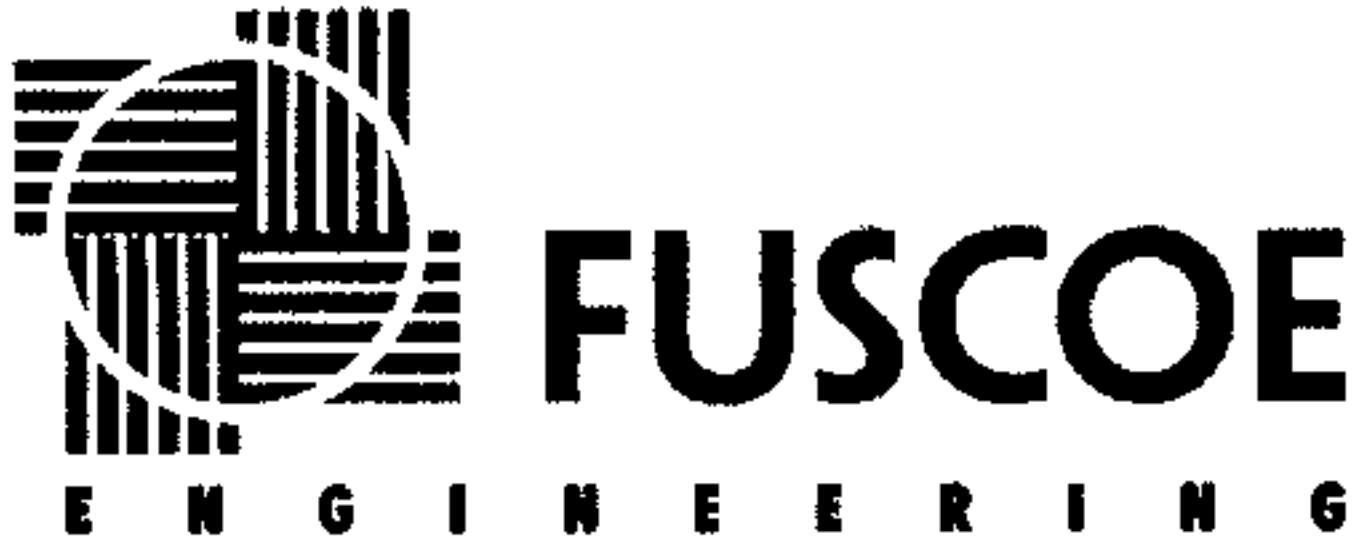


Final Grading Release

PERMIT NUMBER G12-23 DATE 3/8/16
TRACT 801 2, PM 88-274 Caron Loft
LOCATION 28100 Cobalt Rd - Multi Family Residential
LOTS APPROVED APN - 63720214
OWNER United American Properties, Inc.
Owner's Address 4199 Tamborine Rd., Newport Beach, CA 92660
Special requirements _____

Grading _____
Inspector CD _____
Grading _____
Supervisor _____



Irvine
San Diego
Ontario
Los Angeles
El Centro
Danville

March 8, 2016

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector

Subject: Civil Engineer's Certification of Final Grading

Reference Project: Grading Permit No.: G12-23

Address: 28100 Cabot Road, Laguna Niguel, Career Lofts

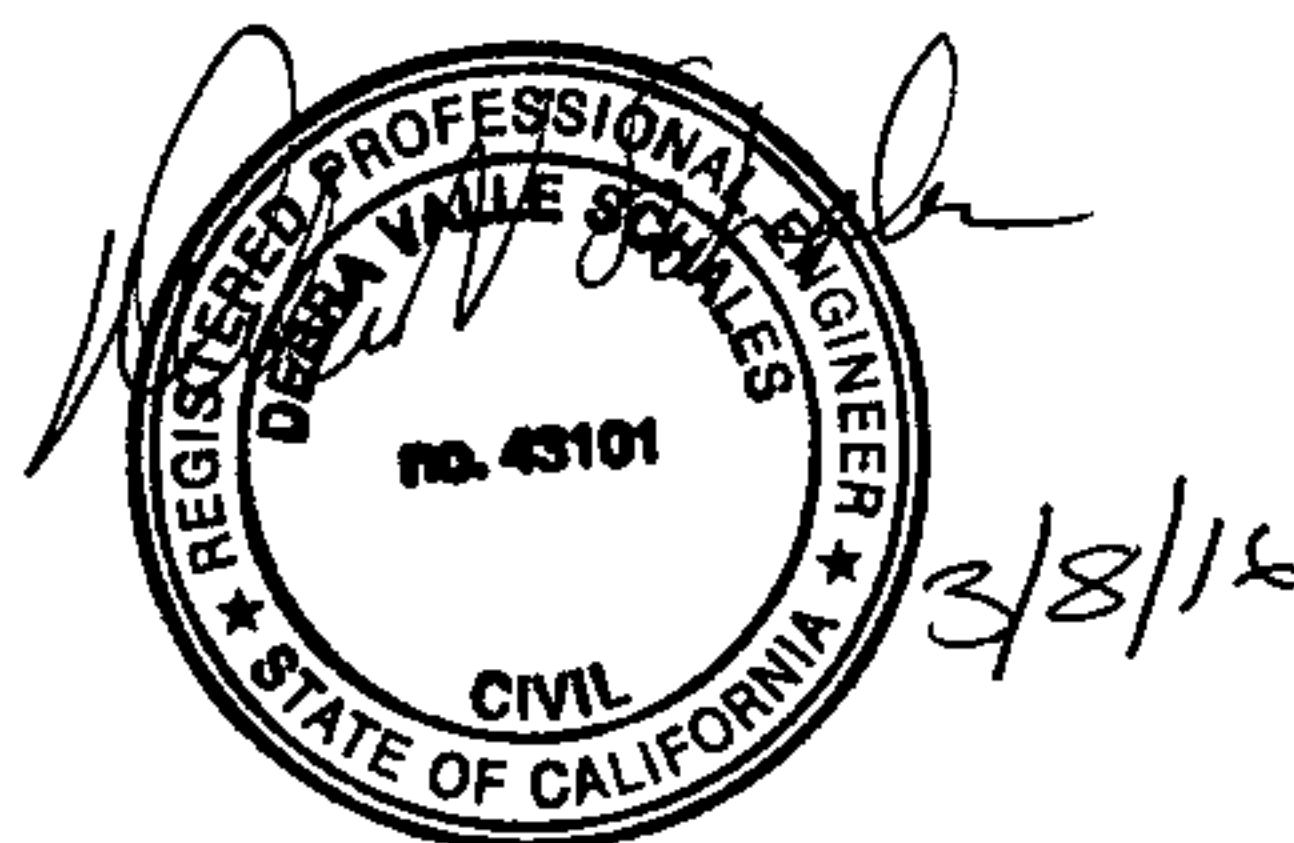
Tract No.: PCL map 88-274 Parcel 2, inclusive

I hereby approve the final grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Final grading has been completed substantially in conformance with the approved grading plan which includes: completion of all engineered draining devices and retaining walls, location and inclination of all manufactured slopes, and construction of earthen berms and positive building pad drainage. I also have field verified that the drainage pipes, bio-retention planters have been constructed and installed to meet or exceed the minimum slopes as shown on the approved grading plan.

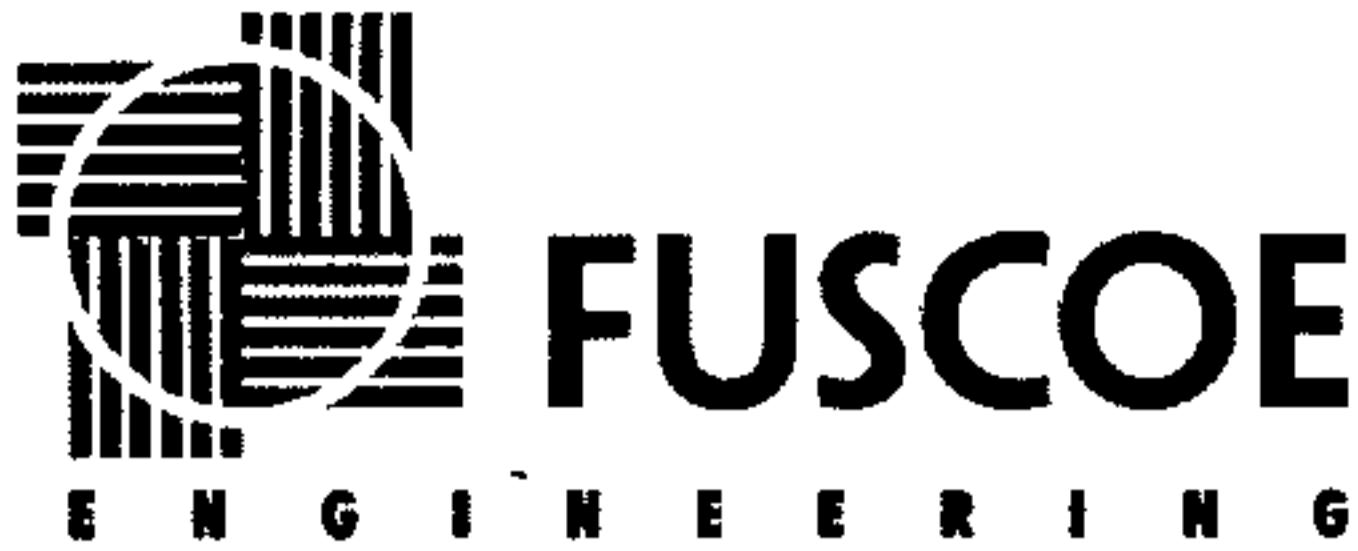
All structures constructed on the property corner or property line, and where monumentation is not required, have been located in accordance with the approved Cabot Career Lofts plot plan.

A handwritten signature in black ink, appearing to read "Debra Schales".

Debra Schales
RCE 43101



full circle thinking®



Irvine
San Diego
Ontario
Los Angeles
El Centro
Danville

March 8, 2016

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector

Subject: Civil Engineer's Certification of Drainage and Bio-retention planters

Reference Project: Grading Permit No.: G12-23

Address: 28100 Cabot Road, Laguna Niguel, Career Lofts

Tract No.: PCL map 88-274 Parcel 2, inclusive

I hereby approve the drainage, storm drain, Bio-retention planters and Hydro-modification structures for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Final drainage, storm drain, Bio-retention planter and Hydro-modification structures have been field inspected during construction and has been completed substantially in conformance with the approved grading plan.

A handwritten signature in black ink, appearing to read 'Debra Schales'.

Debra Schales
RCE 43101



full circle thinking®

CAREER LOFTS - LAGUNA NIGUEL, LLC
4699 Jamboree Road
Newport Beach, CA 92660
(949) 756-8800

March 10, 2016

City of Laguna Niguel
Abdullah Sharif, Grading Engineer
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

RE: Final Grading Report; 28100 Cabot Road, Laguna Niguel, CA (the "Property")

Dear Mr. Sharif,

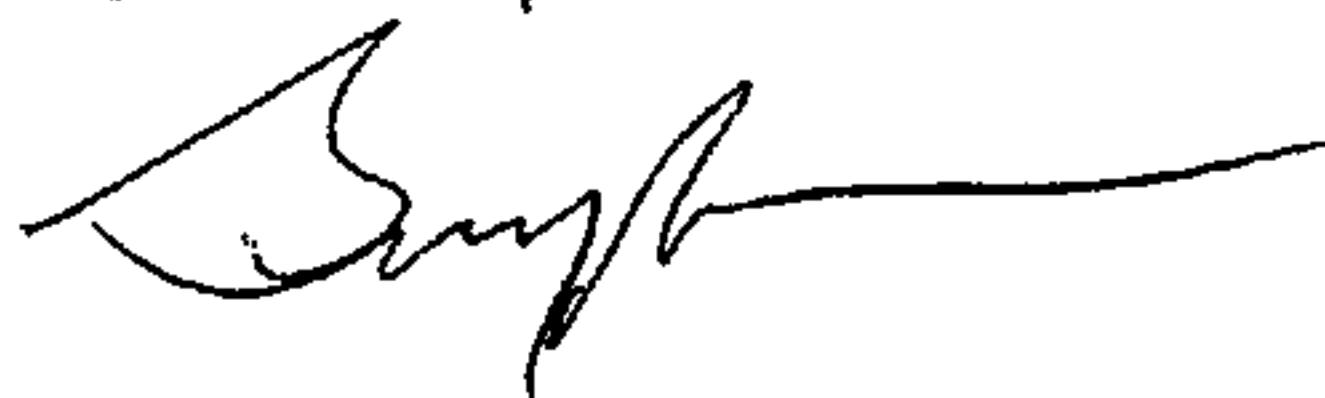
Career Lofts – Laguna Niguel, LLC ("Owner") is the owner of the above referenced Property. In connection with the grading of the Property, Owner engaged Albus-Keefe & Associates, Inc. ("Albus-Keefe") to prepare a final grading report.

This letter serves as acknowledgement that a portion of the final grading report has been submitted to the City with certain missing data. Owner engaged Albus-Keefe to provide extensive field testing services on the Property throughout the construction process. Albus-Keefe has provided extensive field reports which include field conditions and methods, however the actual compaction logs are missing.

Owner understands that the compaction logs are listed as required content in the final grading report and shall hold the City and its employees harmless for approving the final grading report without the missing compaction logs.

Sincerely,

Greg Clayton
Owner's Representative





CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G12-023

DATE: March 16, 2016

PROJECT DESCRIPTION: Final Compaction Report of Postgrading Operations

LOCATION: 28100 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1806.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Final Compaction Report of Postgrading Operations, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 11, 2016.

REFERENCES: Listed on Page 3

ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT*
 REQUEST ADDITIONAL DATA FOR REVIEW



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.

23241 Arroyo Vista

Rancho Santa Margarita, CA 92688

(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

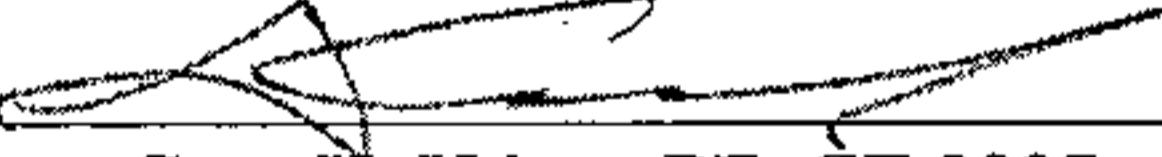
Page 2

REFERENCE NO.: G12-023

DATE: March 16, 2016

COMMENT

The subject report is missing all compaction test data which is a City requirement for such projects. As such, there is no supporting data to verify that the work was completed in conformance with the project specifications. The Geotechnical consultant has described what they believe to be the construction procedures used to perform the work. It should be recognized by the owner(s) that this is highly unusual and that they accept all responsibility for the performance of the work described in the report, especially that work which was performed in City property such as utility connections in Cabot Road.

REVIEWED BY: 

Gary K. Urban, PE, GE 2237
Geotechnical Engineer

DISTRIBUTION: Mr. Abdullah Sharif, City of Laguna Niguel (email)
Mr. David E. Albus, Albus-Keefe & Associates, Inc. (email)
Mr. Phil Andoniu, United American Properties (mail)



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 3

REFERENCE NO.: G12-023

DATE: March 16, 2016

REFERENCES: (1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012. (4) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012. (5) "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013. (6) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (7) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (8) "Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013; (9) "Rework of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 26, 2013; (10) "Completion of Regrading for Remaining Portion of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 16, 2014; (11) "Final Geotechnical Report of Grading, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 25, 2016.



GEOTECHNICAL, INC.

23241 Arroyo Vista • Rancho Santa Margarita, CA 92688 • phone: 949.888.6513 • fax: 949.888.1380 • info@gmugeo.com • www.gmugeo.com

FEE SHEET (PAGE 1 OF 2)

ATTENTION: Abdullah Sharif

REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

Document Reviewed	Review Sheet Dated	Status of Review	Charge
(1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012.	11-7-12	Not Approved	\$2,455.00
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012.	1-14-13	Approval	\$985.00
Field Inspections, Mtgs, & Email/Tele.	8-13-13		\$2,613.75
"Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.	9-9-13	Not Approved	\$1,192.50
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9-13-13	Not Approved	\$825.00
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9/16/13	Conditional Approval	\$580.00
"Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013.	12/20/13	APPROVED	\$ 415.00

Plan check fees
↑
↓
Grading
Permit fees



GMU

GEOTECHNICAL, INC.

