr><td>QUERCUS SUBER</td><td>CORK OAK</td><td>48" BOX</td><td>LOW</td></tr> <tr><td>RHAMNUS CALIFORNICA 'EVE CASE'</td><td>CALIFORNIA COFFEEBERRY</td><td>15 GAL</td><td>LOW</td></tr> <tr><td>RHAPHOLEPIS INDICA 'MAJESTIC BEAUTY'</td><td>INDIAN HAWTHORN, TREE FORM</td><td>24" BOX</td><td>MODERATE</td></tr> <tr><td>RHUS LANCEA</td><td>AFRICAN SUMAC</td><td>36" BOX</td><td>LOW</td></tr> <tr><td>STRELITZIA NICOLAI</td><td>GIANT BIRD OF PARADISE</td><td>24" BOX</td><td>LOW</td></tr> <tr><td>UMBELLULARIA CALIFORNICA</td><td>BAY LAUREL</td><td>36" BOX</td><td>LOW</td></tr> <tr><td>X CHITALPA TASHIKINTENSIS</td><td>CHITALPA</td><td>36" BOX</td><td>LOW</td></tr> </tbody> </table>	BOTANICAL NAME TREES/LARGE SHRUBS	COMMON NAME	SIZE	WUCOLS	ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE	36" BOX	LOW	CERCIS CANADENSIS 'FOREST PANSY'	REDBUD	36" BOX	LOW	DODONEA VISCOSA 'PURPUREA'	PURPLE HOPSEED	15 GAL	MODERATE	FEIJOA SELLOWIANA	PINEAPPLE GUAVA	24" BOX	LOW	LAGERSTROEMIA 'NATCHEZ'	CRAPE MYRTLE	24" BOX	MODERATE	LAURUS NOBILIS 'SARATOGA'	LAUREL	36" BOX	LOW	LYNNONTHAMNUS FLORIBUNDUS ASPLENIFOLIUS	CATALINA IRONWOOD	36" BOX	LOW	MELALEUCA NESOFILA	PINK MELALEUCA	24" BOX	LOW	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	36" BOX	MODERATE	PARKINSONIA X DESERT MUSEUM	DESERT MUSEUM PALO VERDE	36" BOX	LOW	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX	MODERATE	PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT'	CAROLINA CHERRY LAUREL	24" BOX	MODERATE	QUERCUS AGRIFOLIA	COAST LIVE OAK	60" BOX	LOW	QUERCUS SUBER	CORK OAK	48" BOX	LOW	RHAMNUS CALIFORNICA 'EVE CASE'	CALIFORNIA COFFEEBERRY	15 GAL	LOW	RHAPHOLEPIS INDICA 'MAJESTIC BEAUTY'	INDIAN HAWTHORN, TREE FORM	24" BOX	MODERATE	RHUS LANCEA	AFRICAN SUMAC	36" BOX	LOW	STRELITZIA NICOLAI	GIANT BIRD OF PARADISE	24" BOX	LOW	UMBELLULARIA CALIFORNICA	BAY LAUREL	36" BOX	LOW	X CHITALPA TASHIKINTENSIS	CHITALPA	36" BOX	LOW																																																																				
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	<p>IRRIGATION NOTES:</p> <ol style="list-style-type: none"> 1. THE LANDSCAPE IRRIGATION DESIGN WILL BE DESIGNED TO PROVIDE THE MOST EFFICIENT AND CONSERVING MEANS TO DIS-TRIBUTE IRRIGATION WATER WITH THE LATEST TECHNOLOGY FOR WATER CONSERVATION 2. USE OF LOW WATER CONSUMPTIVE PLANT MATERIAL AND PROPER IRRIGATION TECHNIQUES CONFORM TO HYDROZONES, SUN, AND SHADE EXPOSURES, AND SOIL TYPES. 3. AUTOMATIC IRRIGATION CONTROLLERS WITH SOIL MOISTURE SENSORS / RAIN SENSORS SHALL BE UTILIZED 4. IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT RUNOFF, LOW HEAD DRAINAGE, AND OVERSPRAY 5. BACKFLOW PREVENTION DEVICES AND OTHER ABOVE-GROUND IRRIGATION MECHANICS TO BE SCREENED. 6. THIS PROJECT WILL BE IRRIGATED WITH RECLAIMED (NON-POTABLE) WATER 	<p>MEDIUM SIZED SHRUBS</p> <table border="1"> <tbody> <tr><td>BOUGAINVILLA X 'ROSENKA'</td><td>ROSENKA BOUGAINVILLEA</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>CARISSA MACROCARPA</td><td>NATAL PLUM</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>CISTUS X HYBRIDUS</td><td>WHITE ROCKROSE</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>CORREA PULCHELLA</td><td>AUSTRALIAN FUCHSIA</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>DIETES GRANDIFLORA</td><td>FORTNIGHT LILY</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>LANTANA X 'NEW GOLD'</td><td>NEW GOLD LANTANA</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>LEUCOPHYLLUM FRUTESCENS</td><td>TEXAS RANGER</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>LIGUSTRUM JAPONICUM 'TEXANUM'</td><td>WAX LEAF PRIVET</td><td>5 GAL</td><td>MODERATE</td></tr> <tr><td>MUHLENBERGIA CAPILLARIS</td><td>MUHLY GRASS</td><td>5 GAL</td><td>MODERATE</td></tr> <tr><td>OLEA EUROPAEA 'LITTLE OLLIE'</td><td>DWARF OLIVE</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>RHAPHOLEPIS INDICA 'CLARA'</td><td>CLARA INDIAN HAWTHORN</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>ROSMARINUS OFFICINALIS 'TUSCAN BLUE'</td><td>TUSCAN BLUE ROSEMARY</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>STRELITZIA REGINAE</td><td>BIRD OF PARADISE</td><td>15 GAL</td><td>MODERATE</td></tr> <tr><td>WESTRINGIA FRUTICOSA</td><td>COAST ROSEMARY</td><td>5 GAL</td><td>LOW</td></tr> </tbody> </table> <p>UNDERSTORY SHRUBS AND GROUNDCOVERS</p> <table border="1"> <tbody> <tr><td>CAREX TUMULICOLA</td><td>FOOTHILL SEDGE</td><td>1 GAL</td><td>LOW</td></tr> <tr><td>CISTUS SALVIIFOLIUS 'PROSTRATUS'</td><td>SAGELEAF ROCKROSE</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>DIANELLA REVOLUTA 'LITTLE REV'</td><td>FLAX LILY</td><td>1 GAL</td><td>LOW</td></tr> <tr><td>MYOPORUM PARVIFOLIUM 'PUTAH CREEK'</td><td>PUTAH CREEK MYOPORUM</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'</td><td>HUNTINGTON CARPET ROSEMARY</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>SENECIO MANDRALISCAE</td><td>BLUE FINGER</td><td>1 GAL</td><td>LOW</td></tr> <tr><td>WESTRINGIA FRUTICOSA 'MUNDI'</td><td>COAST ROSEMARY</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>TEUCRIUM CHAMAEDRYS</td><td>GERMANDER</td><td>1 GAL</td><td>LOW</td></tr> </tbody> </table> <p>ACCENTS</p> <table border="1"> <tbody> <tr><td>AGAVE ATTENUATA</td><td>FOXTAIL AGAVE</td><td>15 GAL</td><td>LOW</td></tr> <tr><td>ALOE ARBORESCENS</td><td>TORCH ALOE</td><td>24" BOX</td><td>LOW</td></tr> </tbody> </table> <p>INTERPRETIVE GARDEN SHRUBS/PERENNIALS</p> <table border="1"> <tbody> <tr><td>ACHILLEA MILLEFOLIUM</td><td>YARROW</td><td>1 GAL</td><td>LOW</td></tr> <tr><td>ALYOGYNE HUEGELII</td><td>BLUE HIBISCUS</td><td>15 GAL</td><td>LOW</td></tr> <tr><td>BACCHARIS PILULARIS</td><td>COYOTE BRUSH</td><td>1 GAL</td><td>LOW</td></tr> <tr><td>CEANOTHUS GRISEUS 'LOUIS EDMUND'S'</td><td>CEANOTHUS</td><td>5 GAL</td><td>LOW</td></tr> <tr><td>CEANOTHUS G.H. 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OCFA NOTES:	<p>TREE AND SHRUB PLANS:</p> <ul style="list-style-type: none"> • REFER TO SHEETS L.6 FOR TREE PLANS • REFER TO SHEETS L.7 FOR SHRUB PLANS • REFER TO SHEET L.8 FOR PLANTING DETAILS • REFER TO SHEET L.9 FOR PLANTING SPECIFICATIONS <p>SCREENING NOTES:</p> <p>RESIDENTIAL SURFACE PARKING SHALL BE SCREENED FROM PASEO DE COLINAS AT THE PROJECT PERIMETER PER LNZC 9-1-45.4. THIS INCLUDES FENCING, WALLS, HEDGES, OR A THICK GROWTH OF SHRUBS/TREES (VEGETATION AT LEAST 42" HIGH TO CREATE A SCREEN BLOCKING AT LEAST 50% OF THE VIEW THROUGH THE VEGETATION OVER A HORIZ. DISTANCE OF 5' OR GREATER.</p>																																																																																																																																																									



WATER EFFICIENT LANDSCAPE WORKSHEET							
Reference Evapotranspiration (ET ₀)			46.50	ETAF for MAWA		0.55	(Residential)
Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
	0.30	drip	0.81	0.37			
	0.50	drip	0.81	0.62			
				Totals			
Special Landscape Areas							
Hydrozone #1 Moderate				1.00	13,134	13,134	378,653
Hydrozone #2 WQMP				1.00	80	80	2,306
				Totals	13,214	13,214	380,960
						ETWU Total	380,960
						Maximum Allowed Water Allowance (MAWA)^e	380,960
^a Hydrozone #/Planting Description E.g. 1.) front lawn 2.) low water use plantings 3.) medium water use planting		^b Irrigation Method overhead spray or drip		^c Irrigation Efficiency 0.75 for spray head 0.81 for drip		^d ETWU (Annual Gallons Required) = ET ₀ x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.	
^e MAWA (Annual Gallons Allowed) = (ET ₀) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.							
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area							
Total Area							
Average ETAF							
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.							
All Landscape Areas							
Total ETAF x Area	13,214						
Total Area	13,214						
Sitewide ETAF	1.00						
Eto data for city of Laguna Niguel from MWELO Appendix A							
2/17/2023							

IRRIGATION HYDROZONES:

	HYDRO-ZONE 1 - H.O.A Common Area - -Moderate and Low Water use plants. - Sub Surface Irrigation -Reclaimed Water	13,134 s.f.
	HYDRO-ZONE 2 - Water Quality Modular - - Moderate Water use Plants - Sub Surface Irrigation - Reclaimed Water	80 s.f.
TOTAL LANDSCAPE AREA:		 13,214 s.f.

* NOTE ALL LANDSCAPE AREAS WILL BE IRRIGATED FROM A RECLAIMED IRRIGATION METER

WATER CONSERVATION FEATURES

THE FOLLOWING MEASURES WILL BE INCORPORATED INTO THE PROJECT TO CONSERVE WATER:

1. Installation of automatic 'smart' irrigation controller with rain-sensor.
2. The use of low precipitation/low angle irrigation spray heads.
3. The use of low water consuming plants.
4. Soil amendment to achieve good soil moisture retention.
5. Mulching to reduce evapotranspiration from the root zone.
6. Installation of automatic irrigation system to provide deep-root water

WATER USE CLASSIFICATION of LANDSCAPE SPECIES (WULCS):

WUCOLS, Water Use Classification of Landscape Species, is a University of California Cooperative Extension Publication and is a guide to the water needs of landscape plants.

WATER CONSERVATION STATEMENT

PURPOSE: To provide the maintenance staff a mechanical device to distribute water and ensure plant survival in the most efficient manner and within a time frame that least interferes with the activities of the community.

The Irrigation system for each hydrozone will be automatic and incorporate low volume sub surface dripper line with in-line emitters and low flow bubblers for the trees. Drip irrigation valves will be used to conserve water and eliminate over spray onto adjacent hardscape surfaces. Irrigation valves will be separated to planting requirements and hydrozones. Trees will also be separated onto their own valves.

Planting will be designed to enhance the visual character of the site and the architectural elements. Plants shall be grouped with similar water, climatic and soil requirements to conserve water and create a drought responsive landscape.

Each hydrozone consists of moderate to low water consuming plants. In all landscape areas the soil shall be properly amended to retain moisture for healthy growth and

Plan. Measure the water usage in your home and identify areas where you can reduce water usage.

Soil shall be prepared and amended to provide for maximum moisture retention and percolation. Planted areas shall be mulched to retain soil moisture and reduce

evapotranspiration.

To avoid wasted water, the controls will be overseen by a flow monitor that will detect any broken sprinkler heads to stop that station's operation, advancing to the next workable station. In the event of pressure supply line breakage, it will completely stop the operation of the system. All material will be nonferrous, with the exception of the brass piping into and out of the backflow units. All work will be in the best acceptable manner in accordance with applicable codes and standards prevailing in the industry.

PASEO DE COLINAS TOWNHOMES - LAGUNA NIGUEL, CA

IRRIGATION HYDROZONE PLAN - L.3





FRONT



REAR

BUILDING ELEVATION - 4 PLEX (BUILDINGS 3)



REAR



FRONT

BUILDING ELEVATION - 6 PLEX (BUILDING 1)



FRONT



REAR

BUILDING ELEVATION - 4 PLEX (BUILDINGS 4 & 5)



FRONT



REAR

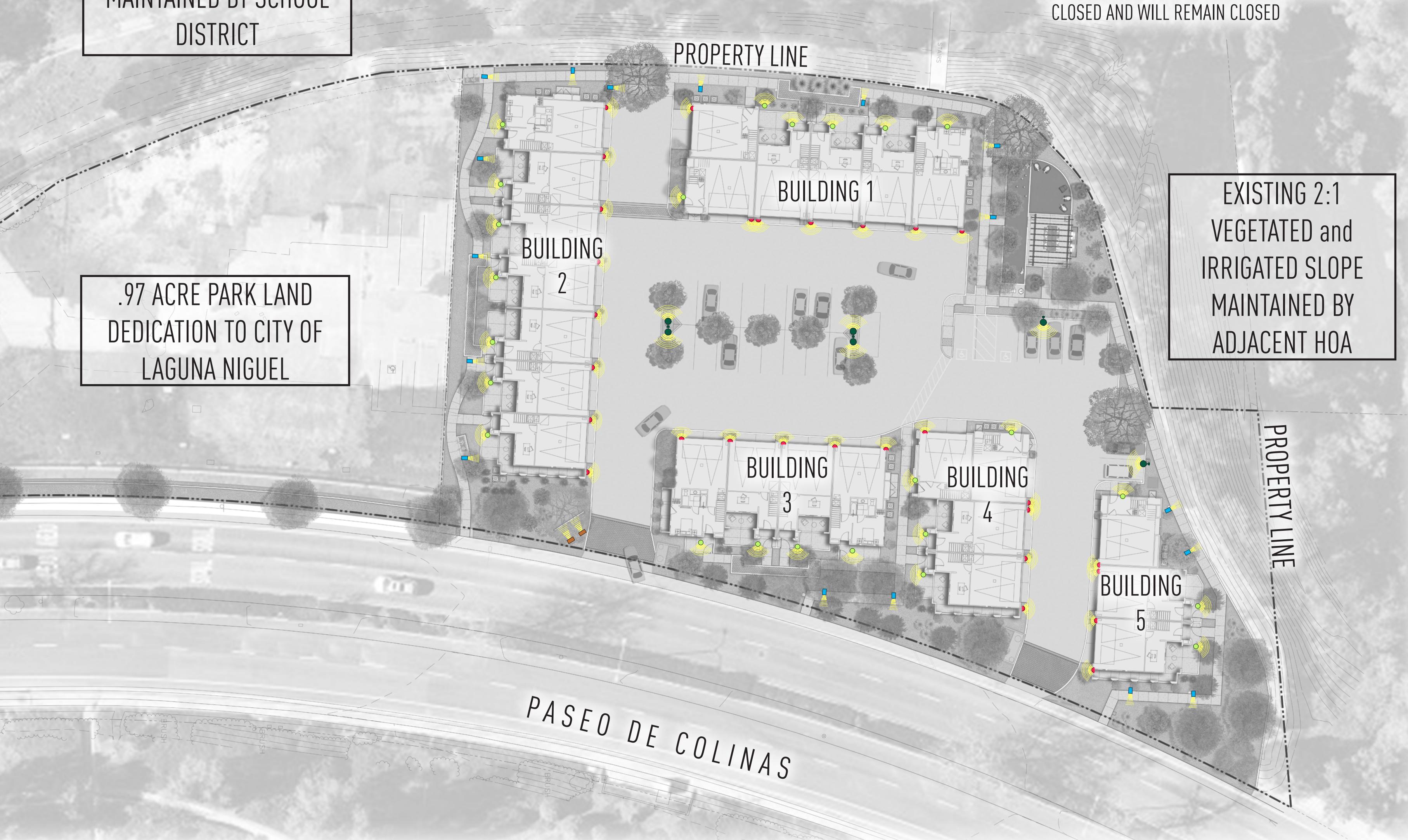
BUILDING ELEVATION - 5 PLEX (BUILDING 2)