23241 Arroyo Vista • Rancho Santa Margarita, CA 92688 • phone: 949.888.6513 • fax: 949.888.1380 • info@gmugeo.com • www.gmugeo.com

FEE SHEET (PAGE 2 OF 2)

ATTENTION: Abdullah Sharif

REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

Document Reviewed	Review Sheet Dated	Status of Review	Charge
“Rework of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated December 26, 2013.	12/27/13	APPROVED	\$250.00
“Completion of Regrading for Remaining Portion of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 16, 2014.	1/17/14	APPROVED	\$277.50
“Final Geotechnical Report of Grading, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated February 25, 2016.	3/7/16	NOT APPROVED	\$ 322.50
“Final Geotechnical Report of Grading, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated February 25, 2016 (Revised March 8, 2016).	3/15/16	APPROVED	\$ 855.00
“Final Compaction Report of Postgrading Operations, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated March 11, 2016.	3/16/16	CONDITIONAL APPROVAL	\$ 577.50

Grading Permit Fee (Total) = \$ 7,908.75
/
Entered 3/23/16

CAREER LOFTS - LAGUNA NIGUEL, LLC
4699 Jamboree Road
Newport Beach, CA 92660
(949) 756-8800

March 10, 2016

City of Laguna Niguel
Abdullah Sharif, Grading Engineer
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

RE: Final Grading Report; 28100 Cabot Road, Laguna Niguel, CA (the "Property")

Dear Mr. Sharif,

Career Lofts - Laguna Niguel, LLC ("Owner") is the owner of the above referenced Property. In connection with the grading of the Property, Owner engaged Albus-Keefe & Associates, Inc. ("Albus-Keefe") to prepare a final grading report.

This letter serves as acknowledgement that a portion of the final grading report has been submitted to the City with certain missing data. Owner engaged Albus-Keefe to provide extensive field testing services on the Property throughout the construction process. Albus-Keefe has provided extensive field reports which include field conditions and methods, however the actual compaction logs are missing.

Owner understands that the compaction logs are listed as required content in the final grading report and shall hold the City and its employees harmless for approving the final grading report without the missing compaction logs.

Sincerely,

Greg Clayton
Owner's Representative





CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G12-023

DATE: March 15, 2016

PROJECT DESCRIPTION: Final Report of Grading

LOCATION: 28100 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1806.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

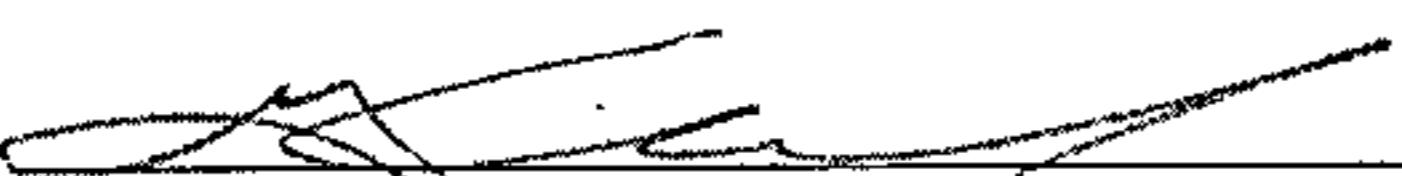
DOCUMENT REVIEWED: "Final Geotechnical Report of Grading, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 25, 2016 (*Revised March 8, 2016*).

REFERENCES: Listed on Page 2

ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW

REVIEWED BY:


Gary K. Urban, PE, GE 2237
Geotechnical Engineer

DISTRIBUTION: Mr. Abdullah Sharif, City of Laguna Niguel (email)
Mr. David E. Albus, Albus-Keefe & Associates, Inc. (email)
Mr. Phil Andoniu, United American Properties (mail)



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
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Page 2

REFERENCE NO.: G12-023

DATE: March 15, 2016

REFERENCES: (1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012. (4) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012. (5) "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013. (6) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (7) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (8) "Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013; (9) "Rework of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 26, 2013; (10) "Completion of Regrading for Remaining Portion of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 16, 2014; (11) "Final Geotechnical Report of Grading, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 25, 2016.

**GMU**

GEOTECHNICAL, INC.

23241 Arroyo Vista • Rancho Santa Margarita, CA 92688 • phone: 949.888.6513 • fax: 949.888.1380 • info@gmugeo.com • www.gmugeo.com

FEE SHEET (PAGE 1 OF 2)ATTENTION: **Abdullah Sharif**REFERENCE NO.: **G12-023**PROJECT ADDRESS: **Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel**

Document Reviewed	Review Sheet Dated	Status of Review	Charge
(1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012.	11-7-12	Not Approved	\$2,455.00
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"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9-13-13	Not Approved	\$825.00
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FEE SHEET (PAGE 2 OF 2)

ATTENTION: Abdullah Sharif

REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

Document Reviewed	Review Sheet Dated	Status of Review	Charge
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"Final Geotechnical Report of Grading, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 25, 2016.	3/7/16	NOT APPROVED	\$ 322.50
"Final Geotechnical Report of Grading, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 25, 2016 (Revised March 8, 2016).	3/15/16	APPROVED	\$ 855.00



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G12-023

DATE: March 7, 2016

PROJECT DESCRIPTION: Final Report of Grading

LOCATION: 28100 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1806.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Final Geotechnical Report of Grading, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 25, 2016.

REFERENCES: Listed on Page 3

ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW – *See COMMENTS.*
Send responses directly to the City of Laguna Niguel, Attention: Mr. Abdullah Sharif; GMU Geotechnical will only accept responses forwarded from the City.



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

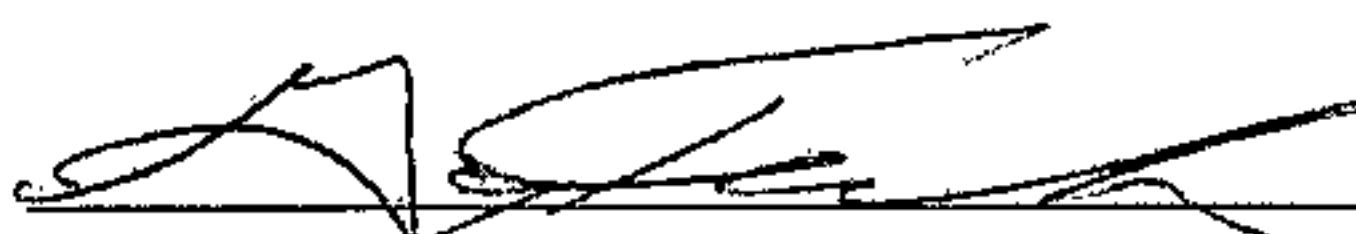
Page 2

REFERENCE NO.: G12-023

DATE: March 7, 2016

COMMENTS

1. The report references the Proposed Temporary Shoring Plans; were these plans to be included with the report for review?
2. The report describes that a significant portion of the existing Spoon's Restaurant building remained in-place as part of the new building. Please describe how the portion of the previously distressed Spoon's building that was left in-place was evaluated for integrity and suitability as part of the new structure.
3. The report presents recommendations for flatwork, foundations, and post-grading considerations. It is our understanding that most, or all, of this construction has been completed. The report should be updated to describe how this work was performed.

REVIEWED BY: 

Gary K. Urban, PE, GE 2237
Geotechnical Engineer

DISTRIBUTION: Mr. Abdullah Sharif, City of Laguna Niguel (email)
Mr. David E. Albus, Albus-Keefe & Associates, Inc. (email)
Mr. Phil Andoniu, United American Properties (mail)



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 3

REFERENCE NO.: G12-023

DATE: March 7, 2016

REFERENCES: (1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012. (4) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012. (5) "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013. (6) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (7) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (8) "Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013; (9) "Rework of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 26, 2013; (10) "Completion of Regrading for Remaining Portion of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 16, 2014.



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FEE SHEET (PAGE 1 OF 2)

ATTENTION: Abdullah Sharif

REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

Document Reviewed	Review Sheet Dated	Status of Review	Charge
(1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012.	11-7-12	Not Approved	\$2,455.00
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012.	1-14-13	Approval	\$985.00
Field Inspections, Mtgs, & Email/Tele.	8-13-13		\$2,613.75
"Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.	9-9-13	Not Approved	\$1,192.50
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9-13-13	Not Approved	\$825.00
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9/16/13	Conditional Approval	\$580.00
"Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013.	12/20/13	APPROVED	\$ 415.00



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FEE SHEET (PAGE 2 OF 2)

ATTENTION: Abdullah Sharif

REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

Document Reviewed	Review Sheet Dated	Status of Review	Charge
"Rework of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 26, 2013.	12/27/13	APPROVED	\$250.00
"Completion of Regrading for Remaining Portion of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 16, 2014.	1/17/14	APPROVED	\$277.50
"Final Geotechnical Report of Grading, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 25, 2016.	3/7/16	NOT APPROVED	\$ 322.50

Rough Grading Release

PERMIT NUMBER G12-23 DATE 1/20/14

TRACT Pcl 2, Pcl Map 88-274

LOCATION 28100 Cabot Rd - Corcor Lofts

LOTS APPROVED Parcel 1, Pcl map 88-274

OWNER United American Preparation, LLC

Owner's Address 4699 Tomboxee Rd, Newell Park, C 92080

Special requirements Remaining portion of building pad

for the main building.

Grading Inspector JD Grading Supervisor _____



Irvine
San Diego
Ontario
Los Angeles
El Centro
Danville

January 16, 2014

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector

Subject: Civil Engineer's Certification of Rough Grading – 3rd building area, see attached.

Reference Project: Grading Permit No.: G12-23

Address: 28100 Cabot Road, Laguna Niguel, Career Lofts

Tract No.: PCL map 88-274 Parcel 2, inclusive

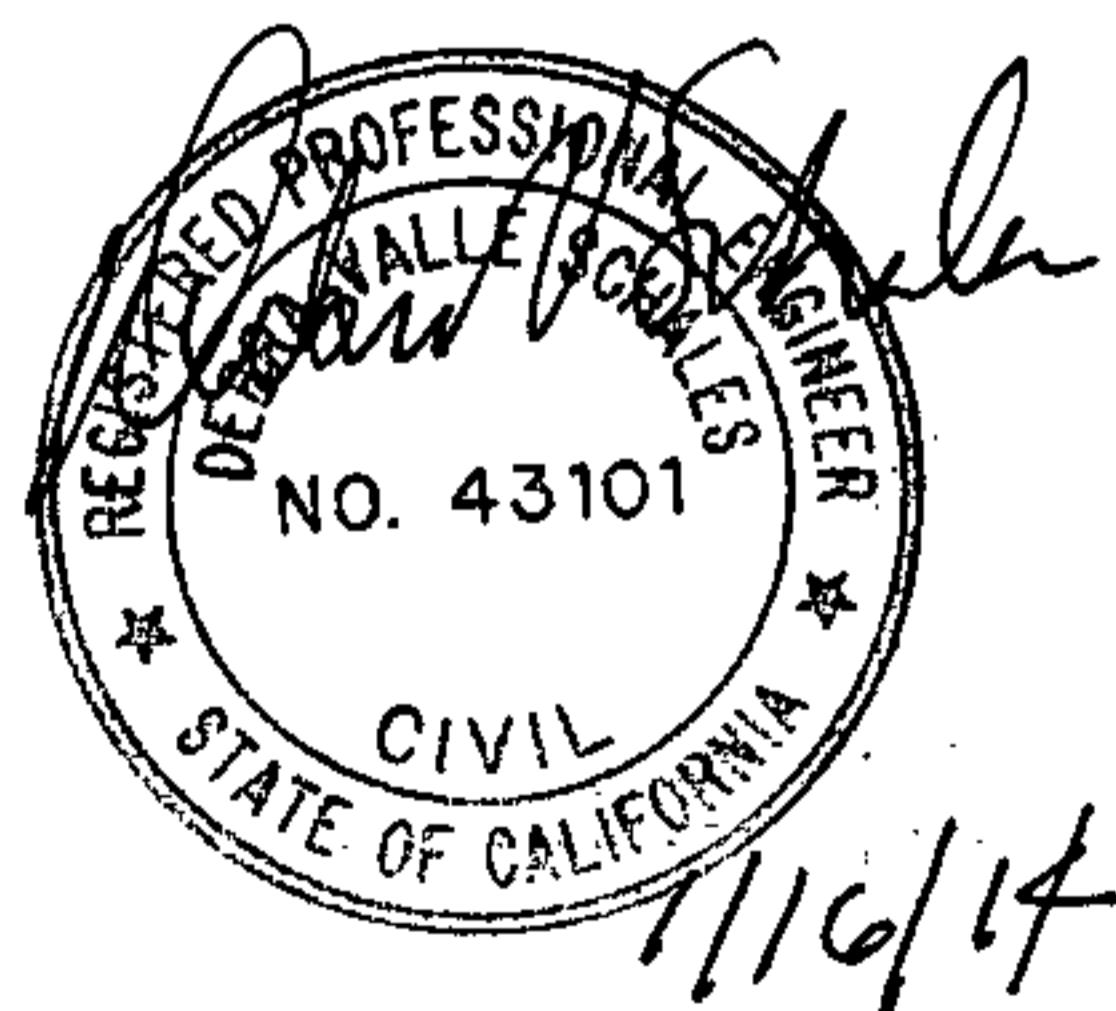
I hereby approve the rough grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Rough grading of 3rd building area (see attached) has been completed substantially in conformance with the approved grading plan for this project and in full compliance with said Codes. Certification includes vertical control for the building pad. This certification does not include approval of the placement and compaction of earthwork within the purview of others.

Sincerely,

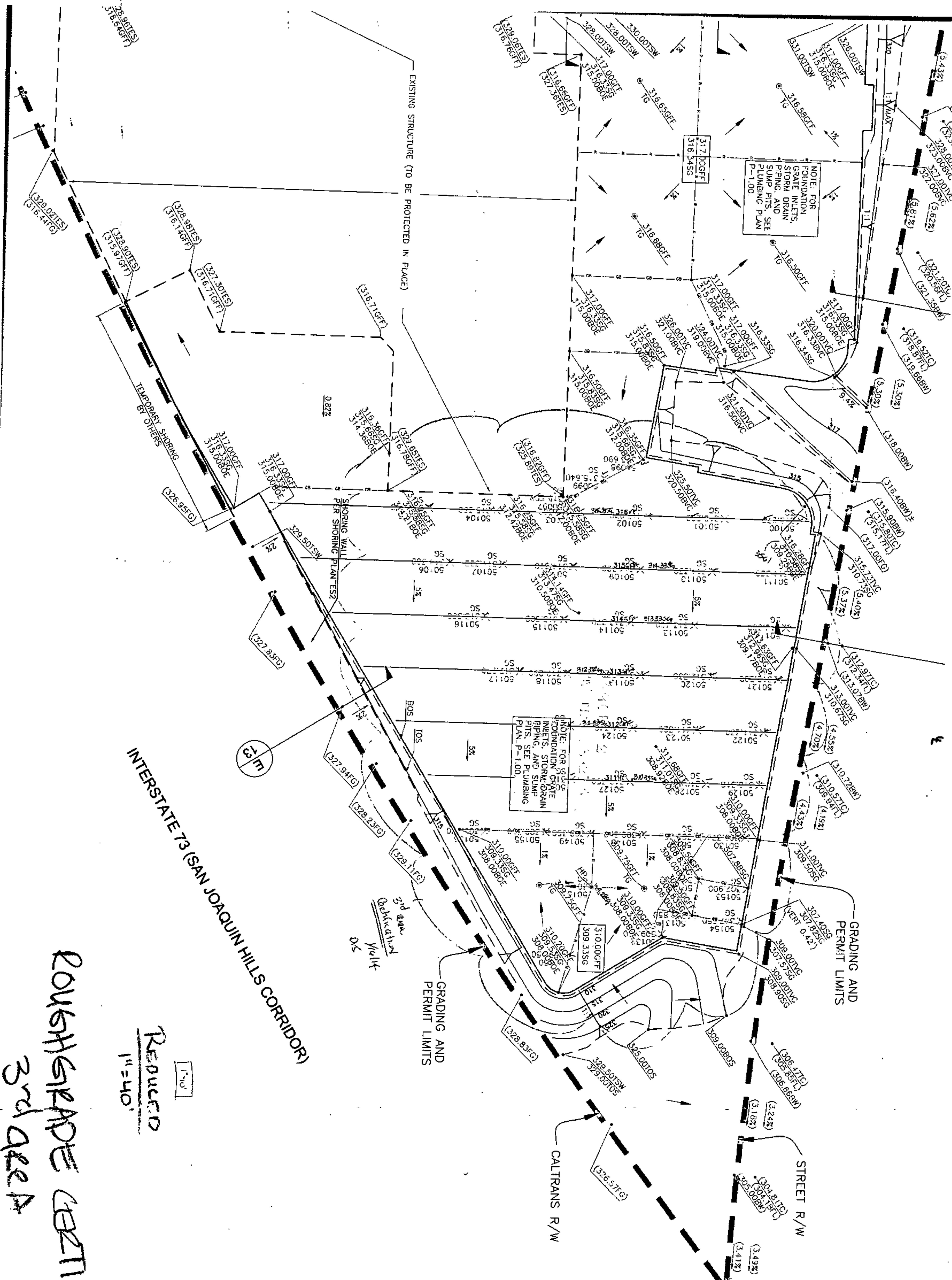
FUSCOE ENGINEERING, INC.

A handwritten signature in black ink, appearing to read "Debra V Schales".

Debra V Schales, P.E.
RCE 43101



full circle thinking®



1/16/14
DRS



CITY OF LAGUNA NIGUEL

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GEOTECHNICAL REVIEW SHEET

Reviewed by:
GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380

Page 1

GMU REFERENCE NO.: G12-023

DATE: January 17, 2014

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Completion of Regrading for Remaining Portion of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 16, 2014.

REFERENCES: (1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012. (4) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012. (5) "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013. (6) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (7) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (8) "Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013; (9) "Rework of Remedial Grading, Slab Fill for Portions of

Partial account - 1/17/14



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

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GMU GEOTECHNICAL, INC.
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Rancho Santa Margarita, CA 92688
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Page 2

GMU REFERENCE NO.: G12-023

DATE: January 17, 2014

Building Pad for the Main Building, Cancer Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 26, 2013.

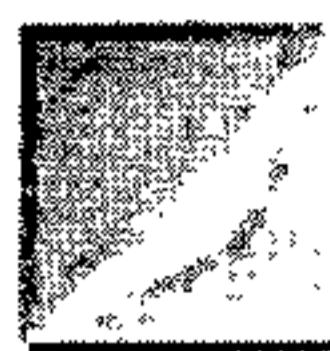
ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW

REVIEWED BY: Lisa L Bates

Lisa L Bates, CEG 2293
Engineering Geologist

DISTRIBUTION: Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Greg Clayton, United American Properties



GMU
GEOTECHNICAL, INC.

23241 Arroyo Vista
Rancho Santa Margarita
CA 92688

voice: 949.888.6513
fax: 949.888.1380
web: www.gmugeo.com

GEOTECHNICAL REVIEW FEE SHEET (Page 1 of 2)

ATTENTION: Abdullah Sharif
FROM: Lisa Bates and Gary Urban
GMU Geotechnical, Inc.

GMU REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

OWNER OR DEVELOPER: Albus-Keefe & Associates, Inc.

Document Reviewed	Review Sheet Dated	Status of Review	Charge
(1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012.	11-7-12	Not Approved	\$2,455.00
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Field Inspections, Mtgs, & Email/Tele.	8-13-13		\$2,613.75
"Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.	9-9-13	Not Approved	\$1,192.50
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9-13-13	Not Approved	\$825.00
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Rancho Santa Margarita
CA 92688

voice: 949.888.6513
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GEOTECHNICAL REVIEW FEE SHEET (Page 2 of 2)

ATTENTION: Abdullah Sharif
FROM: Lisa Bates and Gary Urban
GMU Geotechnical, Inc.

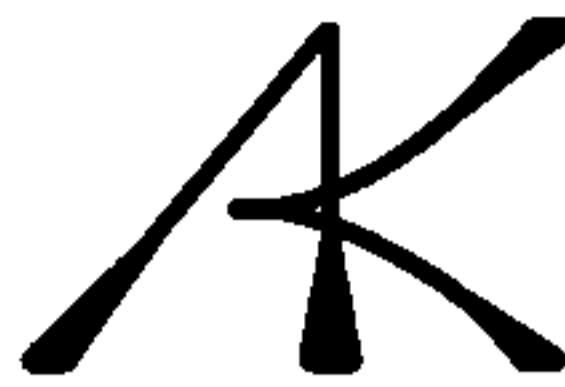
GMU REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

OWNER OR DEVELOPER: Albus-Keefe & Associates, Inc.

"Rework of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 26, 2013.	12/27/13	APPROVED	\$250.00
"Completion of Regrading for Remaining Portion of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 16, 2014.	1/17/14	APPROVED	\$277.50

Σ 4961.25



ALBUS-KEEFE & ASSOCIATES, INC
GEOTECHNICAL CONSULTANTS

January 16, 2014
J.N.: 1806.01

Mr. Greg Clayton
United American Properties
4699 Jamboree Road
Newport Beach, California 92660

Subject: Completion of Regrading for Remaining Portion of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California.

Dear Mr. Clayton,

This report has been prepared to confirm that *Albus-Keefe & Associates, Inc.* provided geotechnical observation and testing services during the recent regrading operations involving the remaining portion of the building pad for the main building. Testing and observations for previous grading of the site are summarized in the referenced reports. The subject regrading generally included the raising of portions of the existing slab subgrade by as much as 6 feet, in conformance with the referenced excavation plan, revised dated October 22, 2013 (Delta 2). The regrading also included the reworking of the upper 24 inches of finish floor grades (Slab Fills) where the slab grades were not raised significantly. The following presents a summary of our observations and testing services.

SUMMARY OF REGRADING OPERATIONS

Geotechnical observation and testing services during the subject regrading were provided by a representative of this firm from December 12, 2013 to January 16, 2014. Barrios Landscaping completed the regrading operations summarized herein.

Regrading operations in areas where the pad grades were raised generally involved the removal and/or reworking of the previous slab fill materials. Additional fill materials (General Fills) were placed in lifts no greater than approximately 8 inches in thickness. Each lift was moisture conditioned where necessary to achieve a uniform moisture content of 125 to 135 percent of optimum and then compacted. Each subsequent lift was placed in a similar manner. Fill materials placed within the upper 24 inches of finish floor grades (Slab Fills) were moisture conditioned where necessary to achieve uniform moisture content of 135 to 150 percent of optimum and then compacted. Each subsequent lift was placed in a similar manner. Fill materials were derived from within the site.

In areas where the pad grades were not raised significantly, the existing Slab Fill materials were scarified to a depth of about 15 to 16 inches deep, moisture-conditioned and then recompacted.

Mechanical compaction was generally achieved by using a rubber-tired skip loader. The approximate limit of regrading under the purview of this report is shown on the enclosed Plot Plan, Plate 1.

FIELD DENSITY TESTING

The in-place density of fill materials was determined in accordance with ASTM D 1556 (6-inch sand cone) and ASTM D 6938-08a (nuclear gauge). The results of field density tests were compared to the laboratory determined maximum dry density per ASTM D1557 to evaluate relative compaction. Where test results indicated a relative compaction of less than 90% of ASTM D1557 for General Fills (more than 24 inches below finish floor grade) and 85% of ASTM D1557 for Slab Fills (within 24 inches of finish slab grade), the area of substandard fill was identified, moisture conditioned as required, then recompacted until subsequent testing resulted in the above minimum relative compaction and moisture content. The results of field density tests are presented on Table A in Appendix A. The approximate test locations are shown on the enclosed Plot Plan, Plate 1.

LABORATORY TESTING

Representative samples of the onsite soils were collected and tested in the laboratory to determine maximum dry density and optimum moisture content. The tests were performed in general conformance with ASTM D1557-07. Pertinent test results are presented on Table B in Appendix B.

CONCLUSIONS

Earthwork carried out under the observation and testing by Albus-Keefe & Associates, Inc. was performed in substantial conformance with the project plans and specifications, the grading codes of the City of Laguna Niguel, and applicable portions of the project geotechnical requirements. (Albus-Keefe & Associates, Inc. is not responsible for line and grade.)

The reworking of the Slab Fills also fulfills the requirements set forth in the referenced response to the Geotechnical Review Sheet, dated September 13, 2013. The accomplished regrading is considered suitable for support of the proposed structure for the project, provided that the recommendations presented in the referenced geotechnical report are implemented during future grading and construction.

We hope this correspondence provides you the information required at this time. If there are any questions regarding the contents discussed herein, please do not hesitate to call.

United American Properties

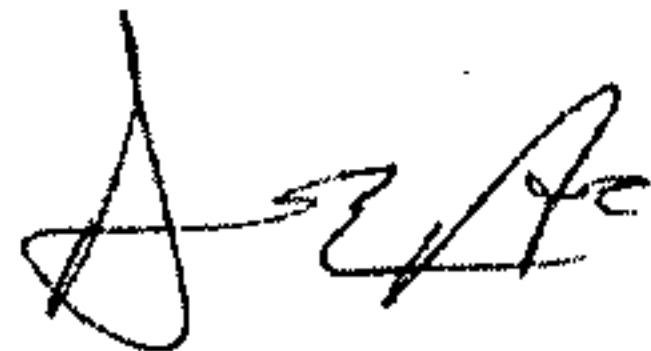
January 16, 2014

J.N. 1806.01

Page 3

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



David E. Albus
Principal Engineer
G.E. 2455



Attachments: References

Appendix A - Summary of Field Density Test Results

Appendix B - Summary of Laboratory Test Results

Plot Plan - Plate 1

ALBUS-KEEFE & ASSOCIATES, INC.

REFERENCES

Albus-Keefe & Associates, Inc., *Rework of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California*, dated December 26, 2013, (J.N.: 1806.01).

Albus-Keefe & Associates, Inc., *Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California*, dated December 19, 2013, (J.N.: 1806.01).

Albus-Keefe & Associates, Inc., *Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California*, dated September 13, 2013, (J.N.: 1806.01).

Albus-Keefe & Associates, Inc., *Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California*, dated August 23, 2013, (J.N.: 1806.01).

Albus-Keefe & Associates, Inc., *Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California*, dated June 19, 2012, (J.N.: 1806.00).

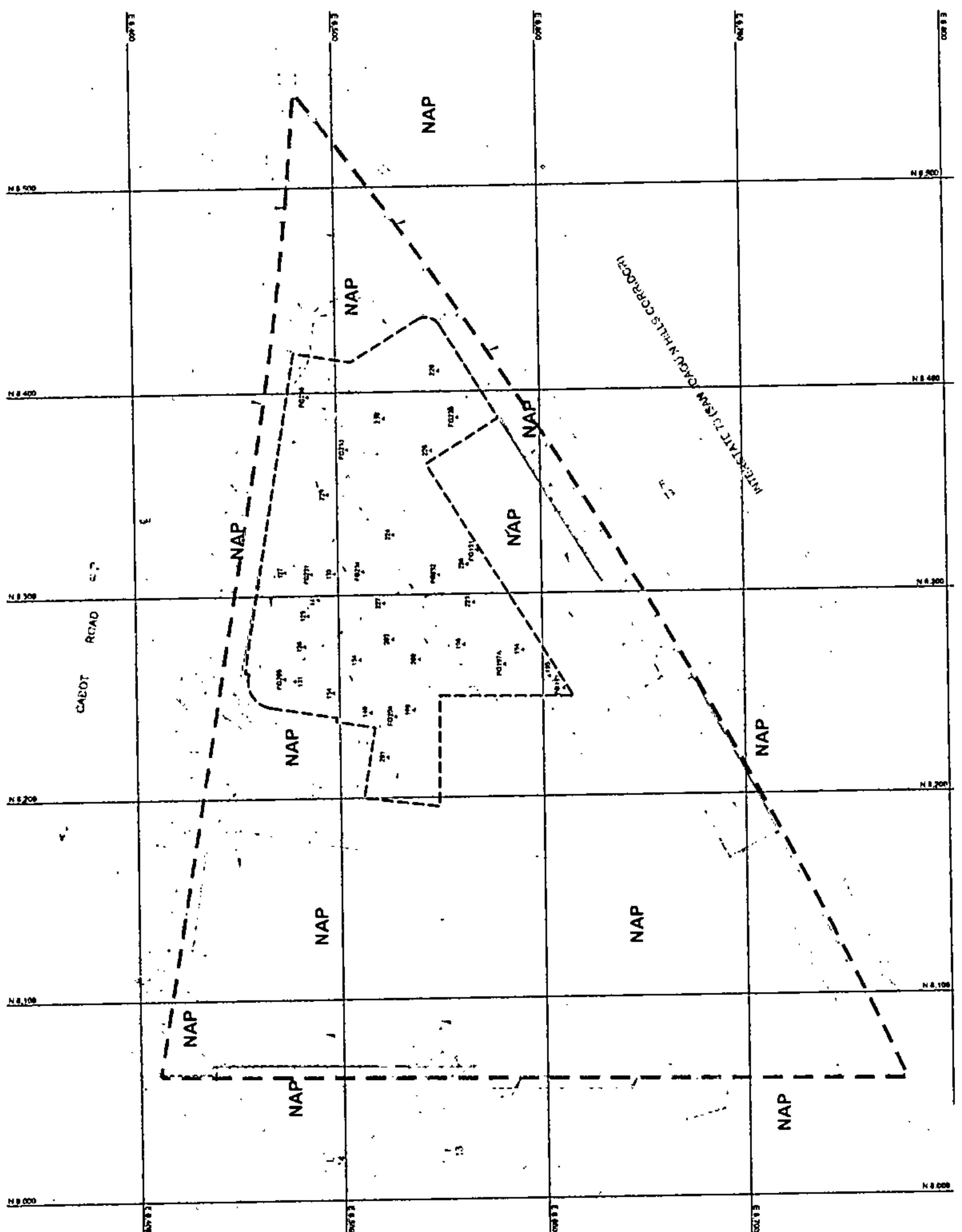
Fuscoe Engineering, Excavation Plan, Sheet 5 of 15 of the Precise Grading Plans for Career Lofts, 28100 Cabot Road, Laguna Niguel, CA, revision date October 22, 2013 (Delta 2).

THE HISTORY OF THE CHINESE

PLOT PLAN

EXPLANATION

REPORT - "Public Community I and Game Title A
for most areas and departments
[REDACTED] - Length of Two Years
NAP - Now a Part of the Region



FLUSCOE



APPENDIX A
SUMMARY OF FIELD DENSITY TEST RESULTS

TABLE A

SUMMARY OF FIELD DENSITY TEST RESULTS

Test Number	Test Date	Test Type (*)	Location (Northing Tract) (Easting Lot)	Elev./ Depth (ft)	Moist Content (%)	Dry Density (pcf)	Max Dry Density (pcf)	Opt. Moist. (%)	Max Curve No.	Relative Comp. (%)	Required Comp. (%)	Pass/Fail (P/F)
125	12/13/2013	N	8,290	6,485	314	19.8	103.5	111.5	15.5	A	93	P
127	12/13/2013	N	8,312	6,474	313.5	21.2	97.2	111.5	15.5	A	87	P
128	12/13/2013	N	8,275	6,483	314.5	23.4	96.2	111.5	15.5	A	86	P
131	12/16/2013	N	8,258	6,478	315.5	23.9	94.4	107.5	17.5	B	88	P
133	12/16/2013	N	8,311	6,498	311.5	22.4	97.6	108.5	18.0	E	90	P
134	12/17/2013	N	8,268	6,510	312	22.3	98.8	108.5	18.0	E	91	P
140	12/18/2013	N	8,242	6,515	313.5	20.1	96.7	107.5	17.5	B	90	P
141	12/18/2013	N	8,298	6,490	313	19.2	98.1	107.5	17.5	B	91	P
FG 151	12/19/2013	N	8,322	6,568	312.5	25.2	92.3	108.5	18.0	E	85	P
154	12/20/2013	N	8,252	6,497	319.5	17.8	104.1	111.5	15.5	A	93	P
FG 161	12/23/2013	N	8,253	6,610	315.5	24.6	92.3	108.5	18.0	E	85	P
194	1/6/2014	N	8,272	6,590	312.5	23.6	98.0	108.5	18.0	E	90	P
195	1/6/2014	N	8,259	6,603	314.5	24.8	97.7	108.5	18.0	E	90	P
196	1/6/2014	N	8,275	6,561	315.5	25.7	92.3	108.5	18.0	E	85	P
FG 197	1/6/2014	N	8,265	6,581	3185.3	18.6	90.1	108.5	18.0	E	83	F
FG 197 A	1/7/2014	N	8,265	6,581	315.3	24.9	93.7	108.5	18.0	E	86	P
199	1/7/2014	N	8,243	6,536	312	22.8	97.9	108.5	18.0	E	90	P
200	1/7/2014	N	8,268	6,539	315	25.3	94.5	108.5	18.0	E	87	P
201	1/7/2014	N	8,220	6,523	314.5	24.4	98.6	108.5	18.0	E	91	P
203	1/7/2014	N	8,278	6,526	315	24.8	93.5	108.5	18.0	E	86	P
223	1/15/2014	N	8,296	6,566	311	22.7	99.1	108.5	18.0	E	91	P
224	1/15/2014	N	8,330	6,527	309.5	23.8	97.8	108.5	18.0	E	90	P
225	1/15/2014	N	8,371	6,546	308	22.5	98.9	108.5	18.0	E	91	P
226	1/15/2014	N	8,410	6,550	308.5	25.3	92.5	108.5	18.0	E	85	P
227	1/15/2014	N	8,296	6,522	312.5	24.8	93.6	108.5	18.0	E	86	P
228	1/15/2014	N	8,315	6,563	312.5	22.9	96.5	108.5	18.0	E	89	P

* See last page of this table for explanations.