NIGUEL HILLS
MIDDLE SCHOOL

EXISTING 2:1 VEGETATED
and IRRIGATED SLOPE
MAINTAINED BY SCHOOL
DISTRICT

• NORTH STAIRS ARE THE PROPERTY OF NIGUEL HILLS
MIDDLE SCHOOL AND ARE NOT A PART OF THE PASEO
DE COLINAS TOWNHOME PROJECT. THESE STAIRS ARE
CLOSED AND WILL REMAIN CLOSED

EXISTING 2:1
VEGETATED and
IRRIGATED SLOPE
MAINTAINED BY
ADJACENT HOA



EXTERIOR LIGHTING LEGEND EXTERIOR LIGHTING TO MEET LNZC 9-1-35.15 REQUIREMENTS		
SYMBOL	TYPE/TECHNIQUE	LOCATION
	COMMUNITY and COMMON VEHICULAR POLE LIGHT (FULL SHIELDS) 10' TALL ON 24" H.T. CONCRETE FOOTING	VEHICULAR DRIVES PARKING AREA
	42" HT BOLLARD	COMMUNITY WALK WAYS
	BUILDING MOUNTED FIXTURES	LOCATED NEAR ENTRY DOORS (FINAL LOCATION PER ARCHITECT) SEE FRONT ELEVATION BELOW
	DRIVEWAY SCONCE	CENTERED BETWEEN GARAGE (FINAL LOCATION PER ARCHITECT)
	MONUMENT SIGN LIGHT	MAIN ENTRANCE MONUMENT SIGNAGE

LIGHTING CONCEPT	
THE OUTDOOR LIGHTING CONCEPT IS TO PROVIDE LEVELS OF LIGHTING SUFFICIENT TO MEET SAFETY AND ORIENTATION NEEDS.	
WITHIN PUBLIC AREAS LIGHTING WILL BE WARM COLORED AND UNOBTRUSIVE. LIGHT SOURCES WILL BE LED OR METAL HALIDE.	
LIGHTING SOURCES FOR THE LANDSCAPE AND PAVED AREAS WILL BE CONCEALED AND THE LIGHTING INDIRECT NOT VISIBLE FROM A PUBLIC VIEWPOINT. LIGHT SOURCES SHOULD BE DIRECTED SO THAT IT DOES NOT FALL OUTSIDE THE AREA TO BE LIGHTED. SHIELDS WILL BE USED TO DIRECT LIGHT DOWNWARD.	
ALL EXTERIOR SURFACE AND ABOVE-GROUND MOUNTED FIXTURES WILL BE COMPLIMENTARY TO THE ARCHITECTURAL THEME.	

PHOTOMETRICS PROVIDED BY CANDELA
ENGINEERING, SEE SHEET L.14

FIXTURES



COMMUNITY
VEHICULAR POLE LIGHT



42" HT. PEDESTRIAN
BOLLARD

GENERAL SITE LIGHTING NOTES

1. ALL LIGHTING FIXTURES AND ELECTRICAL INSTALLATION SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODES AND LOCAL GOVERNMENT AGENCY.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
4. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT UNIFORM BUILDING CODES, PERMIT REQUIREMENTS AND STATE AND HEALTH SAFETY REQUIREMENTS.
5. ALL ELECTRICAL FIXTURES ARE SHOWN SCHEMATICALLY FOR LOCATIONS AND QUANTITIES REQUIRED. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND INSTALL FIXTURES PER MANUFACTURERS SPECIFICATIONS.