TABLE A

SUMMARY OF FIELD DENSITY TEST RESULTS

Test Number	Test Date	Test Type (*)	Location	Elev./ Depth	Moist Content (%)	Dry Density (pcf)	Max Dry Density (pcf)	Opt. Moist. (%)	Max Curve No.	Relative Comp. (%)	Required Comp. (%)	Pass/Fail (P/F)
229	1/15/2014	N	8,350	6,495	310	26.2	92.3	108.5	18.0	E	85	P
230	1/15/2014	N	8,387	6,523	309	24.4	93.2	108.5	18.0	E	86	P
FG 231	1/16/2014	N	8,311	6,487	313	23.7	96.8	108.5	18.0	E	89	P
FG 232	1/16/2014	N	8,310	6,549	313	23.9	96.0	108.5	18.0	E	88	P
FG 233	1/16/2014	N	8,372	6,505	310	24.8	93.5	108.5	18.0	E	86	P
FG 234	1/16/2014	N	8,312	6,512	309	22.8	97.7	108.5	18.0	E	90	P
FG 235	1/16/2014	N	8,387	6,559	309.5	25.1	94.2	108.5	18.0	E	87	P
FG 236	1/16/2014	N	8,398	6,486	309	24.2	97.0	108.5	18.0	E	89	P

* See last page of this table for explanations.

ALBUS-KEEFE & ASSOCIATES, INC.

EXPLANATION OF FIELD DENSITY TEST CODES

PREFIX CODE DESIGNATION FOR GRADING TEST NUMBERS

	General Fill Test	SB-	Structure Backfill
OG-	Original Ground	SF-	Slope Face
FG-	Finish Grade	SR-	Slope Repair
RW-	Retaining Wall	SW-	Segmental Wall*

* Segmental Wall (Keystone Wall, Verdura Wall, Loffel Wall, Crib Wall, etc.)

PREFIX CODE DESIGNATION FOR POST-GRADING TEST NUMBERS

AB-	Aggregate Base	EL-	Electrical Line	RW-	Retaining Wall	SL-	Sewer Lateral	WL-	Water Lateral
AC-	Asphalt Concrete	FW-	Fire Water	SB-	Structure Backfill	SM-	Sewer Main	WM-	Water Main
AD-	Area Drain Line	GL-	Gas Line	SD-	Storm Drain	SW-	Sidewalk Subgrade		
CG-	Curb / Gutter subgrade	GM-	Gas Mainline	SG-	Subgrade	UC-	Common Utility*		
DL-	Drain Line	IR-	Irrigation	SH-	Sewer Hookup	VP-	Vent Pipes		
EB-	Excavation Backfill	OL-	Oil Line	SI-	Sewer Interior	WH-	Water Hookup		

* Utility Common Trench, Gas, Cable TV, Edison, Gas, Misc. Utility

CODES FOLLOWING THE TEST NUMBER

A-C: Subsequent retest of failed density test after fill reconditioning and recompaction (after "C" the material may require removal).

R: Failed material removed.

TEST TYPE

D: Drive-Cylinder Test per ASTM D2937

S: Sand Cone Test per ASTM D1556

N: Nuclear Gauge Test per ASTM D6938-08a

MAX. CURVE NO.

A-Z: Corresponds to Max Curve Designation listed in Table B-1 (represents the laboratory maximum dry density/optimum moisture content for a representative fill material encountered during earthwork).

APPENDIX B

SUMMARY OF LABORATORY TEST RESULTS

TABLE B
Summary of Maximum Dry Density/Optimum Moisture Contents

Max. Curve No.	Description	Test Results
A	Silty Clay (CL)	Maximum Dry Density: 111.5 pcf Optimum Moisture: 15.5 %
B	Clayey Silt/Silty Clay (MH/CH)	Maximum Dry Density: 107.5 pcf Optimum Moisture: 17.5 %
C	Clayey Silt/Silty Clay (MH/CH)	Maximum Dry Density: 113.0 pcf Optimum Moisture: 16.5 %
D	Sandy Silty Clay (CL)	Maximum Dry Density: 114.0 pcf Optimum Moisture: 13.5 %
E	Sandy Clayey Silt (ML/CL)	Maximum Dry Density: 108.5 pcf Optimum Moisture: 18.0 %

Rough Grading Release

PERMIT NUMBER G12-23 DATE 12/30/13
TRACT _____
LOCATION 28100 Cabet Rd - Career Lofts
LOTS APPROVED 2 Building Areas - (See attached)
OWNER United American Profession
Owner's Address 4699 Jamboree Rd, Newport Beach, Ca
Special requirements See attached Civil Act for
the release of 2 building areas only
Grading Inspector AS Grading Supervisor _____



E N G I N E E R I N G

December 23, 2013

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector

Subject: Civil Engineer's Certification of Rough Grading – 2 building areas, see attached.

Reference Project: Grading Permit No.: G12-23

Address: 28100 Cabot Road, Laguna Niguel, Career Lofts
Tract No.: PCL map 88-274 Parcel 2, inclusive

I hereby approve the rough grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Rough grading of 2 building area's (see attached) has been completed substantially in conformance with the approved grading plan for this project and in full compliance with said Codes. Note: one shot requiring adjustment was noted in an exhibit and sent to the contractor for correction. Certification includes vertical control for the building pad. This certification does not include approval of the placement and compaction of earthwork within the purview of others.

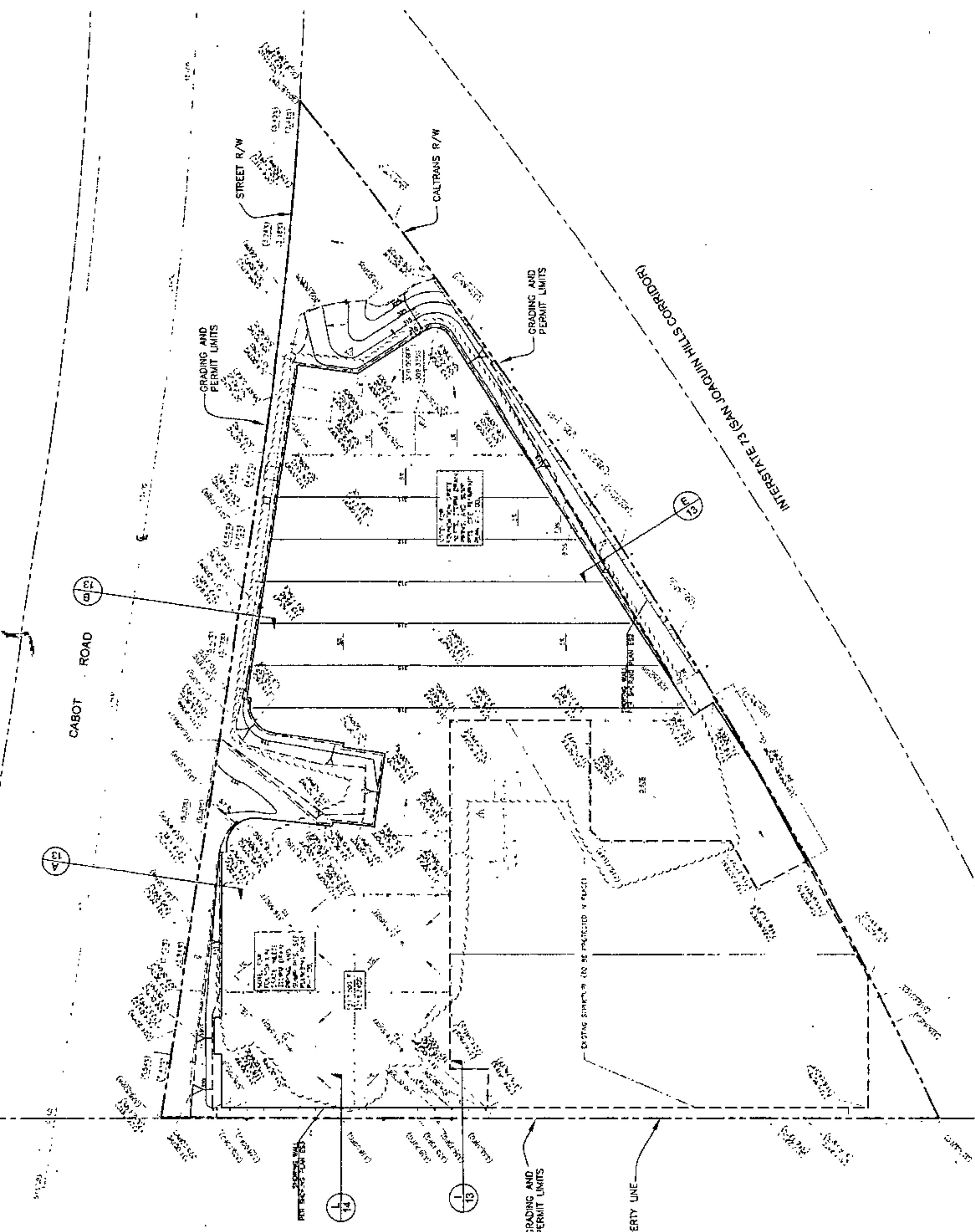
Sincerely,

FUSCOE ENGINEERING, INC.

O. Slasor

Oriana Slasor, P.E.
RCE 63451





NOTES:

1. PRIOR TO FINAL GRADING, CONTRACTOR TO VERIFY G.F.F. GRADES WITH ARCHITECT.
2. 6" FOUNDATION THICKNESS PER STRUCTURAL ENGINEER'S RECOMMENDATION. FINAL THICKNESS OF FOUNDATION SYSTEM WILL BE DETERMINED BY SOILS ENGINEER AND STRUCTURAL ENGINEER IN THE FIELD.
3. SEE STRUCTURAL PLANS FOR FOUNDATION PLAN AND DETAILS. NOTE: SG ELEVATION DOES NOT INCLUDE FONING DEPTHS
4. TEMPORARY SLOPE 1:1 AND A 5' VERTICAL CUT AT TOP OF TEMPORARY SLOPE PER GEOTECHNICAL REPORT DATED 8/19/2012, SECTION 8.1.7, TEMPORARY EXCAVATION, PAGE 10

PERMIT #	552-23
Issue Date	24
CCP #	01
Checkup	23
Serial	45 555555
Exp Date	1/1/2011
Expiry	2011/01/12
PERMIT # 552-23	

**EXCAVATION PLAN
CAREER LOFTS
28100 CABOT ROAD
LAGUNA NIGUEL, CA**

A circular seal with a double-line border. Inside, there is vertical text and a central emblem, possibly a lion or a similar creature.

FUSC
FEDERAL UNION
OF STATE COUNCILS
16. The Year Founded 1900
Tel. 597-4744-4745

Year	Q1	Q2	Q3	Q4
2010	100	100	100	100
2011	100	100	100	100
2012	100	100	100	100
2013	100	100	100	100

100

110

100

100

1975

123

100

100
100

Exhibit 10

FACTOR

TO CONTRA

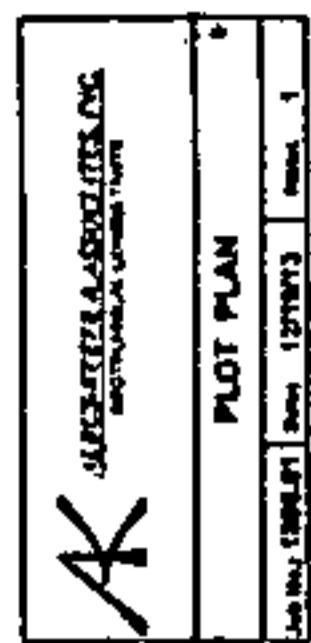
NOTICE 1

CAUTION -
ALL CONTRACTS ARE MADE
BY THE COMPANY AND
NOT BY THE
MANUFACTURER. THE COMPANY
IS NOT RESPONSIBLE
FOR THE MANUFACTURER'S
PRODUCTS.

RT

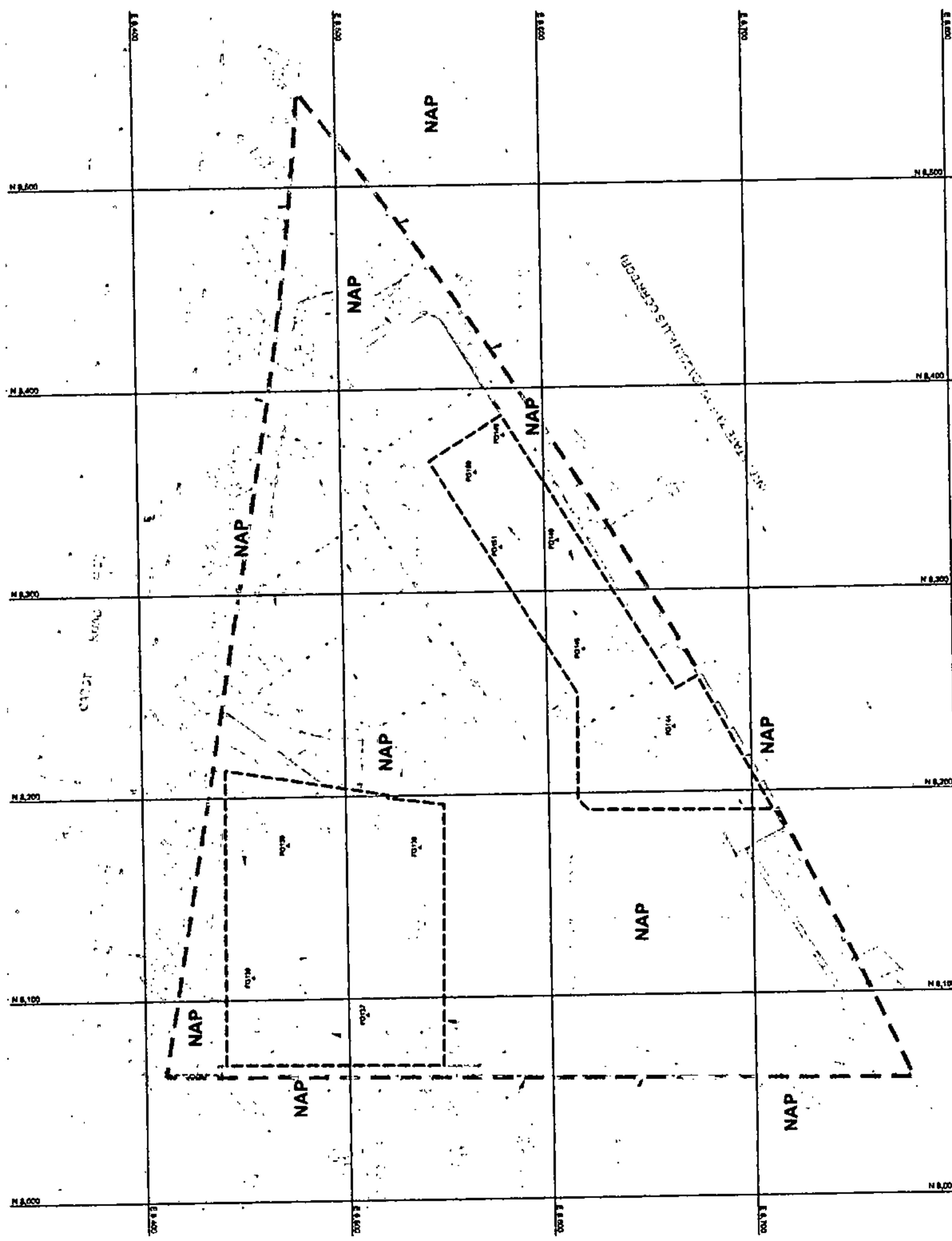
SALE
COLL FREE
227-2600
7 TWO DAY
YOU DO
NO BUSINESS ALONE

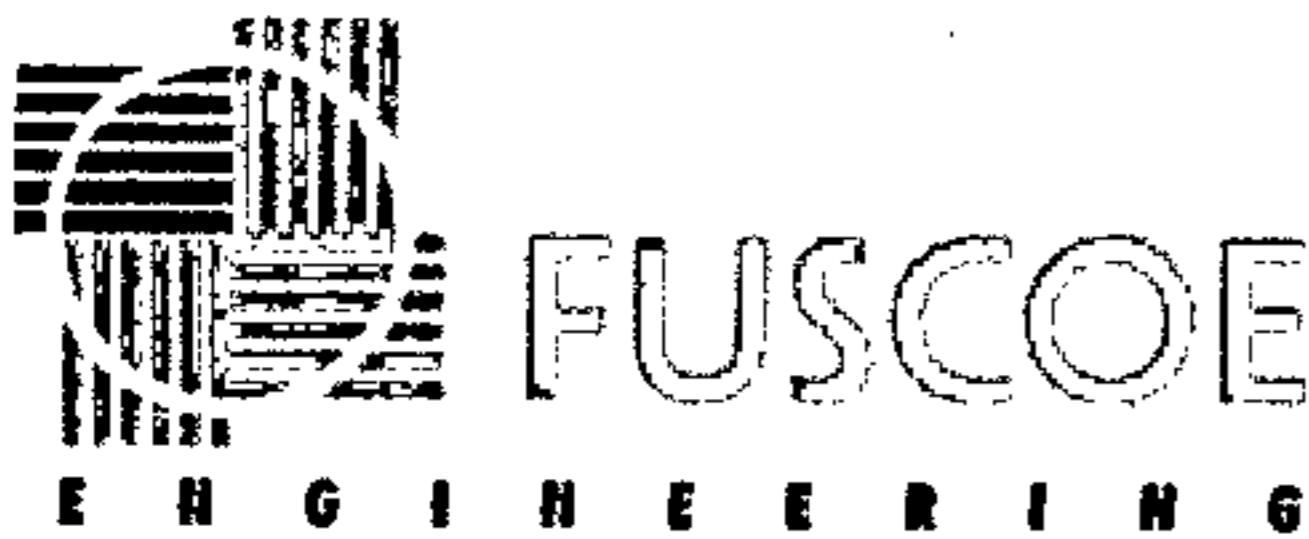
DIAL T
1-300
AT LEAST
SIXTY
THREE



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graph TD
    EXPLANATION[EXPLANATION] --- Q["Q. (Question Answered)"]
    Q --- NAP["NAP"]
    NAP --- 2011["2011"]
    2011 --- A["A."]
  
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Irvine
San Diego
Ontario
Los Angeles
El Centro
Dana Point

December 23, 2013

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector
Subject: Civil Engineer's Certification of Rough Grading – 2 building areas, see attached.
Reference Project: Grading Permit No.: G12-23
Address: 28100 Cabot Road, Laguna Niguel, Career Lofts
Tract No.: PCL map 88-274 Parcel 2, inclusive

I hereby approve the rough grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Rough grading of 2 building area's (see attached) has been completed substantially in conformance with the approved grading plan for this project and in full compliance with said Codes. Note: one shot requiring adjustment was noted in an exhibit and sent to the contractor for correction. Certification includes vertical control for the building pad. This certification does not include approval of the placement and compaction of earthwork within the purview of others.

Sincerely,

FUSCOE ENGINEERING, INC.

O. Slasor

Oriana Slasor, P.E.
RCE 63451



FUSCOE ENGINEERING

16795 Von Karman, Suite 100, Irvine, California 92606 • tel 949.474.1960 • fax 949.474.4315 • www.fuscoe.com



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 • Fax: (949) 888-1380

Page 1

GMU REFERENCE NO.: G12-023

DATE: December 20, 2013

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013.

REFERENCES: (1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012. (4) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012. (5) "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013. (6) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (7) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.



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Page 2

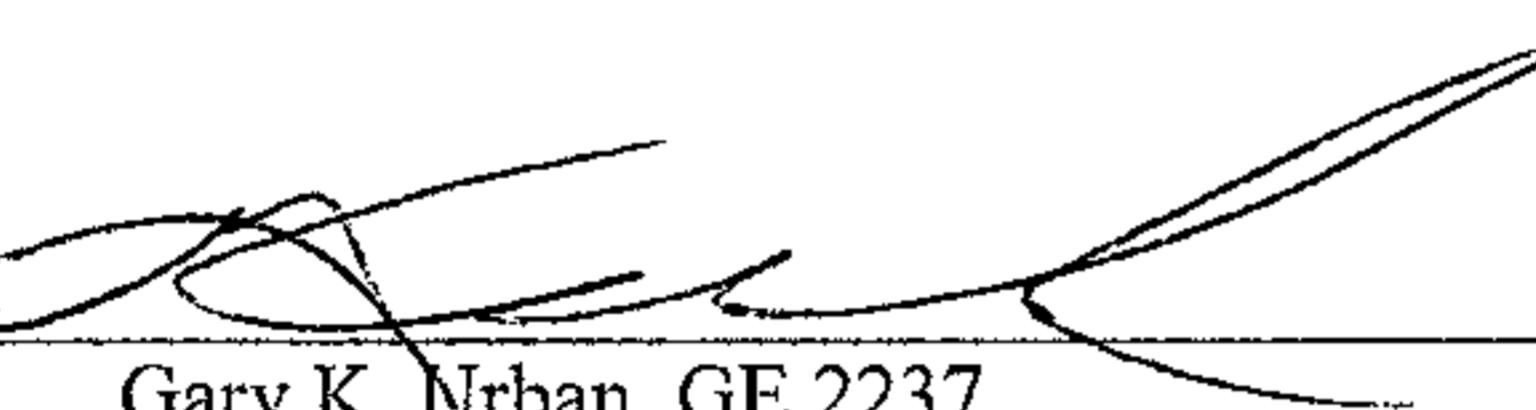
GMU REFERENCE NO.: G12-023

DATE: December 20, 2013

ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW

REVIEWED BY:


Gary K. Urban, GE 2237
Principal Engineer

DISTRIBUTION:

Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Phil Andoni, United American Properties



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:
GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 • Fax: (949) 888-1380

Page 1

GMU REFERENCE NO.: G12-023

DATE: December 27, 2013

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Rework of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 26, 2013.

REFERENCES: (1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012. (4) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012. (5) "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013. (6) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (7) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (8) "Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013.



CITY OF LAGUNA NIGUEL

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GEOTECHNICAL REVIEW SHEET

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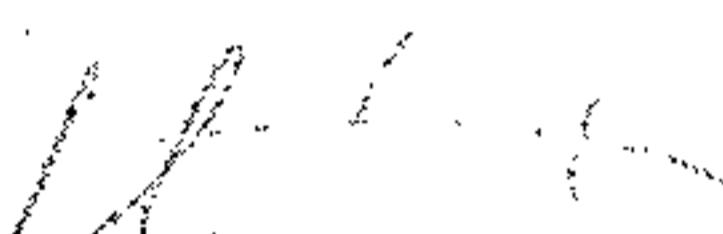
Page 2

GMU REFERENCE NO.: G12-023

DATE: December 27, 2013

ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW

REVIEWED BY: 

Lisa L Bates, CEG 2293
Engineering Geologist

DISTRIBUTION: Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Greg Clayton, United American Properties



23241 Arroyo Vista
Rancho Santa Margarita
CA 92688

voice: 949.888.6513
fax: 949.888.1380
web: www.gmugeo.com

GEOTECHNICAL REVIEW FEE SHEET

ATTENTION: Abdullah Sharif
FROM: Lisa Bates and Gary Urban
GMU Geotechnical, Inc.

GMU REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

OWNER OR DEVELOPER: Albus-Keefe & Associates, Inc.

Document Reviewed	Review Sheet Dated	Status of Review	Charge
(1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012.	11-7-12	Not Approved	\$2,455.00
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012.	1-14-13	Approval	\$985.00
Field Inspections, Mtgs, & Email/Tele.	8-13-13		\$2,613.75
"Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.	9-9-13	Not Approved	\$1,192.50
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9-13-13	Not Approved	\$825.00
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9/16/13	Conditional Approval	\$580.00
"Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013.	12/20/13	APPROVED	\$ 415.00



GMU
GEOTECHNICAL, INC.

23241 Arroyo Vista
Rancho Santa Margarita
CA 92688

voice: 949.888.6513
fax: 949.888.1380
web: www.gmugeo.com

"Rework of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 26, 2013.	12/27/13	APPROVED	\$250.00
---	----------	----------	----------



CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway
Laguna Niguel, California 92677
Phone (949) 362-4300 | Fax (949) 362-4340

GEOTECHNICAL REVIEW SHEET

Reviewed by:
GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 · Fax: (949) 888-1380

Page 1

GMU REFERENCE NO.: G12-023

DATE: December 20, 2013

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013.

REFERENCES: (1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012. (4) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012. (5) "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013. (6) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013; (7) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.



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Reviewed by:

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Page 2

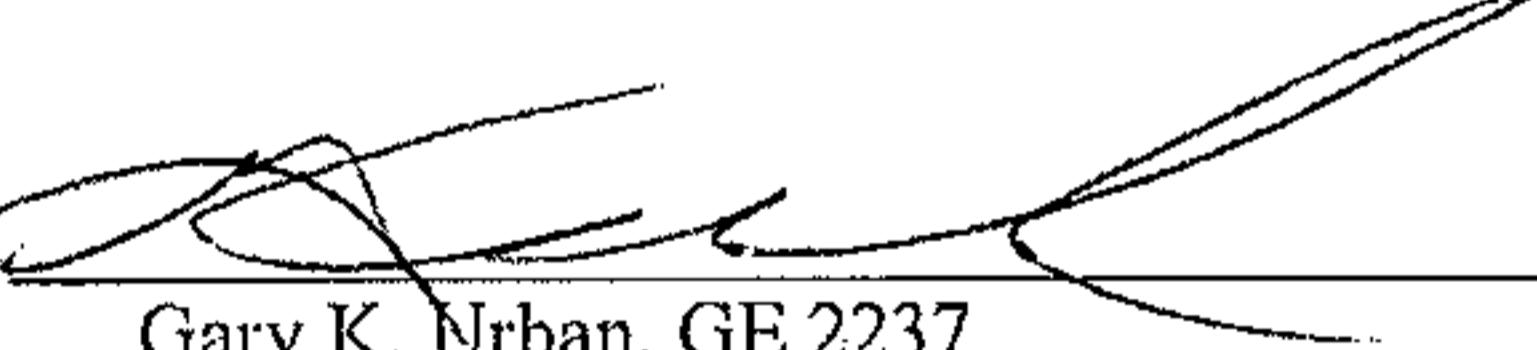
GMU REFERENCE NO.: G12-023

DATE: December 20, 2013

ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
 REQUEST ADDITIONAL DATA FOR REVIEW

REVIEWED BY:


Gary K. Urban, GE 2237
Principal Engineer

DISTRIBUTION: Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Phil Andoniu, United American Properties



23241 Arroyo Vista
Rancho Santa Margarita
CA 92688

voice: 949.888.6513
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GEOTECHNICAL REVIEW FEE SHEET


ATTENTION: Abdullah Sharif
FROM: Lisa Bates and Gary Urban
GMU Geotechnical, Inc.

GMU REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

OWNER OR DEVELOPER: Albus-Keefe & Associates, Inc.

Document Reviewed	Review Sheet Dated	Status of Review	Charge
(1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012.	11-7-12	Not Approved	\$2,455.00
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012.	1-14-13	Approval	\$985.00
Field Inspections, Mtgs, & Email/Tele.	8-13-13		\$2,613.75
"Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.	9-9-13	Not Approved	\$1,192.50
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9-13-13	Not Approved	\$825.00
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9/16/13	Conditional Approval	\$580.00
"Completion of Remedial Grading, Slab Fill for Portions of Building Pad for the Main Building, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 19, 2013.	12/20/13	APPROVED	\$ 415.00





ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

January 9, 2015
J.N.: 1806.01

Mr. Greg Clayton
United American Properties
4699 Jamboree Road
Newport Beach, California 92660

Subject: Laboratory Test Results for Planting Media for Proposed Bioswales, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California.

Dear Mr. Clayton,

As requested, a sample of the planting media placed within the rear bioswale at the site was collected and sampled. A representative of this firm obtained a sample from the upper 3 feet of the as-constructed bioswale on November 28, 2014 and returned the sample to our laboratory facility.

Requirements for the planting media state that such media must be highly permeable and high in organic matter. Planting media must consist of 60-70% sand, 15-25% compost, and 10-20% topsoil. The organic content of the soil mixture should be 8-12% and the pH should range between 5.5-7.5. Additionally, the saturated hydraulic conductivity test must be greater than 0.5 in/hr.

Gradational testing was performed in accordance with ASTM D 422. The results indicate the material contained 69% sand. Testing for organic content was performed in accordance with ASTM D2974. The results indicate the material contained 7.3% organic content. Testing for pH was performed in accordance with California Test Method 643. The results indicated a value of 7.32. Using the results of the gradation testing and estimated in-place density (85% of ASTM D1557), we estimated the saturated hydraulic conductivity using the Kozeny-Carmen equation (Chapuis, R.P., and Aubertin, M 2003). From this relationship, we estimate a saturated conductivity of 2.8 in./hr. Results of laboratory testing are attached herein.

As there is no particular test method to determine the relative quantities of "compost" and "topsoil", a visual examination was performed. The compost component appeared to essentially consist entirely of organic debris while the topsoil appeared to be a loam soil dispersed in a select clean sand material. The composite material visually appeared to meet the proportional requirements for sand, compost, and topsoil.

Based on our observations and testing, the planting media substantially conforms to the project requirements.

United American Properties

January 9, 2015

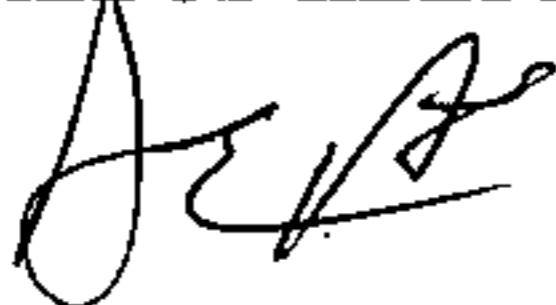
J.N.: 1806.01

Page 2

We hope this correspondence fulfills the current needs of the project. If you have any questions, or require additional information, please contact the undersigned.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



David Albus
Principal Engineer
G.E. 2455

Enclosures:

Grain-size Distribution
Organic Matter Results
Soil Test Results for pH



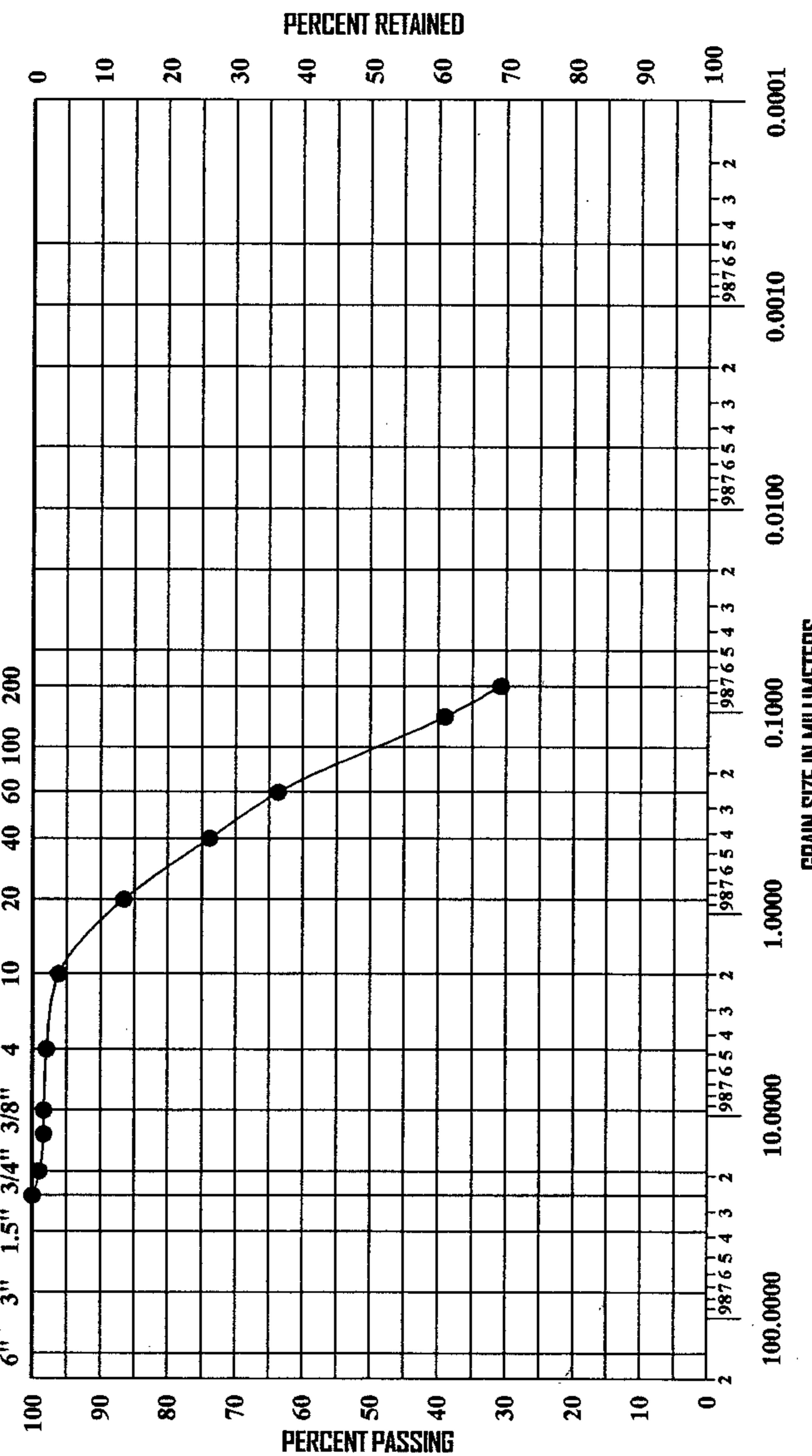
REFERENCES

Chapuis, R.P., and Aubertin, M (2003). "On the use of the Kozeny-Carman equation to predict the hydraulic conductivity of soils." Canadian Geotechnical Journal, 40, 616-628.