PASEO DE COLINAS TOWNHOMES - LAGUNA NIGUEL, CA

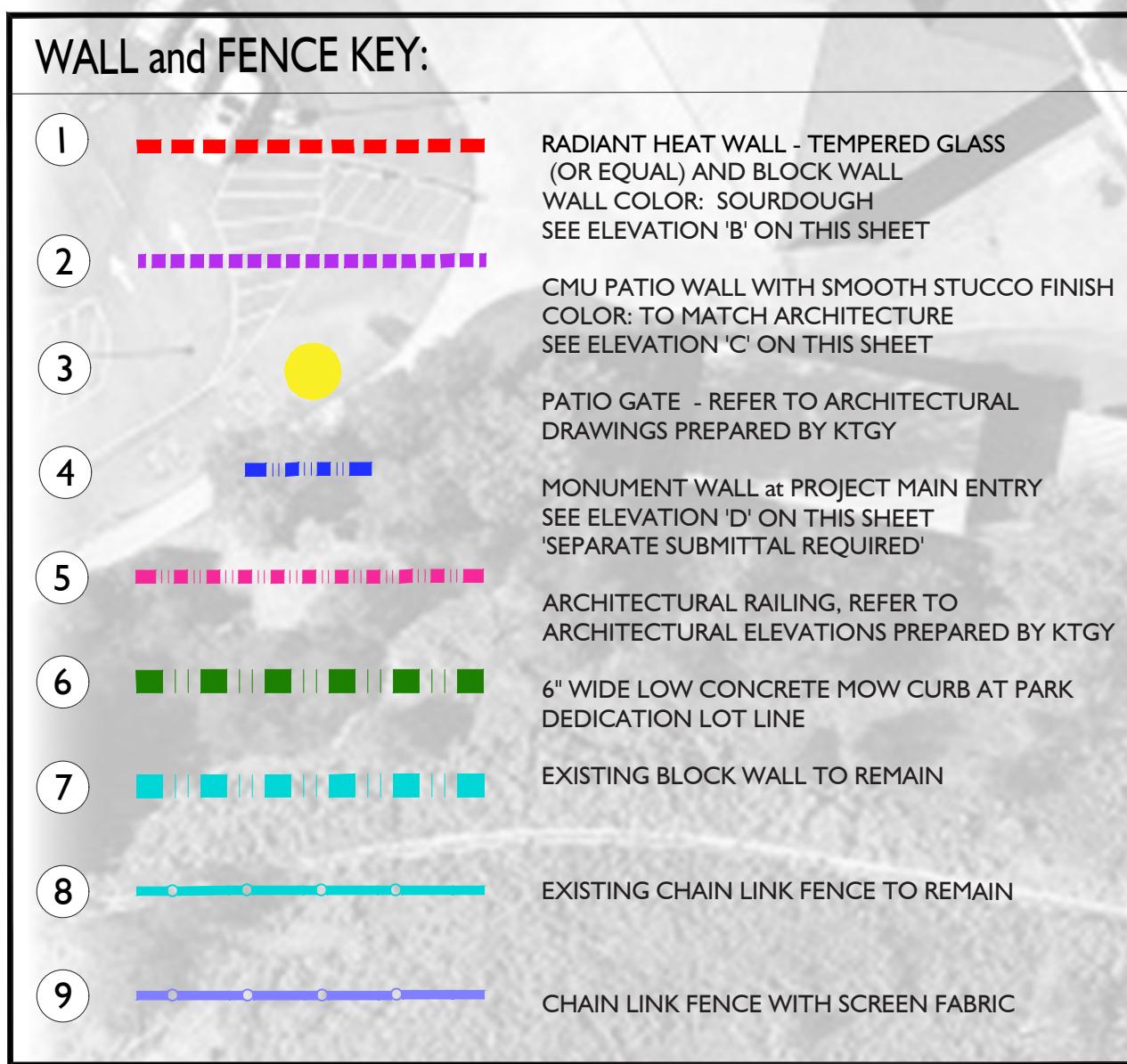
PROJECT DIMENSIONS

REVISED: MAY 13, 2024

SITE LIGHTING PLAN - L.4

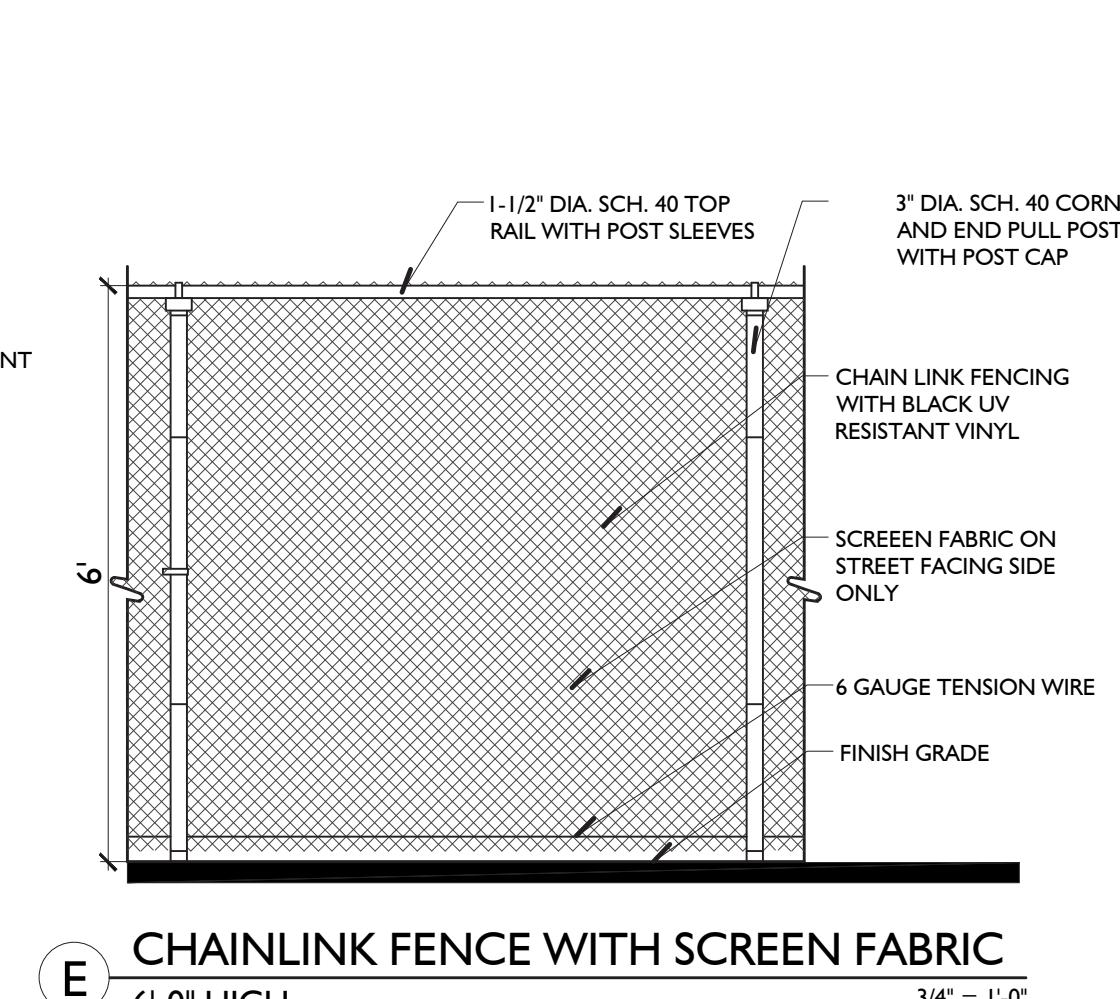
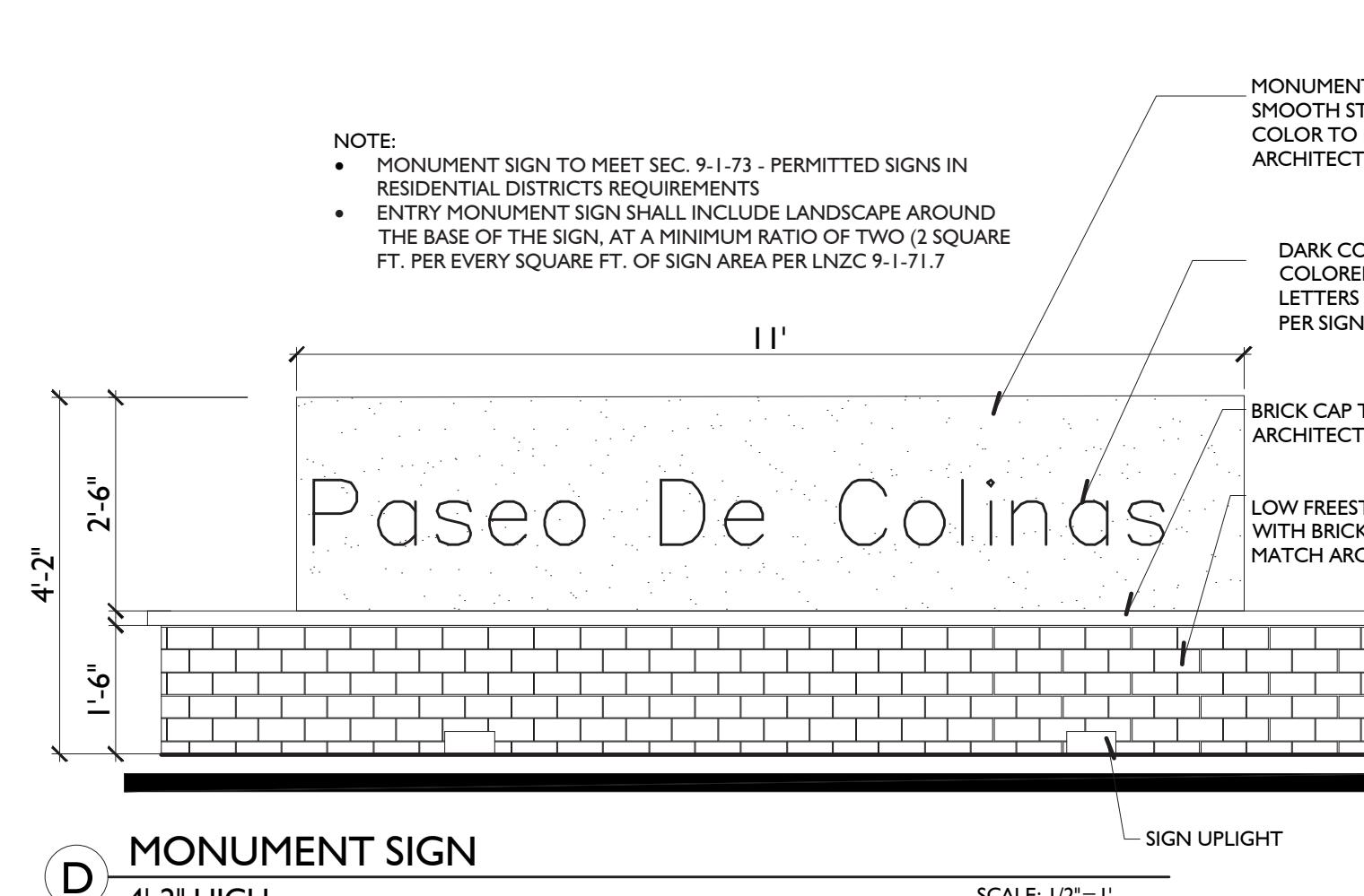
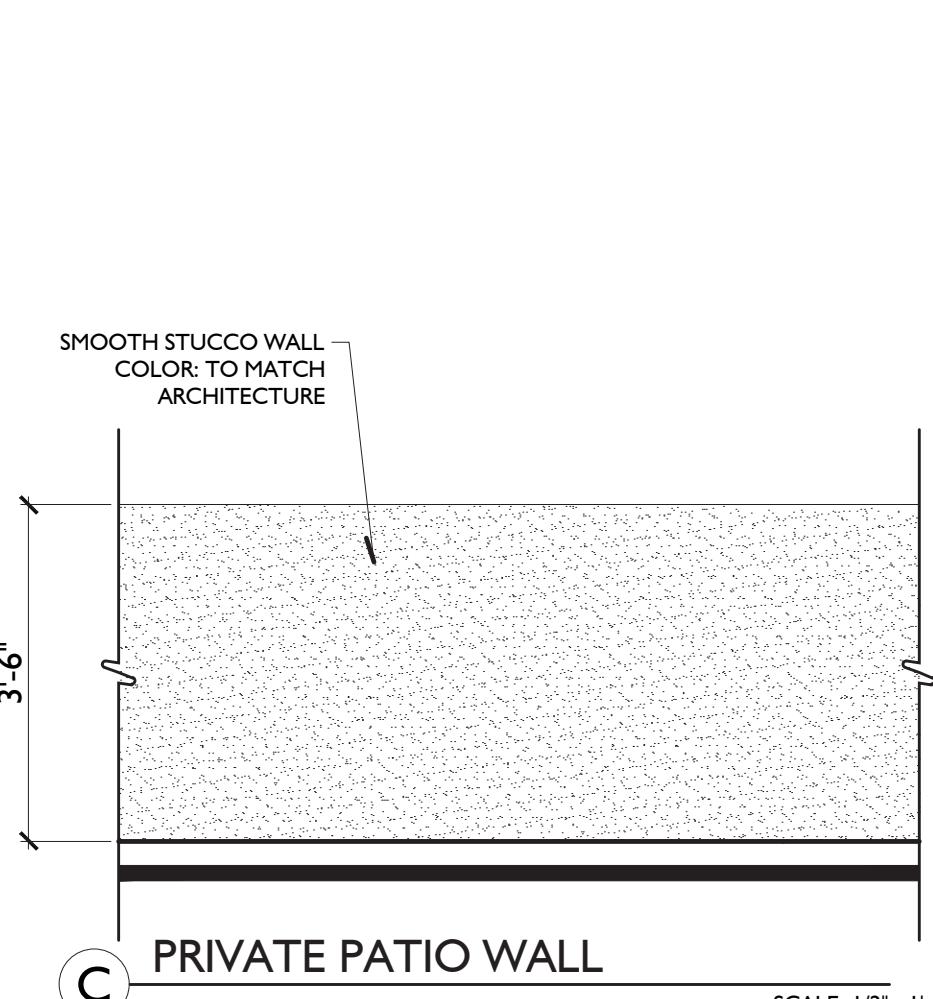
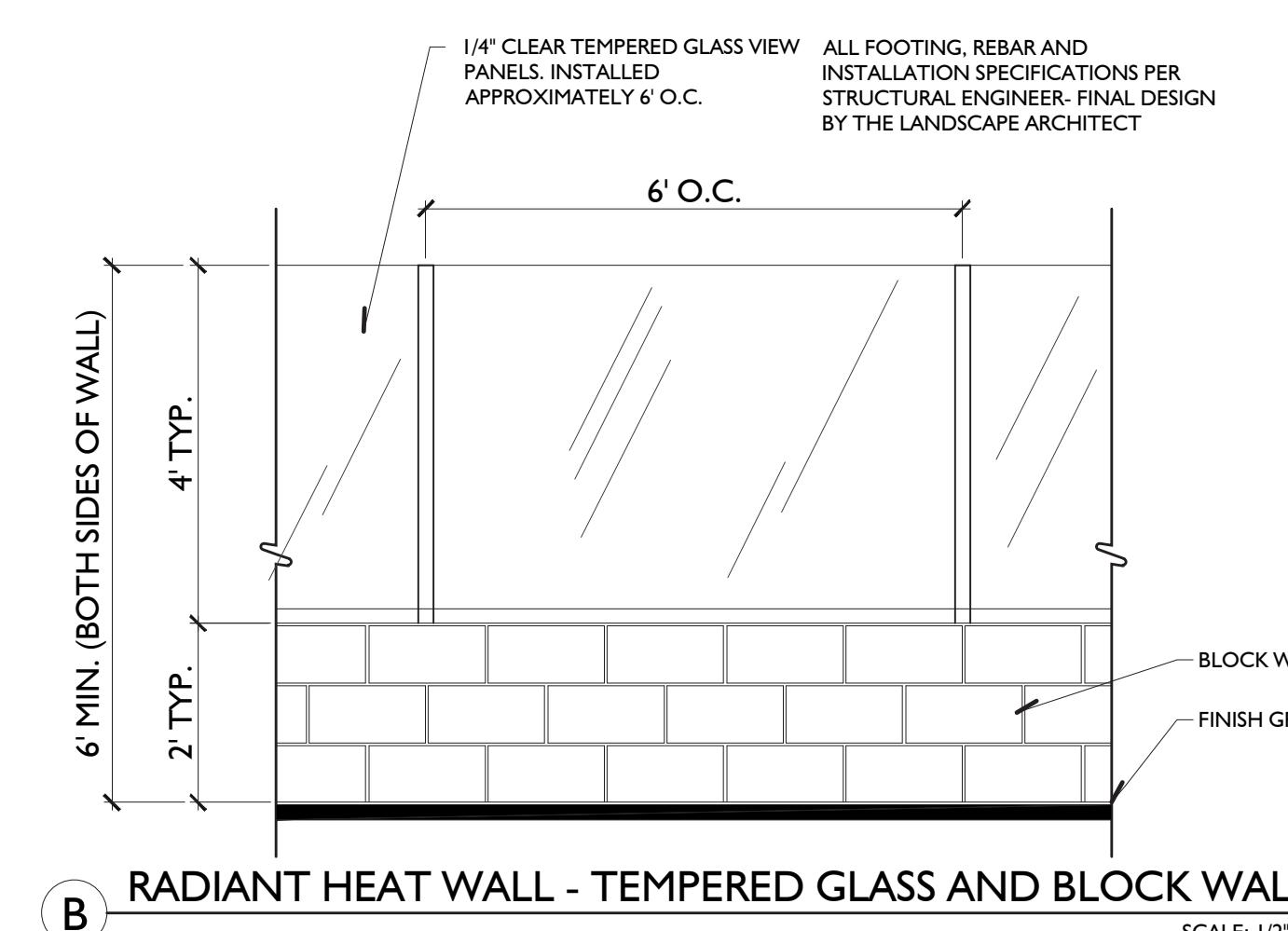
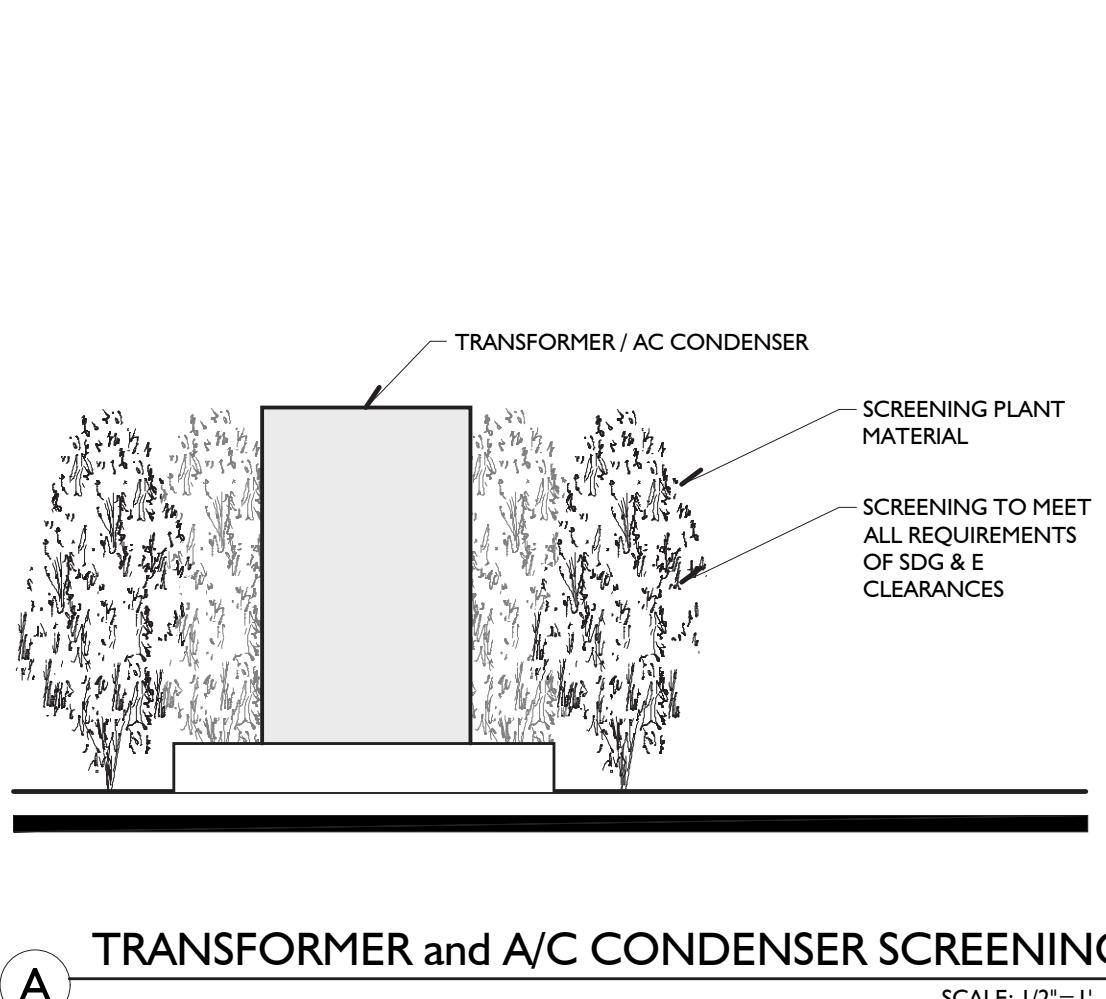
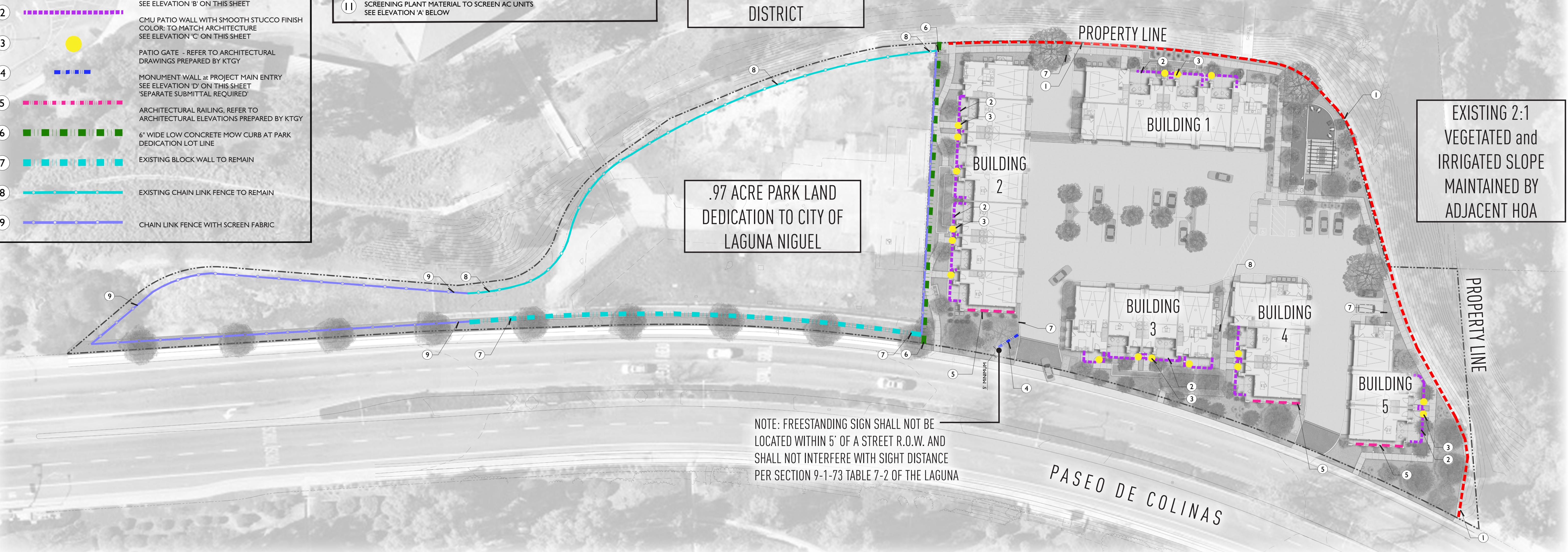


NIGUEL HILLS MIDDLE SCHOOL

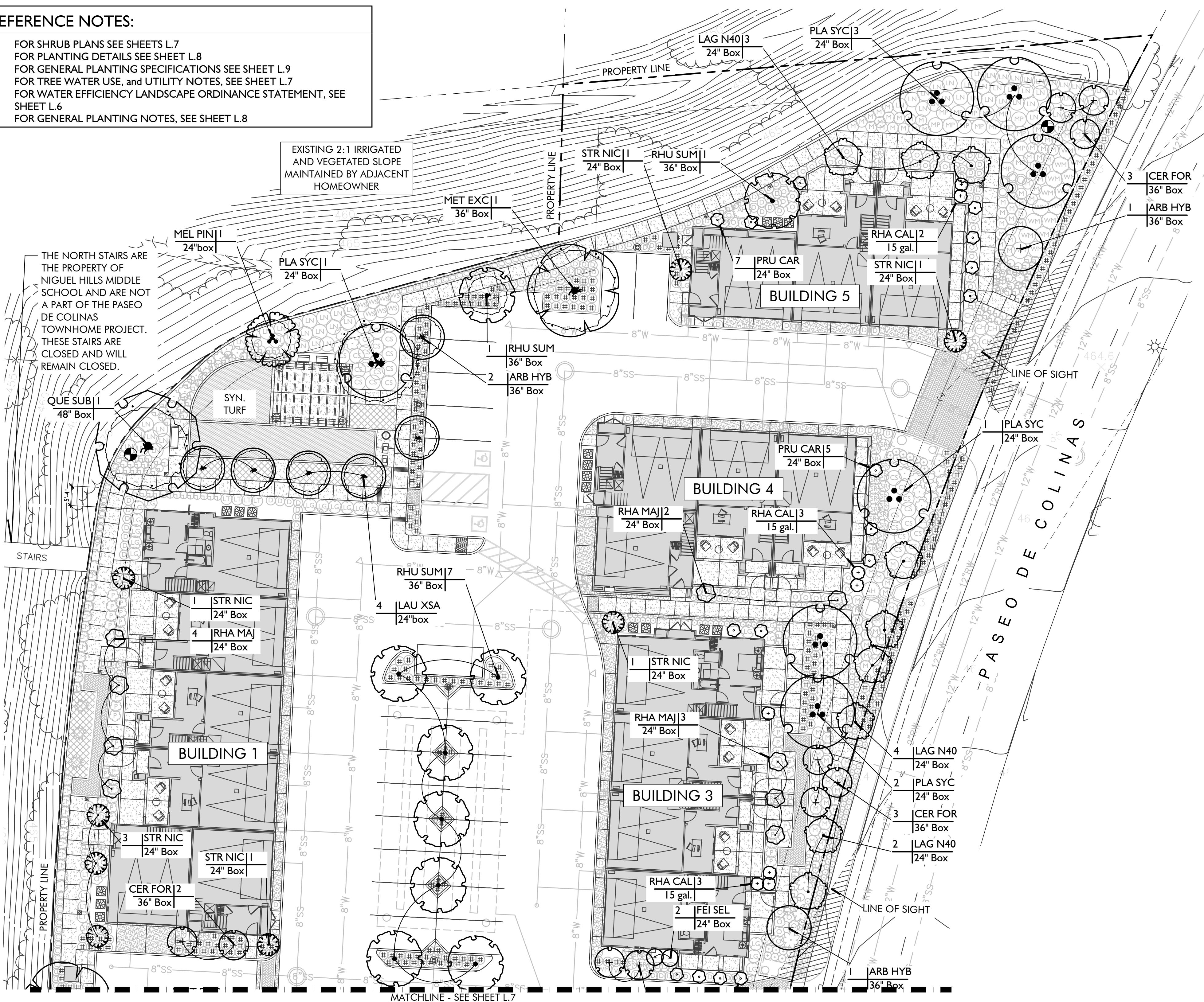


**EXISTING 2:1 VEGETATED
and IRRIGATED SLOPE
MAINTAINED BY SCHOOL
DISTRICT**

NORTH STAIRS ARE THE PROPERTY OF NIGUEL HILLS MIDDLE SCHOOL AND ARE NOT A PART OF THE PASEO DE COLINAS TOWNHOME PROJECT. THESE STAIRS ARE CLOSED AND WILL REMAIN CLOSED