UNIFIED SOIL CLASSIFICATION

COBBLES	GRAVEL		SAND			SILT AND CLAY					
	COARSE	FINE	COARSE	MEDIUM	FINE						
	6"	3"	1.5"	3/4"	4"	10	20	40	60	100	200

U.S. STANDARD SIEVE SIZES



LOCATION	DEPTH	SYMBOL	CLASSIFICATION		
			LL	PI	
18	Bio swale	●			Silty Sand (SM)



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

GRAIN SIZE DISTRIBUTION

Job No: 1806.01
Plate No:

JOB NAME: Albus Keefe # 1806.01

DATE: 12/31/2015

14

JOB NO.: 2005-011

BY: LD

ORGANIC MATTER - ASTM D2974

Sample No.	# 18				
Location	0' - 3'				
Tare (grms)	354.98				
Soil (grms)					
Wet Soil + Tare					
Dry Soil + Tare	408.91				
Dry Soil (grms), B	53.93				
Water Content (%)	17.5				
Ashed Soil + Tare (grms)	405				
Ash (grms), C	50.02				
Ash Content (%), D	92.7				
Organic Matter (%)	7.3				

Ash Content, % = (C x 100) / B

Organic Matter, % = 100.0 - D

Albus Keefe # 12-31-14

SOIL TEST RESULTS

UAC

SAMPLE NO.:	12-31-14	Job No. 1806.0
DESCRIPTION	0% BGR Silt Sand w/ organic	
DIRECT SHEAR TEST Type:		
Initial Moisture Content %		
Dry Density (pcf)		
Normal Stress (psf)		
Peak Shear Stress (psf)		
Ultimate Shear Stress (psf)		
Cohesion (psf)		
Internal Friction Angle (degrees)		
EXPANSION TEST UBC STD 18-2		
Initial Dry Density (pcf)		
Initial Moisture Content %		
Final Moisture Content %		
Pressure (psf)		
Expansion Index	Swell %	
CORROSION TEST		
Resistivity (CTM643) (ohm-cm)	7,32	
CHEMICAL TESTS		
Soluble Sulfate (CTM 417) (ppm)		
Chloride Content (CTM 422) (ppm)		
Wash #20 Sieve (ASTM 1140) %		
Sand Equivalent (ASTM D2419) %		



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

January 9, 2015
J.N.: 1806.01

Mr. Greg Clayton
United American Properties
4699 Jamboree Road
Newport Beach, California 92660

Subject: Laboratory Test Results for Planting Media for Proposed Bioswales, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California.

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Based on our observations and testing, the planting media substantially conforms to the project requirements.

We hope this correspondence fulfills the current needs of the project. If you have any questions, or require additional information, please contact the undersigned.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



David Albus
Principal Engineer
G.E. 2455

Enclosures:

Grain-size Distribution
Organic Matter Results
Soil Test Results for pH



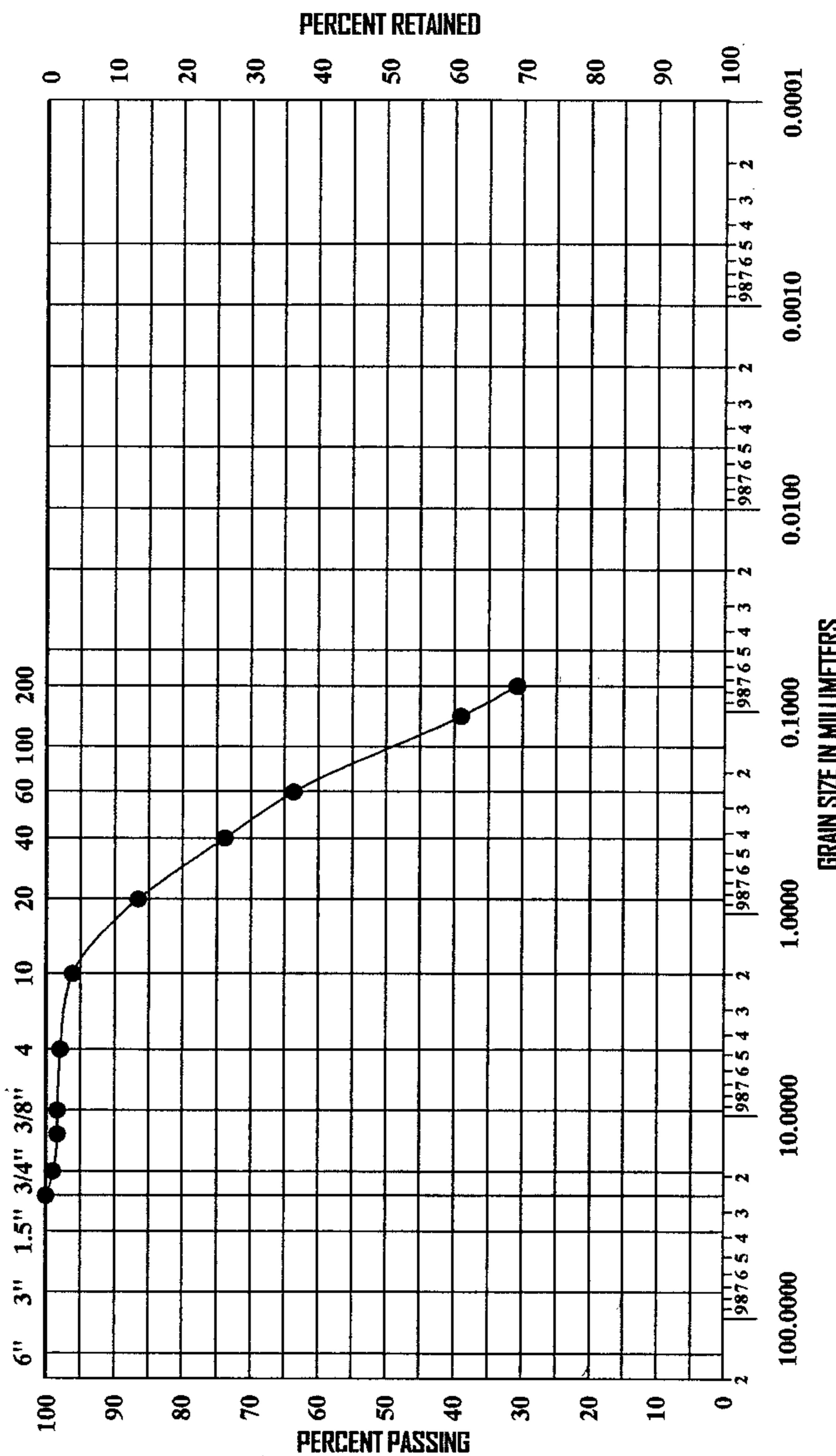
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UNIFIED SOIL CLASSIFICATION

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		COARSE	FINE	COARSE	MEDIUM	FINE		
6"	3"	1.5"	3/4"	3/8"	4	10	20	40

U.S. STANDARD SIEVE SIZES



LOCATION	DEPTH	SYMBOL	LL	PI	CLASSIFICATION
18	Bio swale	●			Silty Sand (SM)
		■	- - -	- ■	
		▲	- - -	- ▲	
		—	- - -	- —	



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

GRAIN SIZE DISTRIBUTION

Job No: 1806.01

Plate No:

JOB NAME: Albus Keefe # 1806.01

DATE: 12/31/2015 *14*

JOB NO.: 2005-011

BY: LD

ORGANIC MATTER - ASTM D2974

Sample No.	# 18				
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Soil (grms)					
Wet Soil + Tare					
Dry Soil + Tare	408.91				
Dry Soil (grms), B	53.93				
Water Content (%)	17.5				
Ashed Soil + Tare (grms)	405				
Ash (grms), C	50.02				
Ash Content (%), D	92.7				
Organic Matter (%)	7.3				

Ash Content, % = (C x 100) / B

Organic Matter, % = 100.0 - D

Albus Keefe # 12-314

SOIL TEST RESULTS

340

Job No. 1801

SAMPLE NO.:	1118
DESCRIPTION	dry brown silt sand w/ organic
DIRECT SHEAR TEST (top)	
Initial Moisture Content %	
Dry Density (pcf)	
Normal Stress (psf)	
Peak Shear Stress (psf)	
Ultimate Shear Stress (psf)	
Cohesion (psf)	
Internal Friction Angle (degrees)	
EXPANSION TEST UBC STD 18-2	
Initial Dry Density (pcf)	
Initial Moisture Content %	
Final Moisture Content %	
Pressure (psf)	
Expansion Index	Swell %
CORROSION TEST	
Resistivity (CTM643) (ohm-cm)	
pH (CTM643)	7.32
CHEMICAL TESTS	
Soluble Sulfate (CTM 417) (ppm)	
Chloride Content (CTM 422) (ppm)	
Wash leach (ASTM 1140) %	
Sand Equivalent (ASTM D2489)	



23241 Arroyo Vista
Rancho Santa Margarita
CA 92688

voice: 949.888.6513
fax: 949.888.1380
web: www.gmugeo.com

Memorandum

To: Mr. Abdullah Sharif **GMU Project No. G12-023**
Agency: City of Laguna Niguel
From: Aron Taylor, MS, PG, CEG
Date: August 13, 2013
Subject: 3rd Party Geologic Field Inspection for Over-Excavation at Career Lofts,
City of Laguna Niguel

As a 3rd party reviewer and representative of the City of Laguna Niguel, GMU performed on-site geologic reviews of the over-excavation bottoms for the proposed parking structure and building at the Career Lofts. On-site inspections were conducted on August 1, 2, 7, 9, and 13. The over-excavation bottoms consisted of landslide debris which has been derived from both the Capistrano Formation and older alluvium.

The conditions observed appear to be consistent with those anticipated and recommended by the geotechnical consultant of record (Albus-Keefe & Associates). GMU also discussed site conditions with the on-site Certified Engineering Geologist (Mr. Michael Spira) from Albus-Keefe. Mr. Spira indicated that the removal bottom comprised of landslide debris is consistent with their findings and recommendations, and in their opinion is suitable for support of the planned fill and structural improvements. Mr. Spira also stated that the geotechnical engineer for Albus-Keefe performed an on-site inspection of the landslide debris and confirmed adequate bearing capacity for the planned fill and structural improvements. Lastly, Mr. Spira recognized that due to localized deeper over-excavations, some of the building foundations may need to be deepened in order to achieve adequate bearing into landslide debris.

As discussed with you and Mr. Spira on August 13, 2013, an as-built report of grading will be prepared by Albus-Keefe and submitted to the City of Laguna Niguel for review prior to issuance of a building permit. This forthcoming as-built report will document the observed geologic conditions in addition to the observation and testing of fill placement.

Please do not hesitate to call if you have any questions regarding this information

Respectfully submitted,

GMU GEOTECHNICAL, INC.

A handwritten signature in black ink, appearing to read 'Aron Taylor'.

Aron Taylor, MS, PG, CEG 2455

Vice President, Principal Engineering Geologist



CITY OF LAGUNA NIGUEL
Community Development Department

30111 Crown Valley Parkway Laguna Niguel, California 92677
Phone: (949) 362-4360 Fax: (949) 362-4369

FAX TRANSMITTAL

DATE: 9/13/13

TO: Mr. David Albus

AGENCY /
COMPANY: Albus - Keefe & Associates, Inc.

FAX #: (714) 630 - 1916

FROM: Abdullah Sharif

TELEPHONE #:

FAX #: (949) 362-4369

Transmitting 4 pages including this page.

Description: Review sheet by GMU.



CITY OF LAGUNA NIGUEL

Public Works/Engineering
27791 La Paz Road X Laguna Niguel, California 92677
Phone (949) 362-4337 X Fax (949) 362-4385

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 • Fax: (949) 888-1380

Page 1

GMU REFERENCE NO.: G12-023

DATE: September 13, 2013

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.

REFERENCES: (1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012. (4) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012. (5) "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.



CITY OF LAGUNA NIGUEL

Public Works/Engineering
27791 La Paz Road X Laguna Niguel, California 92677
Phone (949) 362-4337 X Fax (949) 362-4385

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 • Fax: (949) 888-1380

Page 2

GMU REFERENCE NO.: G12-023

DATE: September 13, 2013

ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See Comments*
 REQUEST ADDITIONAL DATA FOR REVIEW – *See COMMENTS next page.*
Send responses directly to the City of Laguna Niguel, Attention: Mr. Larry Longenecker; GMU Geotechnical will only accept responses forwarded from the City.

COMMENTS

This is a significant, and perhaps unprecedented, design change. We are not aware of any previous projects where a building pad was approved at 83% RC. The proposed change should have been submitted to the City for review prior to the fill being completed, and certainly before footing excavations were initiated. It is our opinion that the fill should have been dried or blended as necessary to achieve the recommended compaction. Re-consider compacting the slab fills to the originally recommended compaction criteria of 85%. If this is unachievable in conjunction with mitigation of the expansive soils, then submit a formal design change with revised recommendations, such as other means of mitigation or justification of the lesser compaction criteria (including: Are any structural elements being supported by the less dense fill, and if so, present settlement calculations; provide revised design recommendations for the building slab to account for the less dense slab fill; etc.)



CITY OF LAGUNA NIGUEL

Public Works/Engineering
27791 La Paz Road X Laguna Niguel, California 92677
Phone (949) 362-4337 X Fax (949) 362-4385

GEOTECHNICAL REVIEW SHEET

Reviewed by:

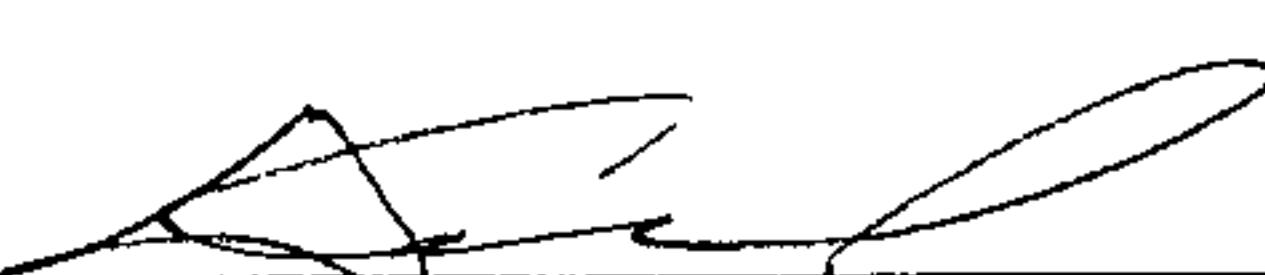
GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
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Page 3

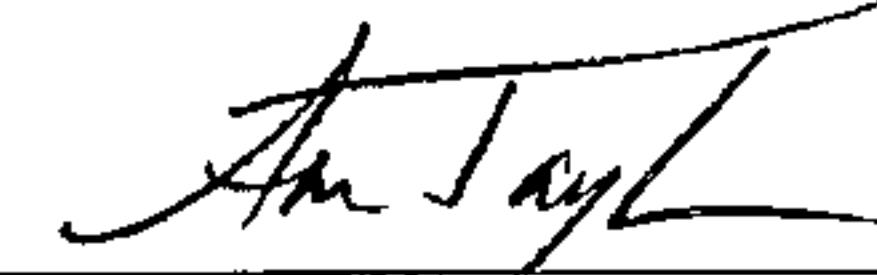
GMU REFERENCE NO.: G12-023

DATE: September 13, 2013

REVIEWED BY:



Gary K. Urban, GE 2237
Principal Engineer



Aron Taylor, M.S., PG, CEG 2455
Principal Engineering Geologist

DISTRIBUTION: Mr. Larry Longenecker, City of Laguna Niguel
Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Phil Andoniu, United American Properties



ALBUS-KEEFE & ASSOCIATES, INC
GEOTECHNICAL CONSULTANTS

December 6, 2013
J.N.: 1806.01

Mr. Greg Clayton
United American Properties
4699 Jamboree Road
Newport Beach, California 92660

Subject: Excavation Bottom Observation, Pool, Spa, and Deck Area Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California.

References: *Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California*, dated August 23, 2013, prepared by Albus-Keefe & Associates, Inc. (J.N.: 1806.01).

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Dear Mr. Clayton,

This firm has observed the excavation bottom for the pool, spa, and deck area located at the north end of the project. The excavation bottom was at an elevation of approximately 308 (MSL) and exposed existing fill materials. In situ density testing indicated that the existing fill materials had a relative compaction of 90% or more. Based on observation and testing, the exposed conditions in the excavation bottom for the subject pool, spa, and deck area is consistent with the findings presented in the referenced geotechnical report for the site and are suitable for its intended use. Proposed fill placement and construction for the pool, spa, and deck area should be performed in accordance to the recommendations presented in our referenced report.

We hope this correspondence provides you the information required at this time. If there are any questions regarding the contents discussed herein, please do not hesitate to call.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.

Michael O. Spira
Principal Engineering Geologist
C.E.G. 1976

David E. Albus
Principal Engineer
G.E. 2455





ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

December 6, 2013
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4699 Jamboree Road
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GEOTECHNICAL CONSULTANTS

December 6, 2013
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4699 Jamboree Road
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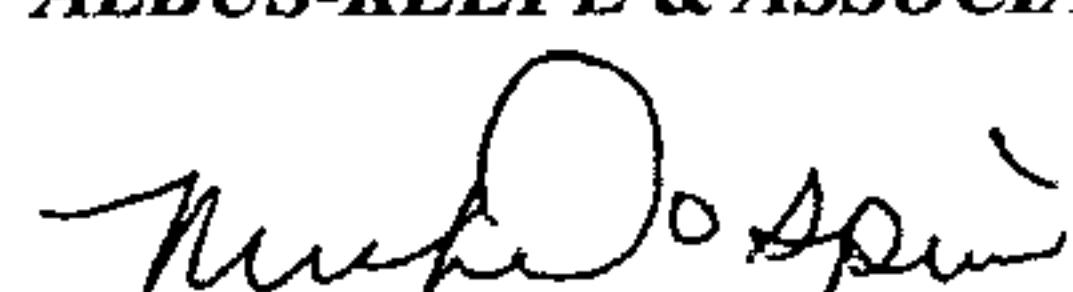
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C.E.G. 1976


David E. Albus
Principal Engineer
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ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

September 23, 2013
J.N.: 1806.01

Mr. Greg Clayton
United American Properties
4699 Jamboree Road
Newport Beach, California 92660

Subject: Foundation Observation, Career Lofts Development, 28100 Cabot Road, Laguna Niguel, California.

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Dear Mr. Clayton,

This firm has observed the footing excavations that are highlighted on the attached plan for the garage portion of the subject site. The subject footing excavations were excavated through the prepared fill materials into competent landslide debris materials consisting of terrace deposits and/or bedrock of the Capistrano Formation. Some of the footing excavations that were deepened to expose competent landslide debris materials were replaced with 6-sack slurry up to the bottom of the proposed footings in conformance to this firm's recommendations. The subject footing excavations are consistent with the findings presented in the referenced geotechnical report for the site and are suitable for their intended use.

We hope this correspondence provides you the information required at this time. If there are any questions regarding the contents discussed herein, please do not hesitate to call.

Sincerely yours,

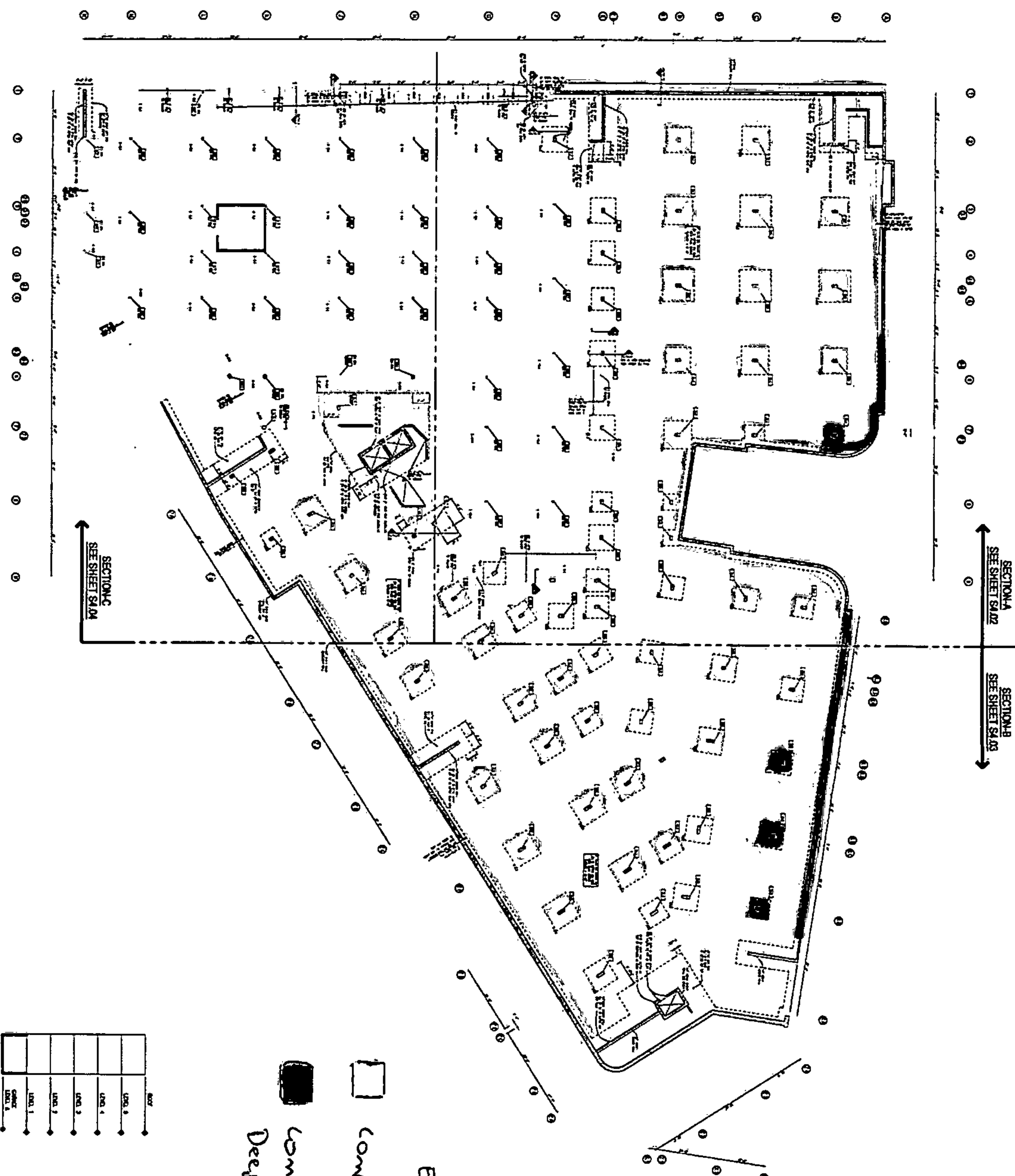
ALBUS-KEEFE & ASSOCIATES, INC.

Michael O. Spira
Principal Engineering Geologist
C.E.G. 1976

David E. Albus
Principal Engineer
G.E. 2455



Attachment: Plate 1-Highlighted Completed Footing Excavation Plan



STRUCTURAL GARAGE PLAN LEVEL A/OVERALL N
NOTE: INDICATED LADS NUMBER
AND A NEW

9-23-2013	PLATE 1
-----------	---------

PROJECT NO.: 12001-0079	PERIOD: APR 07- JUN 07 SUBMITTAL: 11/09/11 PREV. 103	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11
NAME: DCI ENGINEERS	ADDRESS: 205 B STREET, SUITE 700 SAN DIEGO, CALIFORNIA 92101 PHONE: (619) 232-1100 • FAX: (619) 232-1101	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11
DATE: 11/09/11	BY: ROBERT L. COOPER, P.E.	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11
PLATE: 1	TYPE: CIVIL, STRUCTURAL	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11
NOTES: 1. THIS DRAWING IS THE PROPERTY OF DCI ENGINEERS, INC. 2. THIS DRAWING IS FOR THE USE OF THE CONTRACTOR AND THE OWNER ONLY. 3. THIS DRAWING IS NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE.	DCI ENGINEERS 205 B STREET, SUITE 700 SAN DIEGO, CALIFORNIA 92101 PHONE: (619) 232-1100 • FAX: (619) 232-1101 E-MAIL: DCI@DCI.EDU WEBSITE: WWW.DCI.EDU	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11	SEARCHED: INDEXED: SERIALIZED: FILED: 11/09/11

CAREER LOFTS
LAGUNA NIGUEL LLC
4699 JAMBOREE RD
NEWPORT BEACH, CA 92660

HIGHLIGHTED COMPLETED FOOTING
EXCAVATION PLAN

STRUCTURAL GARAGE
PLAN LEVEL A/OVERALL

54.01



ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

714/630-1626 • 714/630-1916 fax

FAX TRANSMITTAL SHEET

To: Abdullah Date: 9/13/13
City of Lagos Nigeria Job # 1806.01

Fax: 949-362-4369 Pages 6
(including cover)

From: Dave Albus

Subject: Response

Message: _____

The information contained in this transmittal and/or attached is intended only for the person(s) indicated above and may contain privileged or confidential information. If you have received this in error, please contact the sender immediately.

1011 N ARMANDO ST • ANAHEIM • CA • 92806-2606



CITY OF LAGUNA NIGUEL
Community Development Department

30111 Crown Valley Parkway Laguna Niguel, California 92677
Phone: (949) 362-4360 Fax: (949) 362-4369

FAX TRANSMITTAL

DATE: 9/13/13

TO: Gary Urban & Aaron

AGENCY /
COMPANY: G my

FAX #: (949) 888-1380

FROM: Abdulla h

TELEPHONE #:

FAX #: (949) 362-4369

Transmitting 3 pages including this page.

Description:



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

September 13, 2013
J.N.: 1806.01

Mr. Greg Clayton
United American Properties
4699 Jamboree Road
Newport Beach, California 92660

Subject: Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California.

References: *Geotechnical Review Sheet*, dated September 13, 2013, prepared by City of Laguna Niguel and GMU Geotechnical, Inc. (GMU Reference No. G12-023).

Geotechnical Review Sheet, dated September 9, 2013, prepared by City of Laguna Niguel and GMU Geotechnical, Inc. (GMU Reference No. G12-023).

Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California, dated August 23, 2013, prepared by Albus-Keeffe & Associates, Inc. (J.N. 1806.01)

Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California, dated June 19, 2012, prepared by Albus-Keeffe & Associates, Inc. (J.N.: 1806.00).

Dear Mr. Clayton,

At your request, *Albus-Keeffe & Associates, Inc.* has prepared this correspondence to respond to the comments presented in the referenced Geotechnical Review Sheet dated September 13, 2013. A copy of the Geotechnical Review Sheet is attached to this correspondence for your reference. The review pertains to our referenced interim compaction report and is a continuation of the issue raised in the prior referenced review sheet dated September 9, 2013.

Item 1:

We consider the "Slab Fill" materials which are defined as those fills placed below the slab on grade and extending to a depth of 24 inches below finish slab surface. This definition is set forth in our referenced report dated June 19, 2012, page 18. This fill does not provide support to the structure since all footings are founded at least 30 inches below finish floor grade and upon bedrock. On most projects, fills are placed to a minimum relative compaction up to finish grade. Thereafter, common practice involves presaturating expansive soils within the slab on grade area to cause an increase in moisture content in order to reduce expansion potential. Because such soils swell upon wetting, they also undergo a reduction in relative compaction. Our intent with the slab fill was to avoid placing the

1011 North Armando Street, Anaheim CA 92806-2606 (714) 630-1626 FAX (714) 630-1916

United American Properties

September 13, 2013
J.N.: 1806.01
Page 2

near-surface soils at a high degree of compaction then undergoing the difficult task of introducing water afterwards to cause an increase in moisture content and corresponding reduction in relative compaction. Interestingly, we are not aware of any common practice of retesting the near-surface soils following a presaturation to determine if the relative compaction has decreased below the minimum specified for general fill placement. Yet the common practice understands that near-surface expansive soils undergo a decrease in relative compaction following presaturation. From our perspective, we see no difference between causing the reduction in relative compaction afterwards through presaturation and placing the soils in a reduced state of compaction initially.

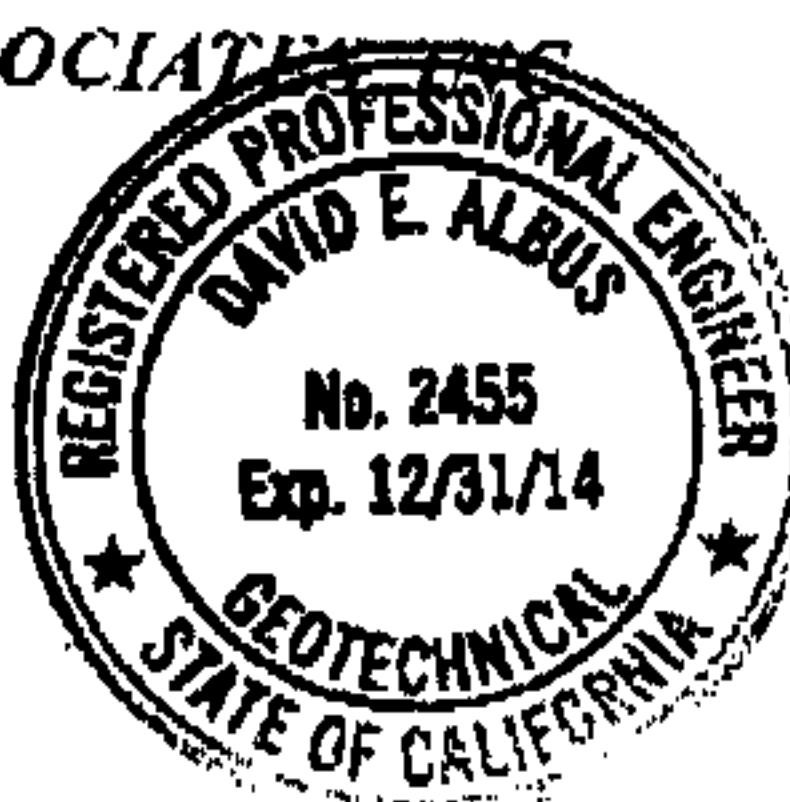
Regardless, we have discussed this issue with our client. They are prepared to reprocess and recompact the portions of Slab Fill that do not meet the minimum relative compaction of 85% until retesting indicates they meet a minimum relative compaction. Since nearly all the footings have been excavated at this time, we recommend the footings be poured then allowed to set. Thereafter, the substandard areas can be reworked and retested. A supplemental report of this work would be presented for review prior to construction of the slab on grade.

We hope this correspondence provides you the information required at this time. If there are any questions regarding the contents discussed herein, please do not hesitate to call.

Sincerely yours,

AK
ALBUS-KEEFE & ASSOCIATES, INC.

David E. Albus
Principal Engineer
G.E. 2455



Enclosure: City of Laguna Niguel Geotechnical Review Sheet dated September 13, 2013

ALBUS-KEEFE & ASSOCIATES, INC.



CITY OF LAGUNA NIGUEL

Public Works/Engineering
 27791 La Paz Road X Laguna Niguel, California 92677
 Phone (949) 362-4337 X Fax (949) 362-4385

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
 23241 Arroyo Vista
 Rancho Santa Margarita, CA 92688
 (949) 888-6513 • Fax: (949) 888-1380

Page 1

GMU REFERENCE NO.: G12-023

DATE: September 13, 2013

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.

REFERENCES: (1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012. (4) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012. (5) "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.



CITY OF LAGUNA NIGUEL

Public Works/Engineering
 27791 La Paz Road X Laguna Niguel, California 92677
 Phone (949) 362-4337 X Fax (949) 362-4385

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
 23241 Arroyo Vista
 Rancho Santa Margarita, CA 92688
 (949) 888-6513 • Fax: (949) 888-1380

Page 2

GMU REFERENCE NO.: G12-023

DATE: September 13, 2013

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED - *See Comments*
- REQUEST ADDITIONAL DATA FOR REVIEW - *See COMMENTS next page.*
Send responses directly to the City of Laguna Niguel, Attention: Mr. Larry Longenecker; GMU Geotechnical will only accept responses forwarded from the City.

COMMENTS

This is a significant, and perhaps unprecedented, design change. We are not aware of any previous projects where a building pad was approved at 83% RC. The proposed change should have been submitted to the City for review prior to the fill being completed, and certainly before footing excavations were initiated. It is our opinion that the fill should have been dried or blended as necessary to achieve the recommended compaction. Re-consider compacting the slab fills to the originally recommended compaction criteria of 85%. If this is unachievable in conjunction with mitigation of the expansive soils, then submit a formal design change with revised recommendations, such as other means of mitigation or justification of the lesser compaction criteria (including: Are any structural elements being supported by the less dense fill, and if so, present settlement calculations; provide revised design recommendations for the building slab to account for the less dense slab fill; etc.)