REFERENCE NOTES:	
• FOR SHRUB PLANS SEE SHEETS L.7	
• FOR PLANTING DETAILS SEE SHEET L.8	
• FOR GENERAL PLANTING SPECIFICATIONS SEE SHEET L.9	
• FOR TREE WATER USE, and UTILITY NOTES, SEE SHEET L.7	
• FOR WATER EFFICIENCY LANDSCAPE ORDINANCE STATEMENT, SEE SHEET L.6	
• FOR GENERAL PLANTING NOTES, SEE SHEET L.8	



REFERENCE NOTES:	
• FOR SHRUB PLANS SEE SHEETS L.7	
• FOR PLANTING DETAILS SEE SHEET L.8	
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• FOR GENERAL PLANTING NOTES, SEE SHEET L.8	

TREE PLANT SCHEDULE				
CODE	BOTANICAL / COMMON NAME	SIZE	WUCOLS	QTY
TREES				
ARB HYB	ARBUTUS X 'MARINA' MARINA STRAWBERRY TREE - STANDARD	36" BOX	LOW	4
CER FOR	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY EASTERN REDBUD	36" BOX	MODERATE	13
FEI SEL	FEIJOA SELLOWIANA PINEAPPLE GUAVA - SHRUB FORM	24" BOX	LOW	2
LAG N40	LAGERSTROEMIA 'NATCHEZ' NATCHEZ CRAPÉ MYRTLE	24" BOX	MODERATE	9
LAU XSA	LAURUS X 'SARATOGA' SARATOGA HYBRID LAUREL STANDARD FORM	24" BOX	LOW	10
MEL PIN	MELALEUCA NESOPHILA PINK MELALEUCA MULTI-TRUNK	24" BOX	LOW	1
MET EXC	METROSIDEROS EXCELSA N.Z. CHRISTMAS TREE - STANDARD FORM	36" BOX	MODERATE	2
PLA SYC	PLATANUS RACEMOSA CALIFORNIA Sycamore Multi-Trunk	24" BOX	MODERATE	8
PLA RAC	PLATANUS RACEMOSA CALIFORNIA Sycamore - Standard Form	24" BOX	MODERATE	9
PRU CAR	PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' CAROLINA CHERRY LAUREL - COLUMNS	24" BOX	MODERATE	16
QUE MUL	QUEENSLAND MULGA COAST LIVE OAK MULTI-TRUNK	48" BOX	LOW	1
QUE SUB	QUEENSLAND SUBER CORK OAK	48" BOX	LOW	1
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE' CALIFORNIA COFFEEBERRY - SHRUB FORM	15 GAL.	LOW	24
RHA MAJ	RHAPHIOLEPIS INDICA 'MAJESTIC BEAUTY' INDIAN HAWTHORN, TREE FORM	24" BOX	MODERATE	11
RHU SUM	RHUS LANCEA AFRICAN SUMAC - STANDARD FORM	36" BOX	LOW	9
STR NIC	STRELITZIA NICOLAI GIANT BIRD OF PARADISE	24" BOX	LOW	10

Issued for:	
05/17/23	SUBMITTAL #6
06/12/23	SUBMITTAL #7
02/12/24	SUBMITTAL #8
03/01/24	SUBMITTAL #9
05/13/24	REVISED SUBMITTAL #9

Revisions:

MJS
LANDSCAPE
ARCHITECTURE

507 30th Street
Newport Beach, CA 92663
949.675.9964
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PASEO DE COLINAS TOWNHOMES

LAGUNA NIGUEL, CA
SITE DEVELOPMENT
PERMIT #SP20-02

Client Representative:

PROJECT DIMENSIONS

4 PARK PLAZA,
SUITE 700
IRVINE, CA 92614

Stamp:

Job No:

Drawn By: MO, PH

Checked By: MS

Plot Date: 05/12/2024

Scale: 1/16" = 1'-0"

Title:

TREE PLAN

Sheet No.:

L.6

Plan Status:
SITE DEVELOPMENT
PERMIT

OCFA PLANT SPECIES NOTE:

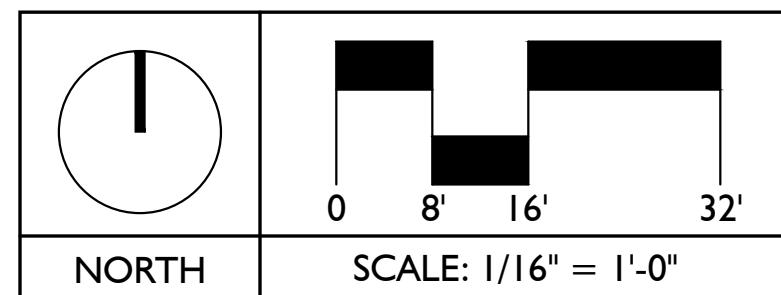
ALL LANDSCAPE AREAS SHALL BE DEVOID OF PLANT MATERIAL FROM OCFA ATTACHMENT 7, "UNDESIRABLE PLANT SPECIES LIST"

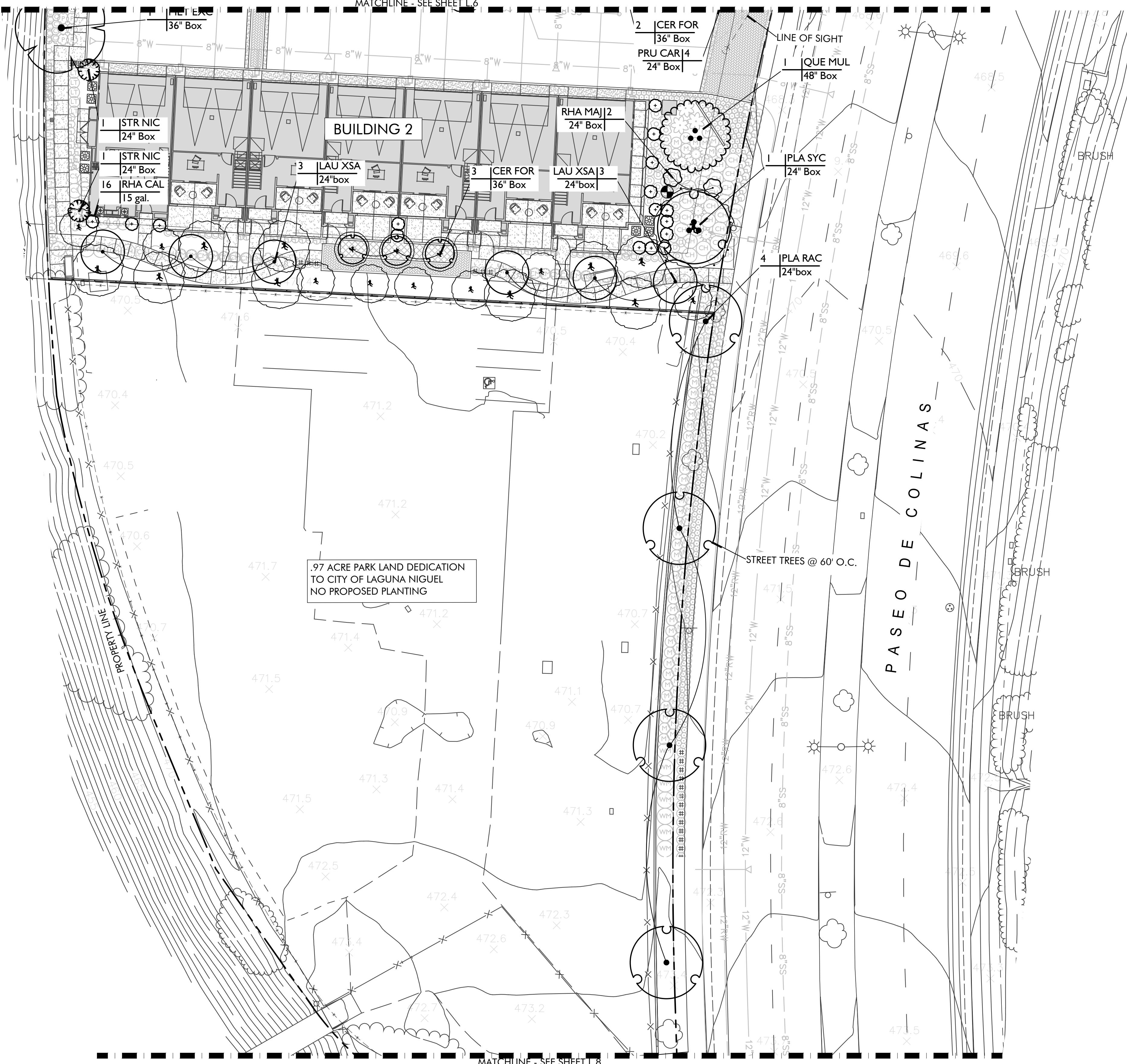
LINE OF SIGHT NOTE:

1. NO SHRUB PLANTING MORE THAN 3' HIGH WITHIN LINE OF SIGHT AREAS
2. NO TREE PLANTING WITH BRANCHES LESS THAN 7' WITHIN LINE OF SIGHT AREAS

MAINTENANCE RESPONSIBILITY

1. ALL LANDSCAPE AREAS TO BE HOMEOWNERS ASSOCIATION MAINTAINED
2. LANDSCAPE CONTRACTOR TO PROVIDE MAINTENANCE SCHEDULE FOR COMMON AREAS





REFERENCE NOTES:	
• FOR SHRUB PLANS SEE SHEETS L.7	
• FOR PLANTING DETAILS SEE SHEET L.8	
• FOR GENERAL PLANTING SPECIFICATIONS SEE SHEET L.9	
• FOR TREE WATER USE, and UTILITY NOTES, SEE SHEET L.7	
• FOR WATER EFFICIENCY LANDSCAPE ORDINANCE STATEMENT, SEE SHEET L.6	
• FOR GENERAL PLANTING NOTES, SEE SHEET L.8	

OCFA PLANT SPECIES NOTE:	
ALL LANDSCAPE AREAS SHALL BE DEVOID OF PLANT MATERIAL FROM OCFA ATTACHMENT 7, "UNDESIRABLE PLANT SPECIES LIST"	
LINE OF SIGHT NOTE:	

1. NO SHRUB PLANTING MORE THAN 3' HIGH WITHIN LINE OF SIGHT AREAS
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TREE PLANT SCHEDULE				
CODE	BOTANICAL / COMMON NAME	SIZE	WUCOLS	QTY
TREES				
ARB HYB	ARBUTUS X 'MARINA' MARINA STRAWBERRY TREE - STANDARD	36" BOX	LOW	4
CER FOR	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY EASTERN REDBUD	36" BOX	MODERATE	13
FEI SEL	FEIJOA SELLOWIANA PINEAPPLE GUAVA - SHRUB FORM	24" BOX	LOW	2
LAG N40	LAGERSTROEMIA 'NATCHEZ' NATCHEZ CRAPÉ MYRTLE	24" BOX	MODERATE	9
LAU XSA	LAURUS X 'SARATOGA' SARATOGA HYBRID LAUREL STANDARD FORM	24" BOX	LOW	10
MEL PIN	MELALEUCA NESOPHILA PINK MELALEUCA MULTI-TRUNK	24" BOX	LOW	1
MET EXC	METROSIDEROS EXCELSA N.Z. CHRISTMAS TREE - STANDARD FORM	36" BOX	MODERATE	2
PLA SYC	PLATANUS RACEMOSA CALIFORNIA SYCAMORE MULTI-TRUNK	24" BOX	MODERATE	8
PLA RAC	PLATANUS RACEMOSA CALIFORNIA SYCAMORE - STANDARD FORM	24" BOX	MODERATE	9
PRU CAR	PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' CAROLINA CHERRY LAUREL - COLUMNS	24" BOX	MODERATE	16
QUE MUL	QUECUCUS AGRIFOLIA COAST LIVE OAK MULTI-TRUNK	48" BOX	LOW	1
QUE SUB	QUECUCUS SUBER CORK OAK	48" BOX	LOW	1
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE' CALIFORNIA COFFEEBERRY - SHRUB FORM	15 GAL.	LOW	24
RHA MAJ	RHAPHIOLEPIS INDICA 'MAJESTIC BEAUTY' INDIAN HAWTHORN, TREE FORM	24" BOX	MODERATE	11
RHU SUM	RHUS LANCEA AFRICAN SUMAC - STANDARD FORM	36" BOX	LOW	9
STR NIC	STRELITZIA NICOLAI GIANT BIRD OF PARADISE	24" BOX	LOW	10

QUANTITIES NOTE:

CONTRACTOR TO NOTE THAT THE QUANTITIES ON LEGEND AND PLANT CALLOUTS HAVE BEEN PROVIDED FOR QUICK REFERENCE ONLY. IT IS RECOMMENDED THAT THE CONTRACTOR NOT RELY ON THE ACCURACY OF THESE QUANTITIES AND PROVIDE THEIR OWN PLANT MATERIAL COUNTS AT THE TIME OF PREPARING BID. ANY DISCREPANCY IN THE PLANT QUANTITIES AND SIZES SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECTS.

AGRONOMIC SOILS REPORT NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THREE (3) AGRONOMIC SOILS TESTS AND INSTALL PLANT MATERIAL PER REPORT AND SOIL RECOMMENDATIONS.

TREE ROOT BARRIER NOTE:

ROOT BARRIERS ARE REQUIRED WHERE BOX PLANT MATERIAL IS PLANTED LESS THAN FIFTEEN (15) FEET OF SIDEWALK, WALLS, BUILDINGS, STRUCTURES, CURBS, PAVING, PUBLIC IMPROVEMENTS WITHIN R.O.W. (TYP.), WATER, SEWER, STORM DRAIN, ETC. ROOT BARRIER SHALL BE INSTALLED AT HARDCAPE EDGE WITH PERCOLATION TESTS OR UTILIZE STRUCTURAL SOIL. BARRIER SHALL BE THE LENGTH OF THE ULTIMATE CANOPY OF THE TREE or FULL LENGTH OF HEDGE.

TREE PLACEMENT NOTE:

CONTRACTOR TO LOCATE ALL DRAIN LINES IN FIELD PRIOR TO THE INSTALLATION OF TREES. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT WITH TREE LOCATIONS WITH STORM DRAIN LINES.

TREE STAKING NOTE:

1. ALL TREES TO BE STAKED PER TREE STAKING DETAIL.

WATER EFFICIENCY LANDSCAPE ORDINANCE

STATEMENT:
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

MARK SCHATTINGER, CALIFORNIA LICENSED LANDSCAPE ARCHITECT #3235

ORDINANCE # 2009-156
RESOLUTION # 2009-984
A.B. 1881

LAGUNA NIGUEL PLANTING NOTE:

MINIMUM TREE/SHRUB SIZES, PERCENTAGES, AND PLACEMENT SHALL BE MET PURSUANT TO LNZC 9-1-92.3j

Issued for:	
05/17/23	SUBMITTAL #6
06/12/23	SUBMITTAL #7
02/12/24	SUBMITTAL #8
03/01/24	SUBMITTAL #9
05/13/24	REVISED SUBMITTAL #9
Revisions:	



Project:

PASEO DE COLINAS TOWNHOMES

LAGUNA NIGUEL, CA
SITE DEVELOPMENT PERMIT #SP20-02

Client Representative:

PROJECT DIMENSIONS

4 PARK PLAZA,
SUITE 700
IRVINE, CA 92614

Stamp:

Job No:

Drawn By: MO, PH

Checked By: MS

Plot Date: 05/13/2024

Scale: 1/16" = 1'-0"

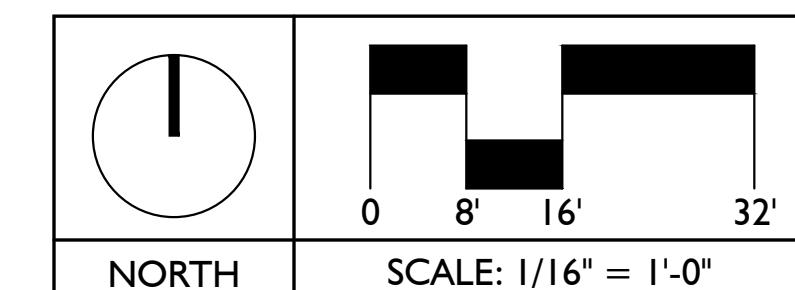
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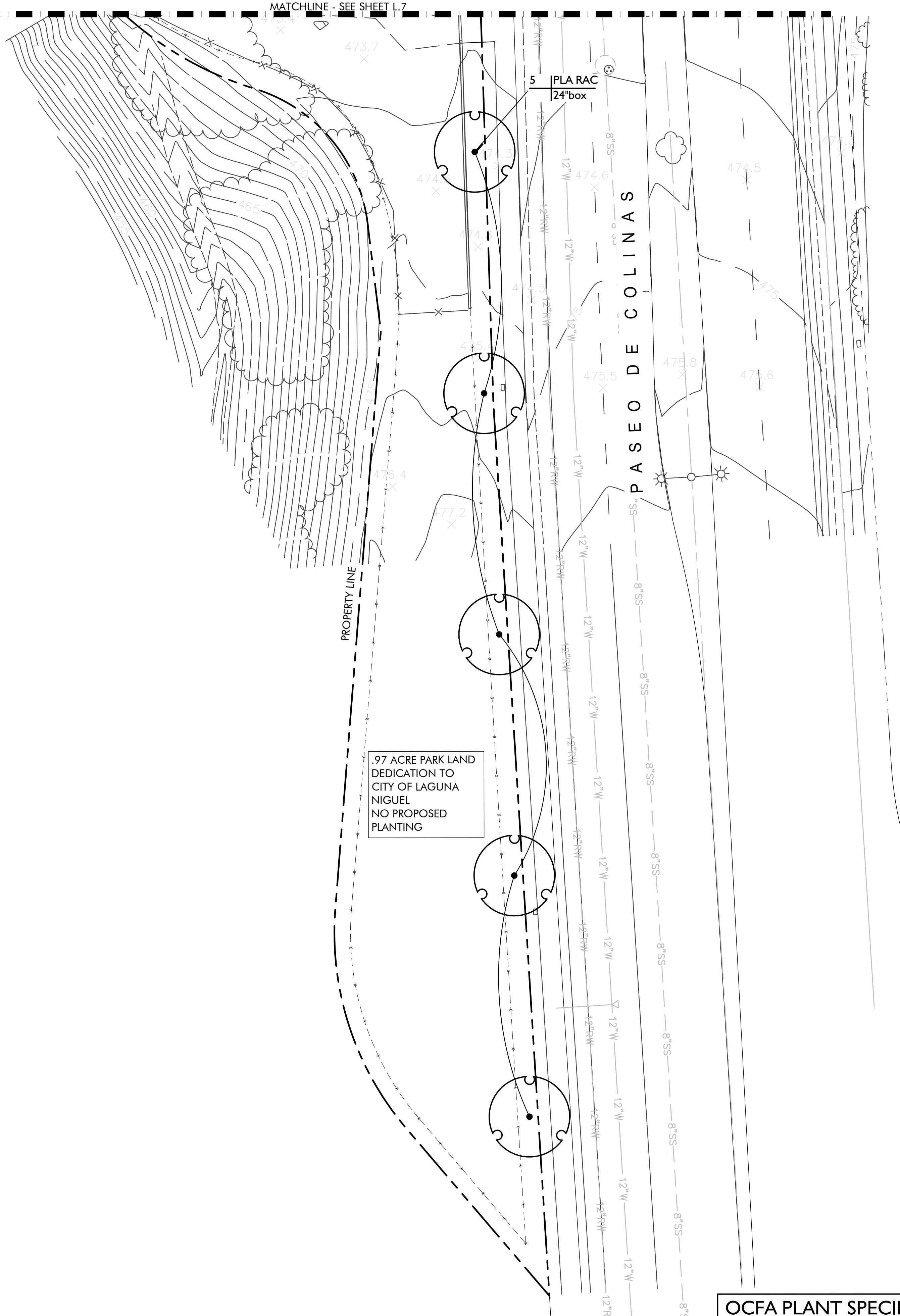
TREE PLAN

Sheet No.:

L.7

Plan Status:
SITE DEVELOPMENT PERMIT





REFERENCE NOTES:

- FOR TREE PLANS SEE SHEETS L.6
- FOR PLANTING DETAILS SEE SHEET L.8
- FOR GENERAL PLANTING SPECIFICATIONS SEE SHEET L.9
- FOR TREE WATER USE, and UTILITY NOTES, SEE SHEET L.7
- FOR WATER EFFICIENCY LANDSCAPE ORDINANCE STATEMENT, SEE SHEET L.6
- FOR GENERAL PLANTING NOTES, SEE SHEET L.8

EXISTING 2:1 IRRIGATED AND VEGETATED SLOPE MAINTAINED BY ADJACENT HOMEOWNER

THE NORTH STAIRS ARE THE PROPERTY OF NIGUEL HILLS MIDDLE SCHOOL AND ARE NOT A PART OF THE PASEO DE COLINAS TOWNHOME PROJECT. THESE STAIRS ARE CLOSED AND WILL REMAIN CLOSED.

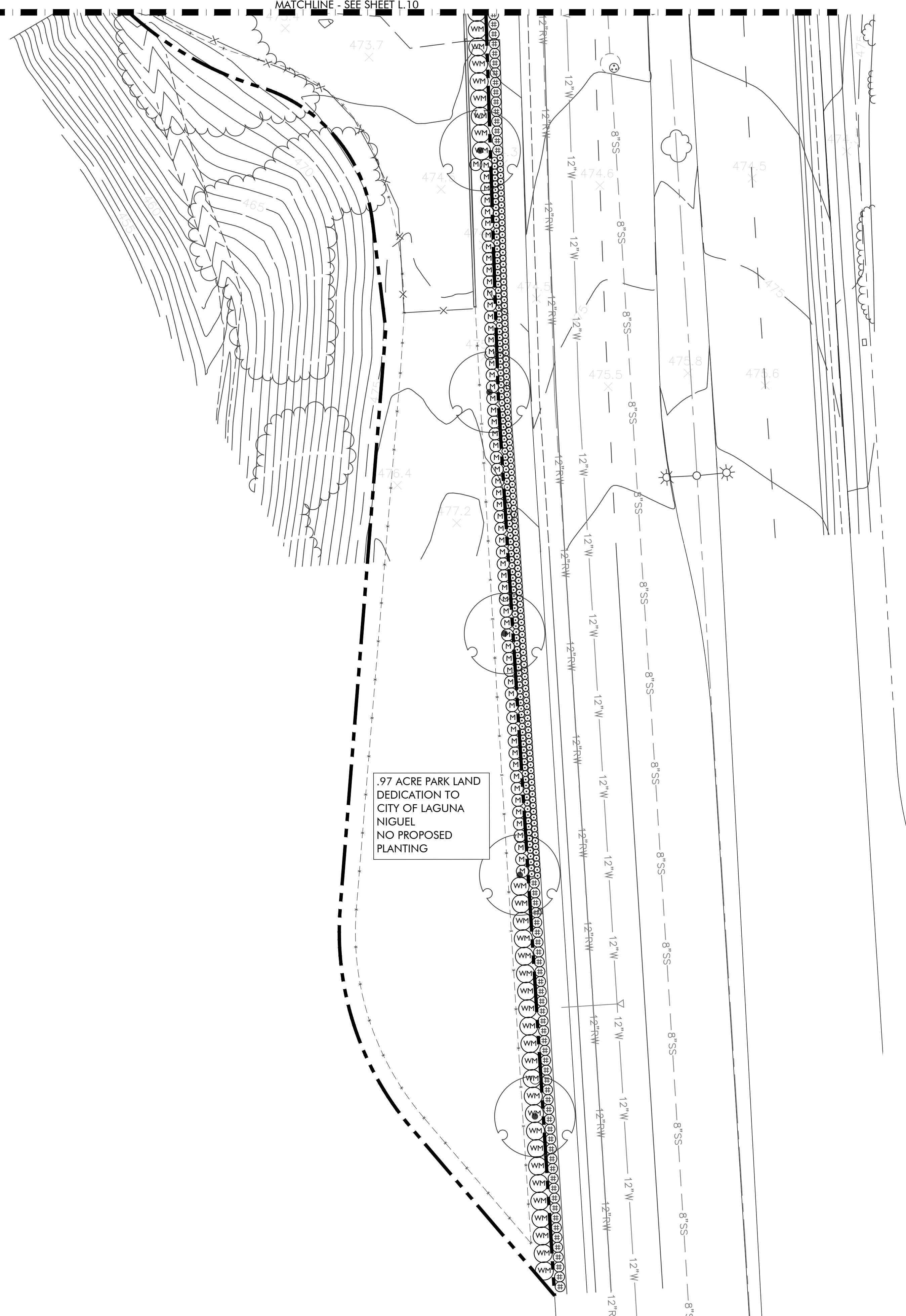
STAIRS

SYN. TURF

8" SS

8" W

8"



REFERENCE NOTES:

- FOR TREE PLANS SEE SHEETS L.6
- FOR PLANTING DETAILS SEE SHEET L.8
- FOR GENERAL PLANTING SPECIFICATIONS SEE SHEET L.9
- FOR TREE WATER USE, and UTILITY NOTES, SEE SHEET L.7
- FOR WATER EFFICIENCY LANDSCAPE ORDINANCE STATEMENT, SEE SHEET L.6
- FOR GENERAL PLANTING NOTES, SEE SHEET L.8

OCFA PLANT SPECIES NOTE:

ALL LANDSCAPE AREAS SHALL BE DEVOID OF PLANT MATERIAL FROM OCFA ATTACHMENT 7, "UNDESIRABLE PLANT SPECIES LIST"

SHRUB PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	WUCOLS	QTY
SHRUBS				
	AGAVE ATTENUATA FOXTAIL AGAVE	15 GAL	LOW	42
	ALOE ARBORESCENS 'SPINELESS' SPINELESS TORCH ALOE	24" BOX	LOW	11
	ALYOGYNE HUEGELII BLUE HIBISCUS	15 GAL	LOW	2
	CARISSA MACROCARPA 'TOMLINSON' GREEN CARPET NATAL PLUM	5 GAL	LOW	44
	CHONDROPETALUM TECTORUM 'EL CAMPO'	5 GAL	LOW	19
	EL CAMPO CAPE RUSH			
	CISTUS SALVIIFOLIUS 'PROSTRATUS' SAGELEAF ROCKROSE	5 GAL	LOW	35
	CISTUS X HYBRIDUS WHITE ROCKROSE	5 GAL	LOW	54
	CORREA PULCHELLA 'PINK EYRE' PINK EYRE AUSTRALIAN FUCHSIA	5 GAL	LOW	85
	DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY	5 GAL	LOW	697
	DIETES GRANDIFLORA FORTNIGHT LILY	5 GAL	LOW	146
	FURCRAEA FOETIDA MAURITIUS HEMP	15 GAL	LOW	6
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	5 GAL	LOW	66
	LEUCOPHYLLUM F. 'GREEN CLOUD' TM GREEN CLOUD TEXAS RANGER	5 GAL	LOW	26
	LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET - HEDGE	5 GAL	MODERATE	15
	MUHLENBERGIA CAPILLARIS MUHLY GRASS	5 GAL	LOW	274
	MYOPORUM PARVIFOLIUM 'PUTAH CREEK' PUTAH CREEK MYOPORUM	1 GAL	LOW	18
	OLEA EUROPAEA 'LITTLE OLLIE' TM LITTLE OLLIE OLIVE	5 GAL	LOW	76
	PHLOMIS FRUTICOSA JERUSALEM SAGE	5 GAL	LOW	10
	PITTOSPORUM TENUIFOLIUM 'GOLF BALL' GOLF BALL TAWHIWHI	5 GAL	MODERATE	54
	ROSMARINUS O. 'HUNTINGTON CARPET' HUNTINGTON CARPET ROSEMARY	5 GAL	LOW	420
	SENECIO SERPENS BLUE FINGER	5 GAL	LOW	308
	STRELITZIA REGINAE BIRD OF PARADISE	15 GAL	MODERATE	71
	WESTRINGIA FRUTICOSA 'SMOKEY' SMOKEY WESTRINGIA	5 GAL	LOW	7
	WESTRINGIA FRUTICOSA 'WES05' TM MUNDI COAST ROSEMARY	5 GAL	LOW	69
SYMBOL	BOTANICAL / COMMON NAME	CONT	WUCOLS	QTY
GROUND COVERS				
	CAREX TUMULICOLA FOOTHILL SEDGE	1 GAL	LOW	45
	TEUCRIUM CHAMAEDRYS GERMANDER	1 GAL	LOW	309

QUANTITIES NOTE:

CONTRACTOR TO NOTE THAT THE QUANTITIES ON LEGEND AND PLANT CALLOUTS HAVE BEEN PROVIDED FOR QUICK REFERENCE ONLY. IT IS RECOMMENDED THAT THE CONTRACTOR NOT RELY ON THE ACCURACY OF THESE QUANTITIES AND PROVIDE THEIR OWN PLANT MATERIAL COUNTS AT THE TIME OF PREPARING BID. ANY DISCREPANCY IN THE PLANT QUANTITIES AND SIZES SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.

SHRUB WATER USE NOTE:

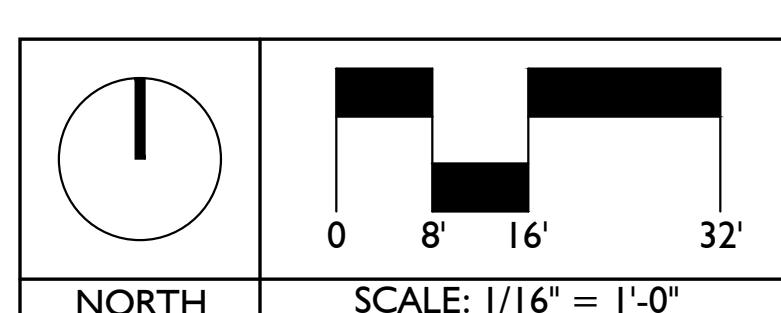
TOTAL WATER USE NOTE:		
TOTAL # OF SHRUBS:	2,208	100%
TOTAL # OF WUCOLS		
'MODERATE' WATER USE SHRUBS:	146	7%
TOTAL # OF WUCOLS		
'LOW' WATER USE SHRUBS:	2,062	93%

MULCH NOTE

ALL SHRUB AREAS TO RECEIVE MINIMUM 3" THICK "FOREST FLOOR" MULCH BY AGUINAGA GREEN. 877.OC.MULCH

LACUNA NUCLEI PLANTING NOTE:

MINIMUM TREE/SHRUB SIZES, PERCENTAGES, AND PLACEMENT
SHALL BE MET PURSUANT TO LNZC 9.1.92.3i



Issued for:	
02/17/23	SUBMITTAL #5
05/17/23	SUBMITTAL #6
06/12/23	SUBMITTAL #7
02/12/24	SUBMITTAL #8
03/01/24	SUBMITTAL #9



LANDSCAPE
ARCHITECTURE

Project:

PASEO DE COLINAS TOWNHOMES

LAGUNA NIGUEL, CA
SITE DEVELOPMENT
PERMIT #SP20-02

PROJECT DIMENSIONS

4 PARK PLAZA,
SUITE 700
IRVINE, CA 92614

Job No: _____

Drawn By: MO, PH _____

Checked By: MS _____

Plot Date: 03/01/2024 _____

Scale: 1/16"=1'-0" _____

Title: _____

SHRIB PLAN

Sheet No.:

L.11

Issued for:
 05/17/23 SUBMITTAL #6
 06/12/23 SUBMITTAL #7
 02/12/24 SUBMITTAL #8
 03/01/24 SUBMITTAL #9
 05/13/24 REVISED SUBMITTAL #9

Revisions:
 [Blank lines]



Project:
PASEO DE COLINAS TOWNHOMES
 LAGUNA NIGUEL, CA
 SITE DEVELOPMENT PERMIT #SP20-02

Client Representative:
PROJECT DIMENSIONS
 4 PARK PLAZA, SUITE 700
 IRVINE, CA 92614

Stamp:
 [Blank lines]

Job No:
 Drawn By: MO, PH
 Checked By: MS
 Plot Date: 05/13/2024
 Scale: -

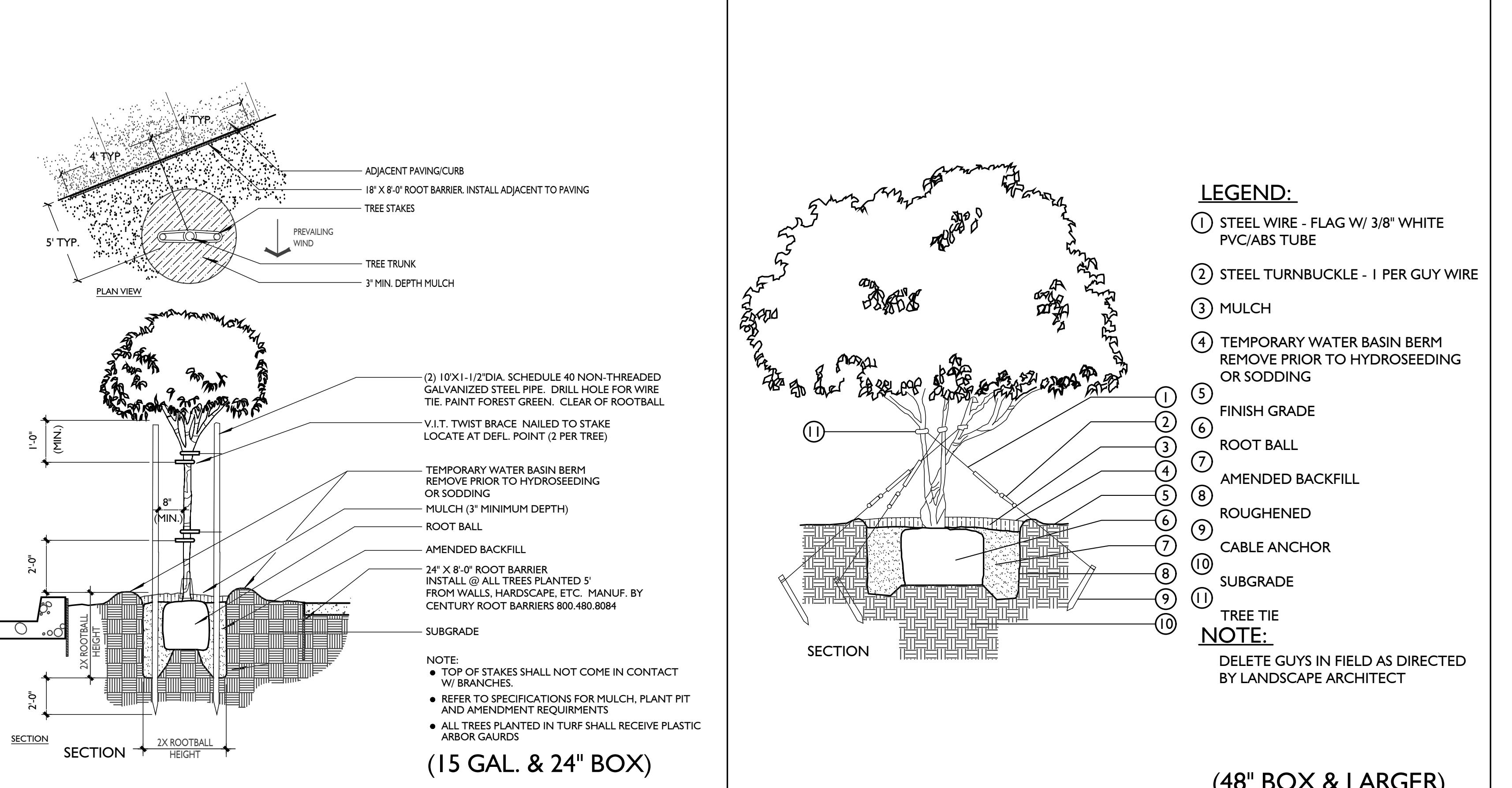
Title:
PLANTING DETAILS AND GENERAL PLANTING NOTES

Sheet No.: **L.12**

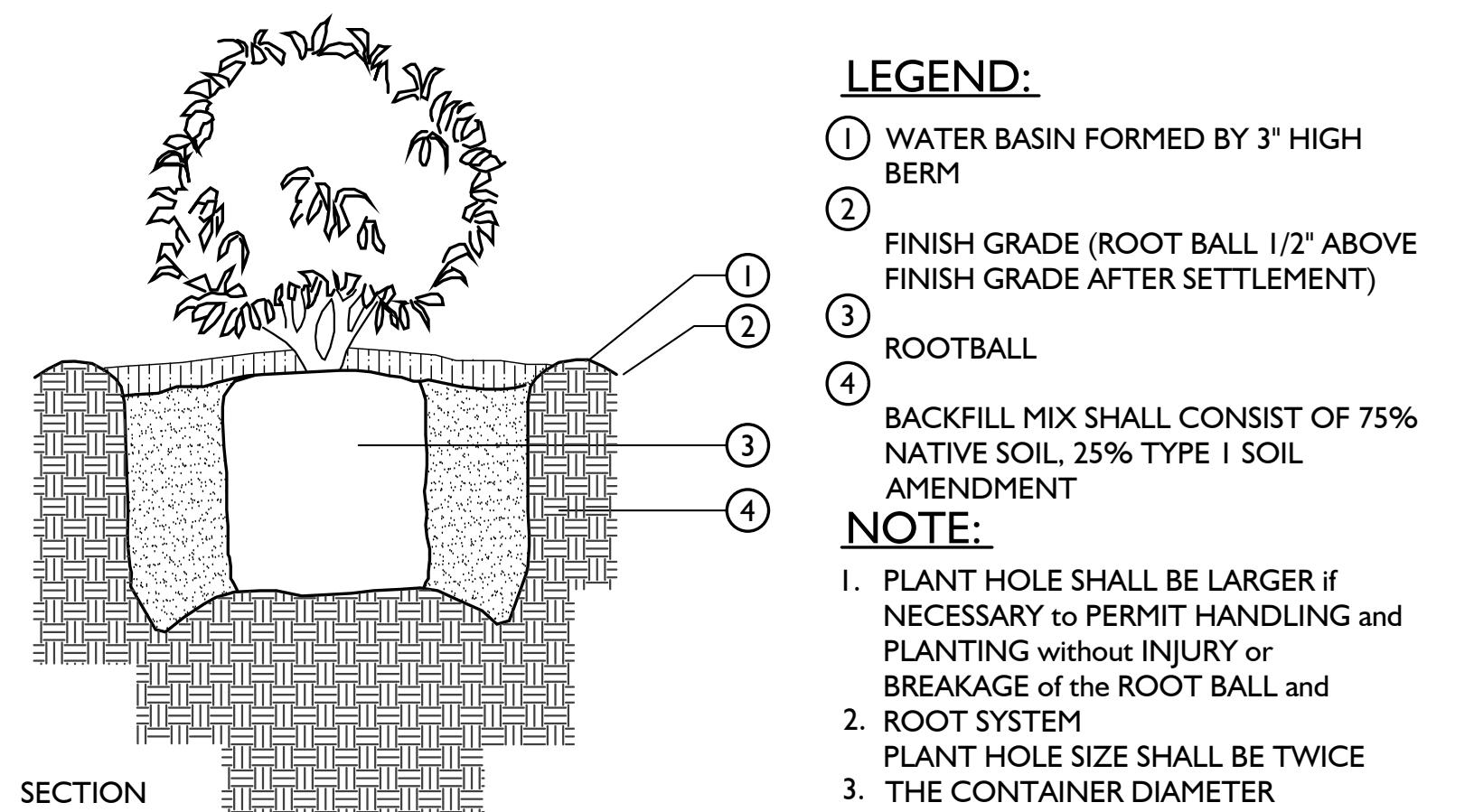
Plan Status:
SITE DEVELOPMENT PERMIT

GENERAL PLANTING NOTES:

- PRIOR TO ANY FINE GRADING OR PLANTING, CONTRACTOR SHALL OBTAIN AGRONOMIC SOIL REPORTS AND SOIL AMENDMENT RECOMMENDATIONS PER SPECIFICATIONS, WHICH SHALL SUPERSEDE THOSE WITHIN THE SPECIFICATIONS. SEE NOTE ABOVE FOR LOCATIONS.
- LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN 1 WEEK PRIOR TO ANTICIPATED DELIVERY DATE.
- CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER "START OF MAINTENANCE" PERIOD.
- CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREE AND PALM MATERIAL FOR 12 MONTHS (1 YEAR).
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT PRIOR TO INSTALLATION.
- NO TREES SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- TREES SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.
- NO SHRUBS OR TREES SHALL BE PLANTED THAT WILL CREATE A VISUAL OBSTRUCTION TO SIGHT LINE OF VEHICLE TRAFFIC.
- TREES PLANTED IN LANDSCAPE AREAS OF LESS THAN 5' IN WIDTH SHALL BE INSTALLED WITH APPROVED ROOT BARRIERS.
- ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL.

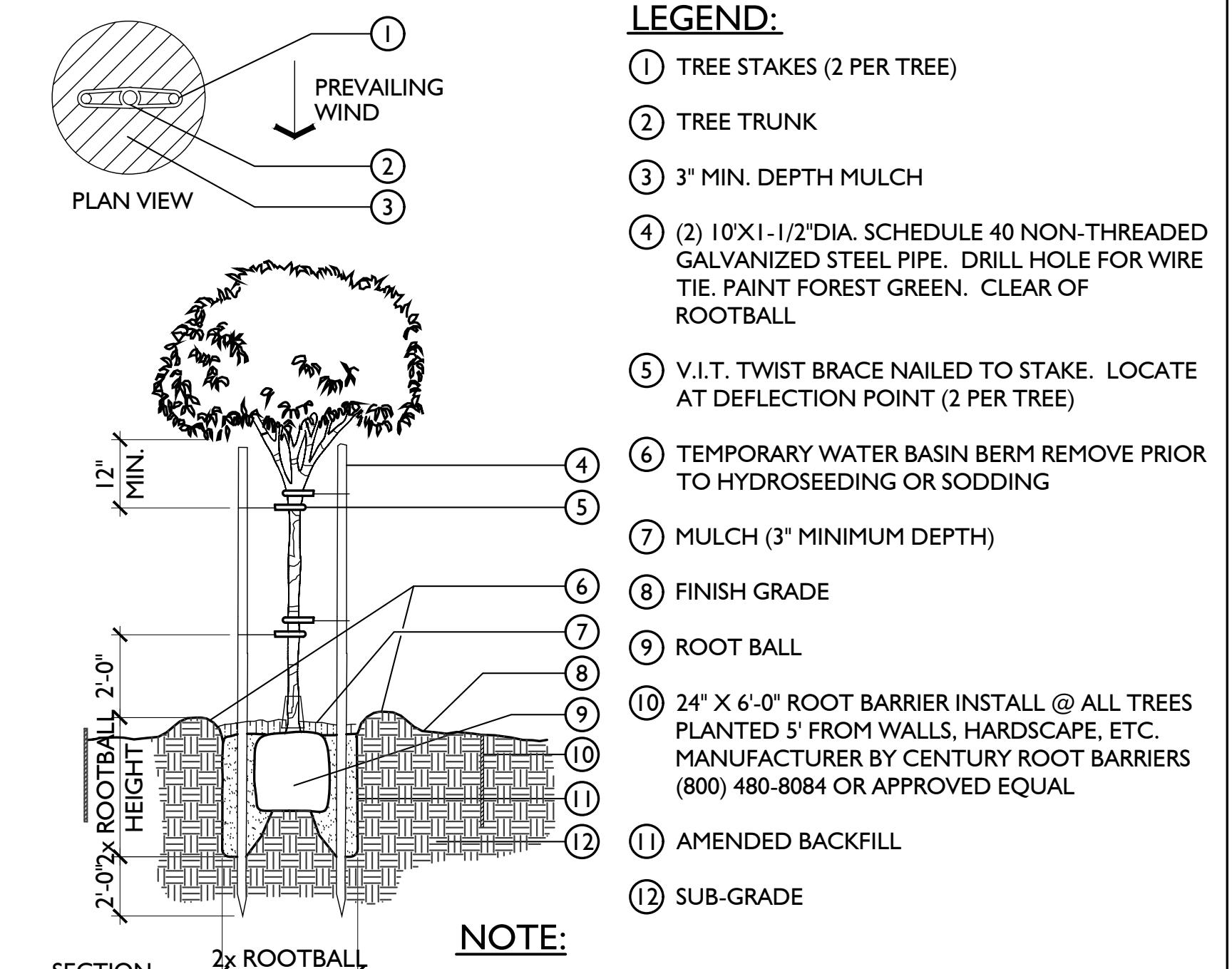


(C) TREE PLANTING (STAKING) Scale: N.T.S. PLT-SLS



(D) SHRUB PLANTING Scale: N.T.S. PLT-SHS

(A) TREE PLANTING (GUYING) Scale: N.T.S. PLT-GUY



(B) TREE PLANTING (DBL. STAKING) Scale: N.T.S. PLT-DSS

A. GENERAL NOTES

- BIDDING IT SHALL BE THE OWNER'S RESPONSIBILITY IN INVITING AND OBTAINING BIDS, SETTING ITS PROVISIONS AND INSTRUCTIONS TO BIDDERS, SECURING THEIR BONDS AND WORKERS COMPENSATION INSURANCE CERTIFICATES, ETC. TO FULLY ENSURE THE QUALITY AND TIMELY COMPLETION OF THE PROJECT.
- SCOPE OF WORK: CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO FURNISH AND INSTALL A COMPLETE ALL LANDSCAPING PER THE DRAWINGS AND SPECIFIED WITHIN.
- PLAN VERIFICATION: THESE DOCUMENTS MAY CONTAIN ERRORS, OMISSIONS, CONTRADICTIONS, ETC. THE OWNER SHALL REVIEW THESE DOCUMENTS THOROUGHLY AND SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER IMMEDIATELY UPON ANY SUCH DISCOVERY OF DISCREPANCY. GOVERNING CODES SHALL THEN APPLY.
- LICENSE: THE CONTRACTOR SHALL BE A C-27 CALIFORNIA STATE LICENSED LANDSCAPE CONTRACTOR.
- ORDINANCES AND REGULATIONS: ALL LANDSCAPE PLANTING WITHIN THESE DRAWINGS AND SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES (LOCAL, COUNTY & STATE).
- PERMITS AND INSPECTIONS: THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ALL PERMITS, FEES AND AGENCY INSPECTIONS AS REQUIRED.
- FIELD VERIFICATION: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCY UPON ANY DISCOVERY OF DISCREPANCIES. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- LIABLE FOR ENCROACHMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENCROACHMENT ONTO ADJACENT PROPERTY, SET-BACKS, OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED.
- METHODS OF CONSTRUCTION: THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, MEANS, SEQUENCES, PROCEDURES AND TECHNIQUES. THE LANDSCAPE ARCHITECTURAL FIRM IS NOT LIABLE FOR CONSTRUCTION METHODS.
- SAFETY: THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS DURING CONSTRUCTION.
- UTILITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, ELECTRICAL CABLES, CONDUITS, AND IRRIGATION LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH IMPROVEMENTS.
- INSURANCE: THE CONTRACTOR SHALL OBTAIN (AND KEEP IN FORCE DURING THE PERIOD OF THE CONTRACT) PUBLIC LIABILITY, WORKMAN'S COMPENSATION AND PROPERTY DAMAGE INSURANCE, AS REQUIRED BY ALL APPLICABLE CODES AND REGULATIONS.
- LIABLE FOR DAMAGE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY ITS OPERATIONS TO UTILITIES, EXISTING PLANTING, CONSTRUCTION, PERSONS, PROPERTY, ETC. AND SHALL PROVIDE PROTECTIVE MEANS TO GUARD AGAINST DAMAGE.
- COORDINATION: CONTRACTOR SHALL COORDINATE ALL LANDSCAPE CONSTRUCTION WITH APPROPRIATE TRADES THROUGH THE OWNER BEFORE STARTING WORK.
- PLANTING PLANS: THE PLANTING PLANS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS DURING INSTALLATION TO AVOID CONFLICTS BETWEEN EXISTING IRRIGATION, EXISTING PLANTING, ARCHITECTURAL FEATURES AND UTILITIES.
- DIMENSIONS: ALL SCALE DIMENSIONS ARE APPROXIMATE. WRITTEN DIMENSIONS ON DETAILS AND PLANS TAKE PREFERENCE OVER SCALED DIMENSIONS.
- PLANTING NOTES: SEE GENERAL NOTES ON THE DRAWINGS FOR ADDITIONAL WORK REQUIRED, BUT NOT SPECIFICALLY MENTIONED IN THESE SPECIFICATIONS. ALL WORK CALLED FOR ON THE DRAWINGS BY NOTES SHALL BE FURNISHED AND INSTALLED WHETHER OR NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS AND/OR DETAILS.
- MATERIALS: ALL MATERIALS AND EQUIPMENT SPECIFIED IN THESE DRAWINGS SHALL BE NEW AND IN PERFECT CONDITION OR THE BEST GRADE OF THEIR RESPECTIVE KINDS WHERE INSTALLED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- SUBSTITUTIONS: DESIGN, MATERIAL, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED OR INDICATED ON DRAWINGS MAY BE CONSIDERED FOR USE. WRITTEN APPROVAL FOR SUBSTITUTIONS SHALL BE OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS SHALL CONFORM TO LOCAL CODES AND ORDINANCES. ANY EQUIPMENT OR MATERIALS INSTALLED WITHOUT APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT MAY BE REJECTED AND REMOVED AT CONTRACTOR'S EXPENSE.
- NOTICE OF COMPLETION: THE COMPLETION OF THE CONTRACT SHALL BE ACCEPTED, AND NOTICE OF COMPLETION RECORDED ONLY WHEN THE ENTIRE CONTRACT IS COMPLETED TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- SITE MAINTENANCE: CONTRACTOR SHALL KEEP THE PROJECT SITE CLEAN AND FREE FROM RUBBISH AND DEBRIS. ALL DEBRIS SHALL BE REMOVED FROM SITE PER LOCAL CODE AND ORDINANCES.
- MAINTENANCE INSTRUCTIONS: AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL INSTRUCT THE OWNER'S AUTHORIZED REPRESENTATIVE ON HOW TO PROPERLY MAINTAIN AND CARE FOR LANDSCAPE PLANTINGS.
- GUARANTEE: THE ENTIRE LANDSCAPE INCLUDING ALL WORK DONE UNDER THIS CONTRACT, SHALL BE GUARANTEED AGAINST ALL DEFECTS AND FAULT OF MATERIAL AND WORKMANSHIP, AND SHALL BE IN PERFECT WORKING ORDER FOR 90 DAYS FROM DATE OF COMPLETION BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER. TREES SHALL BE GUARANTEED FOR ONE (1) YEAR. ALL MATERIALS USED SHALL CARRY A MANUFACTURER'S GUARANTEE OF MINIMUM ONE (1) YEAR. ANY SETTLING OF TREE/SHRUB WELLS WHICH MAY OCCUR DURING THE 90 DAY PERIOD FINAL

B. FIELD OBSERVATIONS

- REQUIRED FIELD OBSERVATION WORK THESE PLANS WERE PREPARED WITH THE UNDERSTANDING THAT THE OWNER OF SAID PLANS WILL USE PROFESSIONAL DESIGN ASSOCIATES TO PROVIDE FULL CONTRACT SERVICES INCLUDING FIELD OBSERVATION SERVICES DURING CONSTRUCTION. FAILURE TO USE THESE SERVICES WILL NOT EXCUSE THE CONTRACTOR FROM PROVIDE AND COMPLETE THE FIELD OBSERVATION SERVICES SET FORTH HEREIN WILL SIGNIFICANTLY INCREASE THE MISINTERPRETATION OF THE INTENT OF THE DESIGN. ANY UNAUTHORIZED MODIFICATIONS THERETO, AND FAILURE TO DETECT ERRORS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS CAN BECOME COSTLY MISTAKES BUILT INTO THE PROJECT. THEREFORE, IN THE EVENT THAT PROFESSIONAL DESIGN ASSOCIATES IS OTHERWISE PRECLUDED FROM CONDUCTING FIELD OBSERVATION SERVICES SET FORTH HEREIN, THE OWNER, OR SUBSEQUENT OWNER (INDIVIDUALS OR CORPORATIONS WHO HAVE PURCHASED THESE PLANS WITH THE PROJECT), AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND PROFESSIONAL DESIGN ASSOCIATES AND THEIR CONSULTANTS FROM AND AGAINST ANY AND ALL CLAIMS.
- FIELD OBSERVATION COORDINATION: THE FOLLOWING OBSERVATIONS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT), THE CONTRACTOR SHALL NOTIFY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT NOT LESS THAN FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY OBSERVATION. CONTINUE WORK WITHOUT OBSERVATION OF ANY REQUIRED CHANGES OR MODIFICATIONS TO BE AT THE CONTRACTOR'S EXPENSE. THE OWNER (JOB SUPERINTENDENT) SHALL INFORM THE LANDSCAPE ARCHITECT AS TO THE PURPOSE AND TIME OF THE OBSERVATION FORTY-EIGHT (48) HOURS IN ADVANCE.
- CLOSING OF NOT INSPECTED WORK: THE CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF THE WORK TO BE COVERED OR ENCLOSED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED BY THE CONSULTING ENGINEER OR AUTHORIZED REPRESENTATIVE. IF NOT INSPECTED, THE CONTRACTOR, UPON PAYING JURISDICTION OVER THE WORK, SHOULD ANY OF THE WORK BE ENCLOSED OR COVERED BEFORE SUCH INSPECTION AND TEST, HE SHALL UNCOVER HIS WORK AT HIS OWN EXPENSE. AFTER IT HAS BEEN INSPECTED, TESTED AND APPROVED, THE CONTRACTOR SHALL MAKE ALL REPAIRS NECESSARY TO THE OWNER'S SATISFACTION.
- JOB SITE MEETINGS AND REQUIRED INSPECTIONS:
 - PRE-JOB MEETING ON SITE - PRIOR TO COMMENCEMENT OF WORK
 - DURING SOIL PREPARATION
 - AT COMPLETION OF SOIL PREPARATION
 - COMPLETION OF WEED CONTROL
 - PLANT MATERIAL INSPECTION
 - GRADING CHECK PRIOR TO GROUND COVER
 - PROGRESS/INSTALLATION INSPECTION
 - H. COMPLETION OF PLANTING
 - I. 30, 60, & 90-DAY MAINTENANCE INSPECTIONS
- COMPLETION: WORK SHALL BE COMPLETED UPON FINAL APPROVAL BY OWNER AND LANDSCAPE ARCHITECT. A FINAL INSPECTION SHALL BE HELD UPON THE COMPLETION OF THE WORK PROVIDING THE CONTRACTOR HAS COMPLETED THE INSTALLATION OF ALL PHASES OF THE CONTRACT AND CONFORMED TO ALL REQUIREMENTS OF THESE SPECIFICATIONS.

C. LANDSCAPE GRADING NOTES

- SITE PREPARATION: THE CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS, DEBRIS, AND OTHER EXTRANEous MATERIALS FROM THE SITE PRIOR TO PROCEEDING WITH ANY WORK.
- SOIL PREPARATION: ALL SOIL PREPARATION SHALL BE INSTALLED AS PER THE SOIL AGRONOMY REPORT TO BE PROVIDED AND PAID FOR BY THE OWNER. SOILS REPORT SHALL CONTAIN FULL SOIL AMENDMENT RECOMMENDATIONS. THE REPORT SHALL BE IMMEDIATELY FORWARDED TO THE LANDSCAPE ARCHITECT UPON COMPLETION.
- SOIL AMENDMENTS: THE SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. THE OWNER SHALL PROVIDE FOR A SOILS AGRONOMY REPORT FROM AN APPROVED SOILS LABORATORY AND/OR ANY ADDITIONAL SPECIFICATION PROVIDED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS.
- CULTIVATION DEPTH: ALL LANDSCAPE AREAS SHALL BE CULTIVATED TO A DEPTH OF 6".
- AMENDMENT MIX: INCORPORATE THE FOLLOWING SOIL AMENDMENTS, OR PER SOILS REPORT, IN THE UPPER 6" OF ALL TILLING OR DUSKING UNTIL ALL POCKETS AND LAYERS OF SOIL AND SOIL CONDITIONERS ARE ELIMINATED.
 - REDWOOD SHAVINGS 6 YARDS PER 1000 SQ. FT.
 - COMMERCIAL FERTILIZER 20 LBS. PER 1000 SQ. FT.
 - GYPSUM 100 LBS. PER 1000 SQ. FT.
- FINISH GRADE: FINISH GRADES SHALL BE THOSE INDICATED ON THE DRAWINGS OR AS MAY BE CONTROLLED BY EXISTING INSTALLATIONS. GRADES NOT OTHERWISE INDICATED SHALL BE DETERMINED BY STRAIGHT LINES BETWEEN POINTS WHERE ELEVATIONS ARE STATED. HIGH GRADES SHALL BE SMOOTH AND EVEN OF A UNIFORM PLANE WITH AN ABRUPT CHANGES IN THE SURFACE. MINOR MODELING OF THE GROUND SURFACE MAY BE REQUIRED. GRADES SHALL PROVIDE FOR THE NATURAL RUN-OFF OF WATER WITHOUT LOW SPOTS OR POCKETS. FLOW LINES SHALL BE SET BY INSTRUMENT AND SHALL BE THE MAXIMUM GRADIENT POSSIBLE.
- DRAINAGE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE IN ALL PLANTING AREAS IN ACCORDANCE WITH THE PLANS, DETAILS AND SPECIFICATIONS OR AS SPECIFIED BY THE OWNER.
- FINISH GRADE AT TURF AREAS: FINISH GRADE OF ALL TURF AREAS SHALL BE ONE INCH BELOW THE GRADE OF ADJACENT WALKS, PAVEMENTS, CURBS, ETC.
- FINISH GRADE AT SHRUB AREAS: FINISH GRADE OF ALL SHRUBBRY AND GROUND COVER AREAS SHALL BE TWO INCHES BELOW THE GRADE OF ADJACENT WALKS, PAVEMENTS, CURBS, ETC., EXCEPT WHERE WATER FLOWS ACROSS SAME.

D. MATERIAL NOTES

- GENERAL: THE FOLLOWING LIST COMPRISSES THE PRINCIPLE MATERIALS BUT DOES NOT SET THE LIMITATION FOR MATERIALS REQUIRED. IT SHALL BE UP TO THE CONTRACTOR TO SHOW THAT AMple QUANTITIES OF THE REQUIRED MATERIALS WERE USED AND INSTALLED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- SCOPE OF WORK: WORK SHALL CONSIST OF FURNISHING ALL MATERIALS, SERVICES AND EQUIPMENT NECESSARY TO COMPLETELY INSTALL ALL LANDSCAPE WORK AS INDICATED ON THE DRAWINGS AND HEREIN SPECIFIED.
- PLANT MATERIALS: ALL PLANTS SHALL BE HEALTHY, WELL ESTABLISHED NURSERY STOCK, FREE FROM INSECTS AND THEIR EGGS AND DISEASES. PLANTS SHALL BE FURNISHED IN THE QUANTITIES REQUIRED TO COMPLETE THE WORK AS INDICATED ON THE DRAWINGS AND SHALL BE OF THE SPECIES AND SIZES INDICATED ON THE PLANT LIST. ALL PLANTS SHALL BE INSPECTED AND APPROVED PRIOR TO PLANTING.
- REJECTION OF PLANT MATERIAL: THE OWNER OR LANDSCAPE ARCHITECT MAY REJECT ANY PLANT MATERIAL REGARDED AS UNSUITABLE AT ANY TIME AT NO ADDITIONAL COST TO THE OWNER.
- HANDLING/STORAGE: ALL PLANTS SHALL BE HANDLED AND STORED SO THEY ARE ADEQUATELY PROTECTED FROM DRYING OUT, SUN, WIND BURN, VANDALISM OR ANY OTHER INJURY.
- TREE TAGGING: ALL SPECIMEN TREES CALLED OUT ON PLAN TO BE TAGGED SHALL BE SELECTED BY LANDSCAPE ARCHITECT.
- TREE STAKES AND GUYS: TREE STAKES SHALL BE SCH 40 NON-TREDDLED GALVANIZED PIPE. FURNISH AND INSTALL AS INDICATED ON DETAILS.
- TREE TIRES: SHALL BE FLEXIBLE NON-DETERIORATING SELF-FASTENING BLACK VINYL TREE TIRES OF THE SIZES REQUIRED TO PROPERLY SUPPORT TREES. "CINCH TIRES" OR EQUAL.
- ROOT BARRIERS: CONTRACTOR SHALL INSTALL APPROVED ROOT BARRIERS ON ALL TREES WITHIN FIVE (5) FEET OF HARDCAPE, STRUCTURES, ETC.
- SOD: SOD VARIETY SHALL BE PER PLANS. SOD SHALL BE SUPPLIED BY PACIFIC SOD OR APPROVED EQUAL, PURCHASED FROM A RECOGNIZED TURF NURSERY, FIRST QUALITY, FRESH AND CLEAN.
- AGRIFORM PLANTING TABLETS: SHALL BE 20-10-5 ANALYSIS PROLONGED RELEASE NITROGEN. 1 PER 1 GALLON, 2 PER 5 GALLON, 4 PER 15 GALLON, AND 6 PER BOX FOR SPECIMENS LARGER THAN 15 GALLON OR PER DRAWINGS.
- COMMERCIAL FERTILIZER: SHALL BEAR THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS ND SHALL BE CONTROLLED RELEASE TYPE FERTILIZER WITH THE FOLLOWING MINIMUM REQUIREMENTS:
 - 16% NITROGEN - 7% PHOSPHORIC ACID - 12% POTASH (+ IRON)
- REDWOOD SHAVINGS: SHALL BE PURE REDWOOD SAWDUST AND SHAVINGS OR NITROGEN FORTIFIED FIR RESULTING FROM MILLING OPERATIONS AND SHALL NOT CONTAIN STICKS, BLOCKS OF WOOD, OR OTHER FOREIGN MATTER. SOURCES OF SHAVINGS SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- SOIL SULFUR: STANDARD COMMERCIAL BRAND, GUARANTEED ANALYSIS OF 9% SULFUR (EXPRESSED AS ELEMENTAL) SUPPLIED IN UNOPENED BAGS WITH ANALYSIS ATTACHED.
- BONE MEAL: SHALL BE FINE GROUND, STEAMED, DRY MATERIAL WITH A MINIMUM ANALYSIS OF 1% NITROGEN - 30% PHOSPHORIC ACID - 65.5% UNDILUTED BONE.
- SAMPLES: SAMPLES OF REDWOOD SHAVINGS, STEER MANURE, FERTILIZER AND SEED SHALL BE SUBMITTED FOR APPROVAL AND SHALL BE STORED ON THE SITE UNTIL FURNISHING OF MATERIALS IS COMPLETED.
- CERTIFICATES: CERTIFICATES FOR EACH DELIVERY OF BULK MATERIAL SHALL BE FURNISHED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR. CERTIFICATES SHALL STATE THE SOURCE, QUANTITY AND TYPE OF MATERIAL AND DATE AND ADDRESS OF THE LOCATIONS IT WAS DELIVERED TO.

E. TREE AND SHRUB PLANTING NOTES

PLANT DEPTH: PLANT ALL PLANTS AT THEIR NATURAL GROWING DEPTH PER DETAIL, IN THE LOCATIONS SHOWN ON THE DRAWINGS.

EXCAVATED PITS: EXCAVATE PITS WITH SQUARE AND VERTICAL SIDES, 2 TIMES THE DIAMETER, AND 12" GREATER IN DEPTH THAN THE SIZE OF THE PLANT CONTAINER.

BACKFILL MIXTURE: BACKFILL TO BOTTOM OF ROOT BALL WITH PREPARED BACKFILL MIXTURE, TAP FIRMLY. SET PLANT IN CENTER OF PIT IN A VERTICAL POSITION, CROWN LEVEL WITH FINISH GRADE. BACKFILL BALANCE OF PIT WITH THE FOLLOWING PREPARED MIXTURE OR PER SOILS REPORT:

- 10 PARTS TOP SOIL
- 5 PARTS REDWOOD SHAVINGS
- 1/4 LB. BONE MEAL
- AGRIFORM PLANT TABLETS, 1 PER GALLON, 2 PER 5 GALLON, 4 PER 15 GALLON, AND 6 PER BOX FOR SPECIMENS LARGER THAN 15 GALLON.

TREE LOCATIONS: TREE LOCATIONS TAKE PREFERENCE OVER IRRIGATION LINES. CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NECESSARY.

WATER BASIN: CONSTRUCT A SIX INCH DEEP WATER BASIN, MULCH WITH A TWO INCH LAYER OF REDWOOD SHAVINGS, AND WATER THOROUGHLY, BACKFILLING WITH ADDITIONAL MIX WHERE VOIDS APPEAR.

TREE STAKES: ALL NURSERY STAKES SHALL BE REMOVED AND ALL TREES SHALL BE INSTALLED WITH SCH 40 STAKES DRIVEN 3 FEET INTO THE GROUND. TREE STAKES SHALL NOT PIERCE THE ROOTBALL AND NOT INJURE TREE ROOTS. SEE TREE PLANTING DETAILS.

TREE TIRES: TREE TIRES SHALL BE FASTENED TO THE TREE AND STAKE BY LOOPING THE TIRES IN FIGURE 8'S WITH THE INSIDE OF THE TREE TRUNK. FASTEN TIE TO THE STAKE WITH ONE GALVANIZED ROOFING NAIL.

DEFECTS: ALL DEFECTS IN TREE AND SHRUB PLANTING SHALL BE CORRECTED THROUGH THE GUARANTEE PERIOD SPECIFIED HEREIN AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

F. MAINTENANCE NOTES

- MAINTENANCE PERIOD: THE MAINTENANCE PERIOD SHALL BE FOR 90 CALENDAR DAYS BEGINNING ON THE DAY OF THE CHECK INSPECTION AFTER ALL WORK HAS BEEN INSTALLED AND APPROVED BY THE LANDSCAPE ARCHITECT. THE MAINTENANCE PERIOD MAY BE EXTENDED TO INCLUDE ANY ADDITIONAL TIME THAT MAY BE REQUIRED TO MEET THE REQUIREMENTS OF THE WORK SPECIFIED.
- GENERAL: THE GENERAL CARE AND MAINTENANCE OF ALL AREAS SHALL CONSIST OF PROPER WATERING, FERTILIZATION, WEEDING, RODENT CONTROL, CLEANUP, ETC.
- SAFETY: ALL PLANT MATERIALS SHALL BE CHECKED AND MAINTAINED AS REQUIRED IN AN ONGOING PROGRAM TO ASSURE A SAFE ENVIRONMENT.
- WATERING: WATER ALL PLANTINGS TO ASSURE COMPLETE GERMINATION OF ALL SEDED AREAS AND CONTINUED GROWTH OF THE PLANTS. AREAS THAT DO NOT HAVE ADEQUATE IRRIGATION COVERAGE OR WHICH MAY REQUIRE ADDITIONAL DEEP WATERING SHALL BE WATERED BY HAND AS REQUIRED.
- IRRIGATION COVERAGE: ADJUST ALL IRRIGATION HEADS IN EACH AREA AND ZONE OF EXPOSURE SO THAT THE OPTIMUM AMOUNT OF WATER IS APPLIED AT THE PROPER TIMES WITHOUT OVERTHROW ONTO WALLS, WALKS, ETC.
- CULTIVATING AND WEEDING: CULTIVATE AND WEED ALL PLANTED AREAS AT REGULAR INTERVALS NOT TO EXCEED 15 DAYS. EXERCISE CARE WHEN CULTIVATING TO AVOID DAMAGE TO ROOTS OF THE GROWING PLANTS.
- CHEMICAL HERBICIDES: A CERTIFIED TECHNICIAN SHALL APPLY CHEMICAL HERBICIDES TO CONTROL WEEDS AT THE OPTION OF THE CONTRACTOR AND UPON PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- PEST AND DISEASE CONTROL: A CERTIFIED TECHNICIAN SHALL SPRAY AS NECESSARY TO CONTROL ALL INFESTATIONS.
- RODENT CONTROL: THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO ELIMINATE ANY RODENTS ENCOUNTERED ON SITE.
- PRUNING: ALL PRUNING SHALL BE IN ACCORDANCE WITH ARBORIS GUIDELINES. DAMAGED, DEAD OR DRYING BRANCHES SHALL BE REMOVED BACK TO A POINT OF GROWTH.
- PLANT REPLACEMENTS: DURING THE MAINTENANCE PERIOD, SHOULD ANY PLANT SHOW WEAKNESS AND PROBABILITY OF DYING, IT SHALL BE REPLACED BY THE CONTRACTOR WITHIN 5 DAYS OF NOTIFICATION TO DO SO. AT THE END OF THE MAINTENANCE PERIOD, ALL PLANT MATERIAL SHALL BE IN A HEALTHY, GROWING CONDITION.
- CLEAN UP: DURING THE COURSE OF THE MAINTENANCE WORK, THE CONTRACTOR SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE AND SHALL MAINTAIN THE PREMISES IN A NEAT AND CLEAN CONDITION AT ALL TIMES.
- FINAL INSPECTION: WILL BE HELD AT THE END OF THE 90-DAY MAINTENANCE PERIOD.

POST INSTALLATION MAINTENANCE GUIDELINES

A SCHEDULE FOR ONGOING MAINTENANCE SHALL BE PREPARED AND SHOWN ON THE PLANTING PLAN USING THE FOLLOWING GUIDELINES.

- ANY ALTERATIONS TO THE LANDSCAPE MUST BE APPROVED BY THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT.
- CONTROL ALL HARMFUL DISEASES AND PESTS. ALL CHEMICAL APPLICATIONS MUST BE PER STATE LICENSED ADVISORS AND APPLICATIONS.
- PRUNING SHALL BE DONE TO KEEP PLANTS WITHIN SPECIAL LIMITATIONS. REMOVAL OF DEADWOOD, CROSS-BRANCHING, ETC., PER INTERNATIONAL SOCIETY OF ARBORICULTURE STANDARDS (ISA). PLANTS SHALL NEVER BE SHEARED UNLESS SPECIFIED ON THE APPROVED PLAN. TREES ARE TO BE ALLOWED TO GROW TO THE DESIGNED SIZE TO PROVIDE MAXIMUM SHADING OF PAVED AREAS.
- WATER SHALL BE APPLIED FOR OPTIMUM PLANT GROWTH WITH MINIMAL RUNOFF OR OVERSPRAY.
- ADJUST CONTROLLERS PER CURRENT CALIFORNIA IRRIGATION MANAGEMENT INFORMATION SYSTEM (CIMIS) DATE (805) 664-4921.
- ALWAYS REPLACE HEADS WITH SAME KIND OR MATCHING PRECIPITATION RATE.
- BACKFLOW DEVICE SHALL BE TESTED AND CERTIFIED ANNUALLY BY THE VENTURA COUNTY ENVIRONMENTAL HEALTH DIVISION.
- INSPECT TREE SUPPORTS FREQUENTLY AND REMOVE AS SOON AS PLANTS WILL STAND WITHOUT SUPPORT AND WILL BE ABLE TO RESIST WIND DAMAGE. NEVER ALLOW SUPPORT MATERIALS TO GIRDLE TRUNK OF BRANCHES.
- LANDSCAPE IRRIGATION SHALL BE SCHEDULED DURING THE NIGHT OR EARLY MORNING HOURS.
- A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE CHECKING, ADJUSTING, AND REPAIRING THE IRRIGATION EQUIPMENT; AERATING AND DETACHING TURF AREAS; REPLENISHING MULCH; FERTILIZATION; PRUNING, WEEDING, AND REMOVING LITTER IN ALL LANDSCAPED AREAS.

Issued for:
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06/12/23 SUBMITTAL #7
02/12/24 SUBMITTAL #8
03/01/24 SUBMITTAL #9
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Revisions:
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Project:
PASEO DE COLINAS TOWNHOMES

Client Representative:
PROJECT DIMENSIONS
4 PARK PLAZA, SUITE 700
IRVINE, CA 92614

Stamp:

Job No:
Drawn By: MO, PH
Checked By: MS
Plot Date: 05/13/2024

Scale: -

Title:
PLANTING SPECIFICATIONS

Sheet No.:

L.13
Plan Status:
SITE DEVELOPMENT PERMIT

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PROJ.#: Y1-055

STAMP:



REVISIONS:



PASEO DE COLINAS LAGUNA NIGUEL, CA

CLIENT:

PROJECT
DIMENSIONS
INC.

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IRVINE, CA 92614

SHEET TITLE:

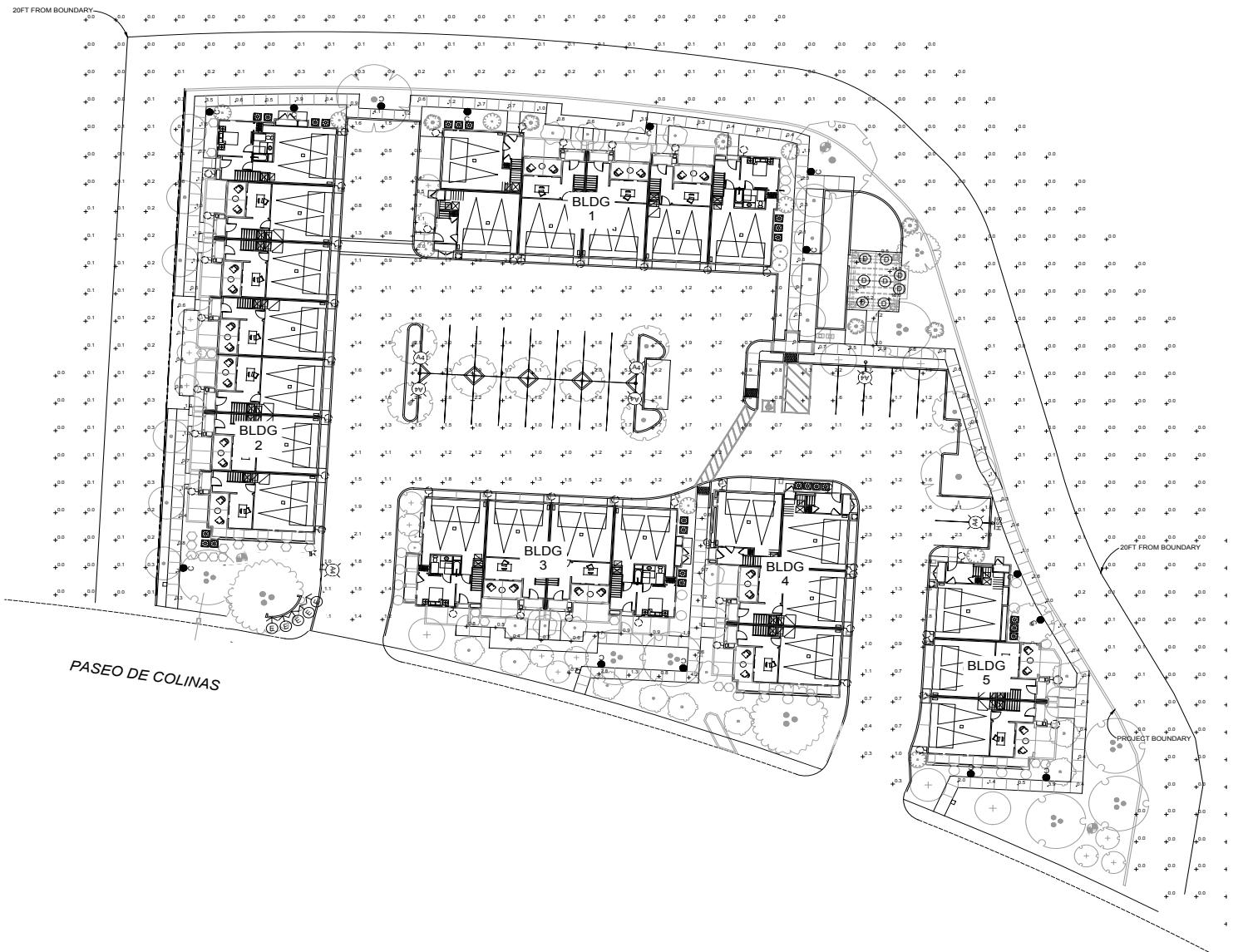
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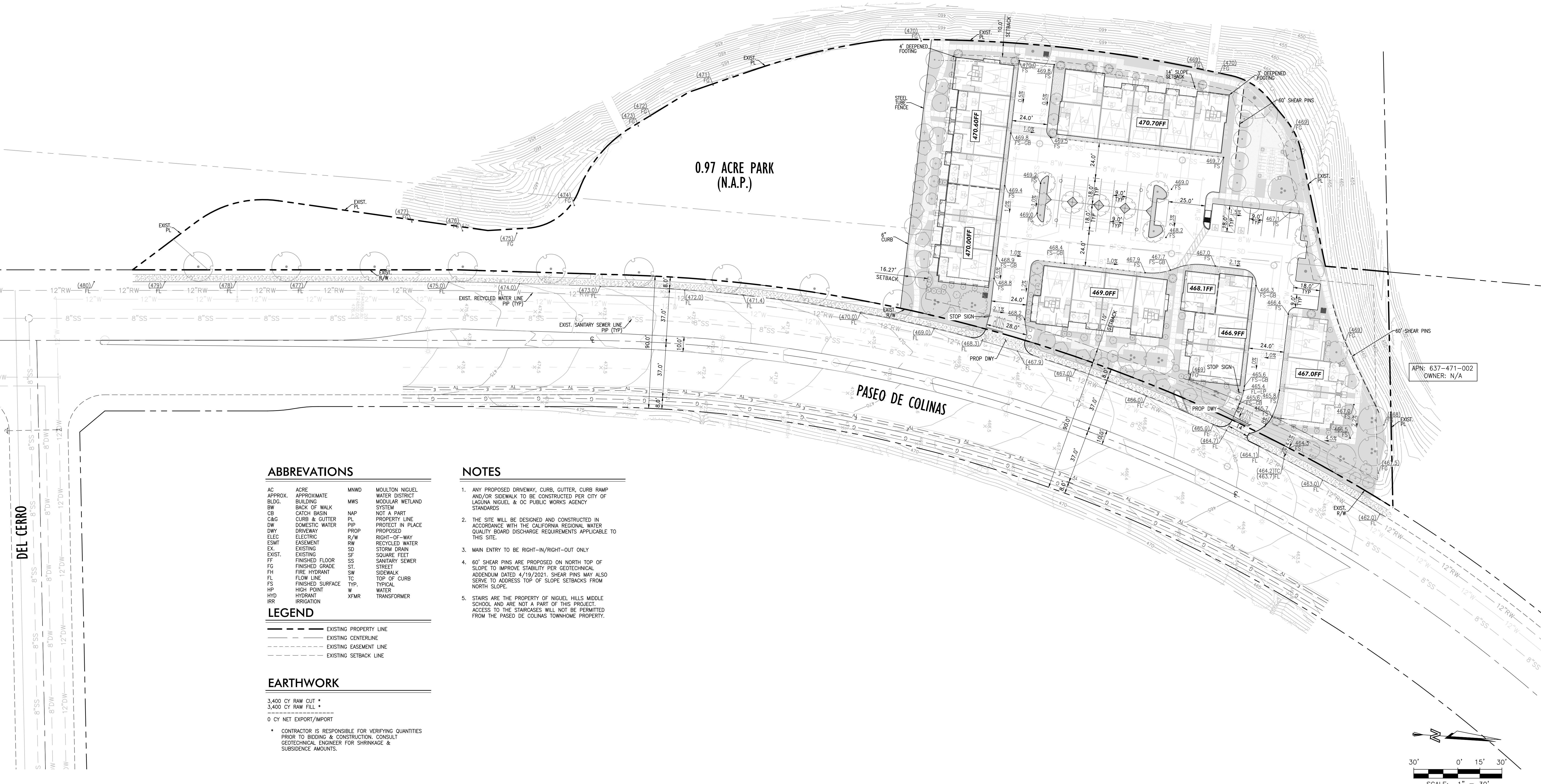


SCALE: 1" = 20'-0"



NIGUEL HILLS
MIDDLE SCHOOL

APN: 637-181-001
OWNER: CAPISTRANO
UNIFIED SCHOOL DISTRICT



PROJECT DIMENSIONS
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Irvine, CA 92614

PASEO DE COLINAS
LAGUNA NIGUEL, CA
2018-1173

SITE DEVELOPMENT PERMIT APPLICATION
PLOT DATE: 5.14.2024

C-2.0
SITE PLAN - IMPROVEMENTS

FEI # 662-002-01

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