**CITY OF LAGUNA NIGUEL**

Public Works/Engineering
27791 La Paz Road X Laguna Niguel, California 92677
Phone (949) 362-4337 X Fax (949) 362-4385

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 • Fax: (949) 888-1380

Page 3

GMU REFERENCE NO.: G12-023

DATE: September 13, 2013

REVIEWED BY:

 
Gary K. Urban, GE 2237 Aron Taylor, M.S., PG, CEG 2455
Principal Engineer Principal Engineering Geologist

DISTRIBUTION:

Mr. Larry Longenecker, City of Laguna Niguel
Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keeffe & Associates, Inc.
Mr. Phil Andoniu, United American Properties

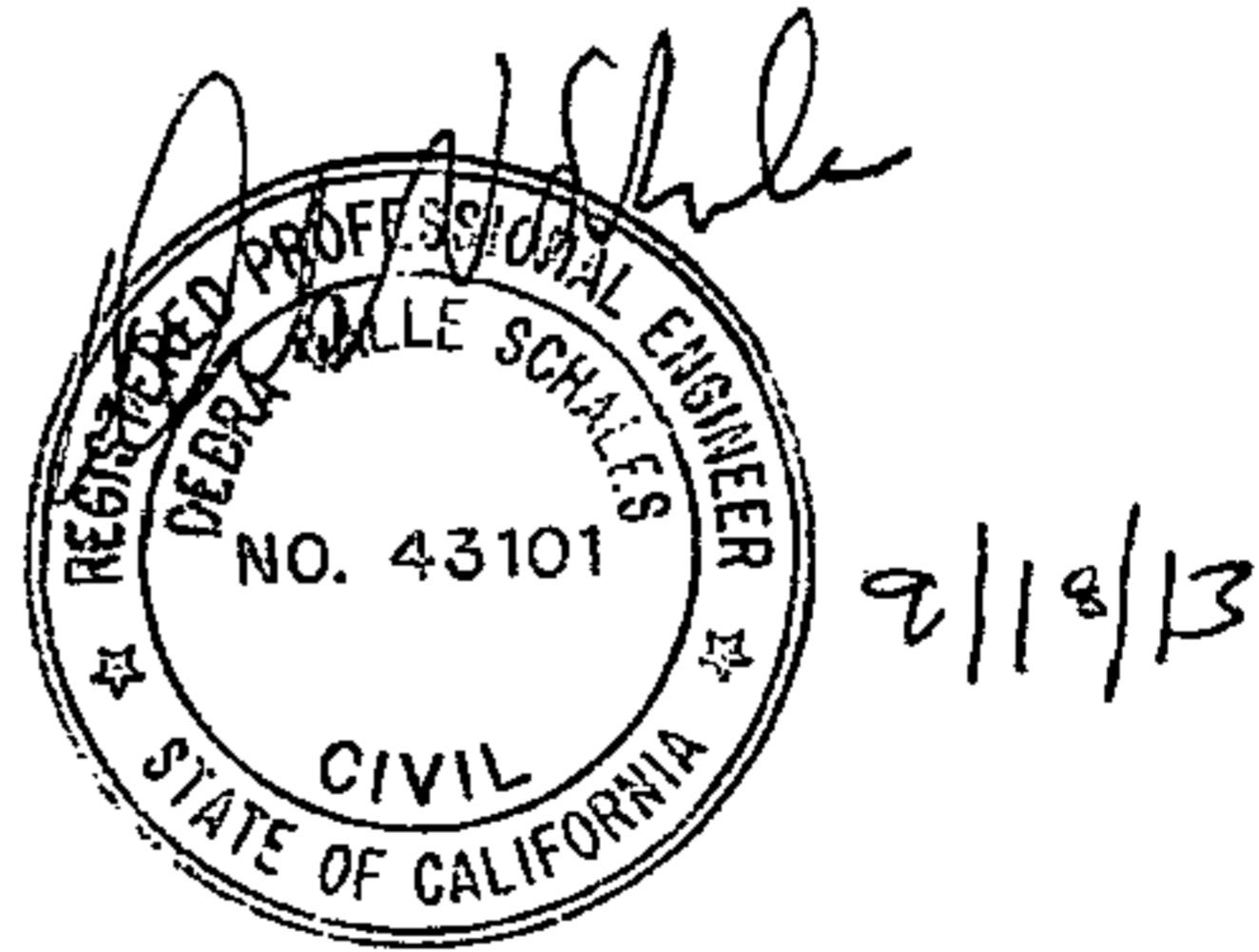


Field Memo

Subject: Line and Grade Certification of 18" RCP

To: City of Laguna Niguel
From: Debra Schales, PE
Date: September 18, 2013, 2:15pm
Project: Career Lofts – 28100 Cabot Road
Grading Permit No: G12-23

Fuscoe Engineering, Debra Schales field-verified the line and grade of the proposed 18-inch storm drain from station 9+99.43 to 10+96.65 found it is acceptable within engineering standards.





CITY OF LAGUNA NIGUEL

Community Development Department
30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

CITY COUNCIL

Laurie Davies
Linda Lindholm
Jerry McCloskey
Robert Ming
Jerry Slusiewicz

COMMUNITY DEVELOPMENT DEPARTMENT

TO: Design Civil Engineers and Architects

FROM: Abdullah Sharif, Grading Engineer

Subgrade

SUBJECT: Required Form For ~~Rough~~ Grade Certification

Subgrade

The following form letter contains the elements considered necessary for compliance with the substance and intent of the Grading and Excavation Code and Grading Section procedures for ~~rough~~ grade certification. Accordingly, substantial conformance with this form letter is required for rough grading approval. The purpose is to achieve compliance and uniformity.

CIVIL ENGINEER'S (ARCHITECTS) LETTERHEAD

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector

Subject: Civil Engineer's (Architects) Certification of Rough Grading

Reference Project: Grading Permit No. G12-23 (Precise)(Preliminary)

Address: 28100 Cabot Road, Laguna Niguel, Career Lofts

Tract No.: PCL map 88-274 Lot(s) Parcel 2, inclusive

Subgrade

I hereby approve the rough grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. ~~Rough~~ grading has been completed substantially in conformance with the approved grading plan which includes: line and grade for all engineered draining devices (grading and ready for paving or construction), staking of property corners for proper building location, location and inclination of all slopes, construction of earthen berms and positive building pad drainage. (All exceptions must be noted).

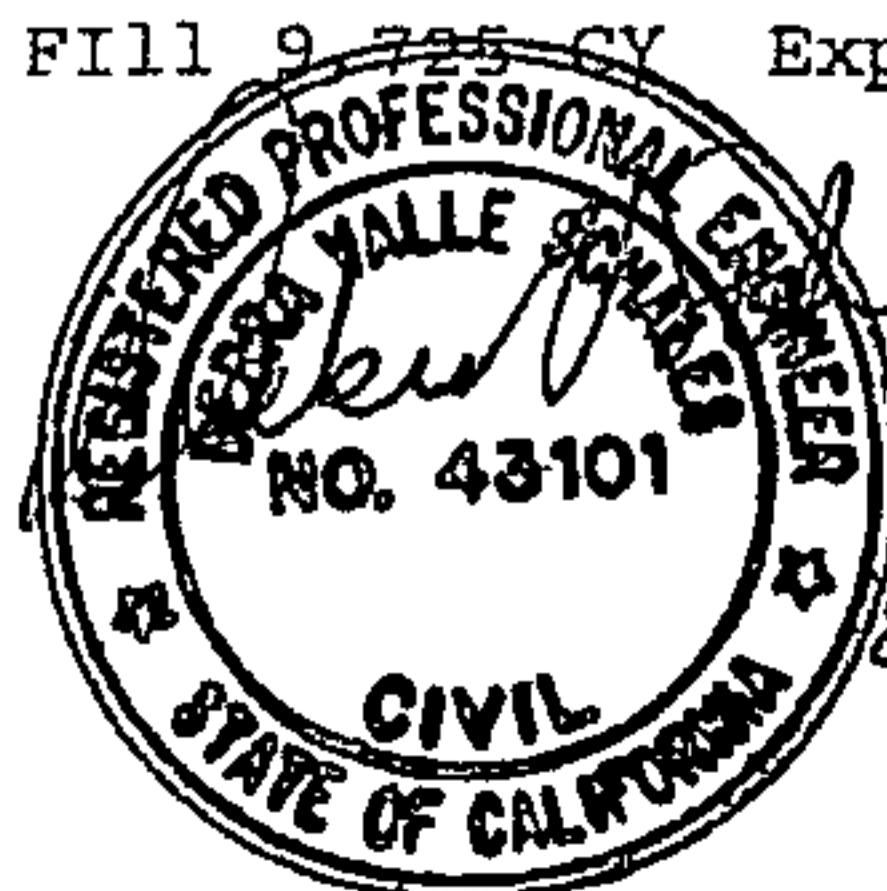
The volume of earth materials moved by cut and/or fill grading (agrees) (does not agree) with the permitted yardage stated on the approved grading plan. The revised volumes of earth material moved are: cu28,246 CY natural fill9,725, 725 yd³ borrowed 0 yd³. The final quantity of subdrain pipe placed was 0 linear feet at a cost of approximately \$ 0.

Robert Ming 8/23/13

Signature

(R.C.E. # 43101) (AIA #)

Cut 28,246 CY Fill 9,725 CY Export 18,521 CY



8/23/13



CITY OF LAGUNA NIGUEL

Community Development Department

30111 Crown Valley Parkway • Laguna Niguel, California 92677
Phone/949•362•4360 Fax/949•362•4369

CITY COUNCIL

Laurie Davies
Linda Lindholm
Jerry McCloskey
Robert Ming
Jerry Slusiewicz

COMMUNITY DEVELOPMENT DEPARTMENT

GRADING CONTRACTOR STATEMENT OF COMPLIANCE

Job Address or

28100 Cabot Road

Tract No.:

Locality:

Laguna Niguel

Owner: CAREER Loft LLC

Permit No.:

G12-23

I declare that the grading was done in accordance with the plans and specifications, the grading ordinance and the recommendations of the Civil Engineer, Soils Engineer and Engineering Geologist. It is understood that this declaration includes only those aspects of the work that can be determined by me, as a competent grading contractor.

The estimated yardage involved in this grading project was:

Excavation: 27,636 c.y.

Fill: 0 c.y.

Import: 0 c.y.

Grading Contractor/Owner

Signature

8-26-13

Date

Instructions:

The owner should sign only if the grading was not done by a licensed Grading Contractor, or if the Grading Contractor is no longer in business. The owner, therefore, assumes the responsibility and liability for the grading as set forth in the above.



Irvine
San Diego
Ontario
Long Beach
Foothill
Dana Point

August 22, 2013

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector

Subject: Civil Engineer's Certification of Final Grading

Reference Project: Grading Permit No.: G12-23

Address: 28100 Cabot Road, Laguna Niguel, Career Lofts

Tract No.: PCL map 88-274 Parcel 2, inclusive

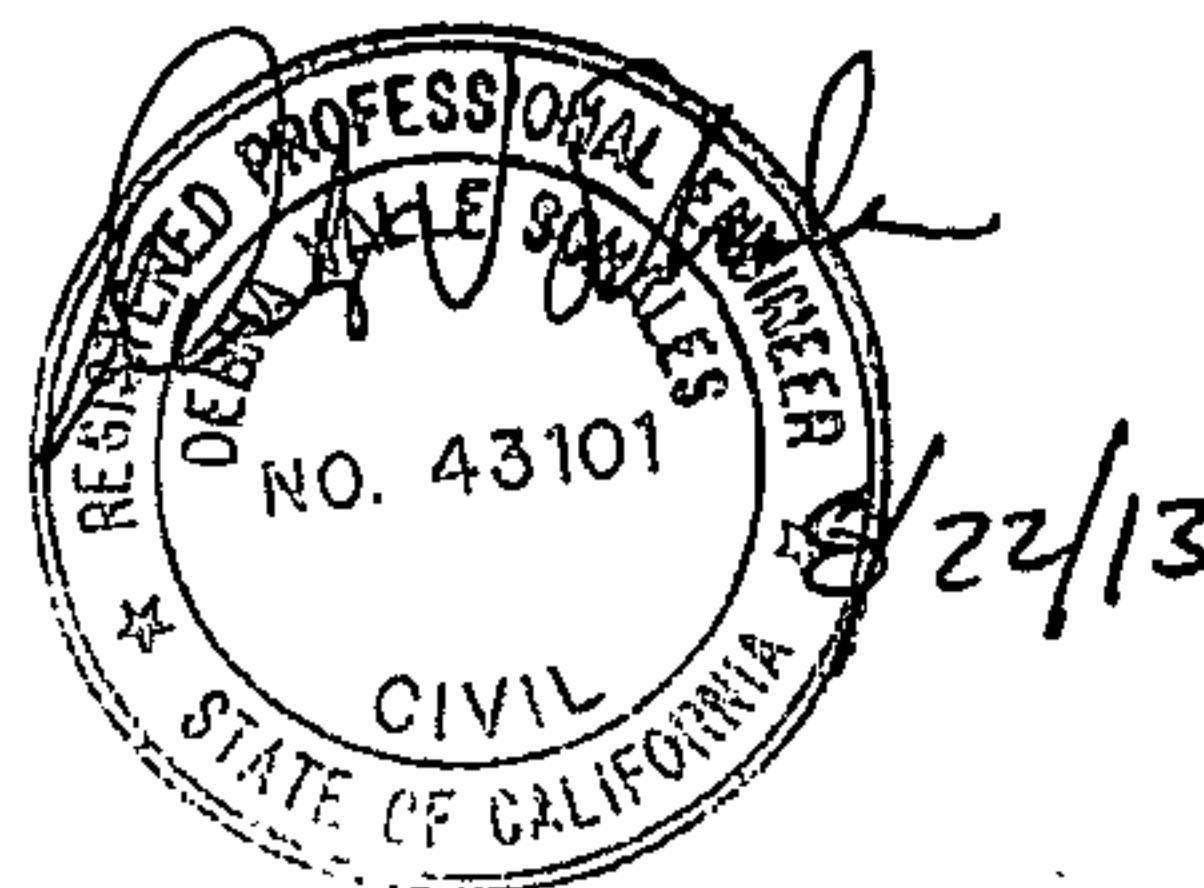
I hereby approve the subgrade grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Subgrade grading has been completed substantially in conformance with the approved grading plan which includes: line and grade for all engineered draining devices (grading and ready for paving or construction), staking of property corners for proper building location, location and inclination of all slopes, construction of earthen berms and positive building pad drainage. (All exceptions must be noted).

The volume of earth materials moved by cut and/or fill grading does not agree with the permitted yardage stated on the approved grading plan. The revised volumes of earth material moved are: cut 28,246 yd³ natural fill 9,725 yd³ export 18,521 yd³.

Sincerely,

FUSCOE ENGINEERING, INC.

Debra Schales, P.E.
RCE 43101



FUSCOE ENGINEERING



Irvine
San Diego
Ontario
Los Angeles
El Centro
Danville

August 22, 2013

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector

Subject: Civil Engineer's Certification of Final Grading

Reference Project: Grading Permit No.: G12-23

Address: 28100 Cabot Road, Laguna Niguel, Career Lofts

Tract No.: PCL map 88-274 Parcel 2, inclusive

I hereby approve the subgrade grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Subgrade grading has been completed substantially in conformance with the approved grading plan which includes: line and grade for all engineered draining devices (grading and ready for paving or construction), staking of property corners for proper building location, location and inclination of all slopes, construction of earthen berms and positive building pad drainage. (All exceptions must be noted).

The volume of earth materials moved by cut and/or fill grading does not agree with the permitted yardage stated on the approved grading plan. The revised volumes of earth material moved are: cut 28,246 yd³ natural fill 9,725 yd³ export 18,521 yd³.

Sincerely,

FUSCOE ENGINEERING, INC.

Debra Schales, P.E.
RCE 43101



full circle thinking®



RECEIVED
SEP 13 2013
COMMUNITY DEVELOPMENT

Irvine
San Diego
Ontario
Los Angeles
El Centro
Danville

August 22, 2013

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector

Subject: Civil Engineer's Certification of Rough Grading

Reference Project: Grading Permit No.: G12-23
Address: 28100 Cabot Road, Laguna Niguel, Career Lofts
Tract No.: PCL map 88-274 Parcel 2, inclusive

I hereby approve the rough grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Rough grading has been completed substantially in conformance with the approved grading plan which includes: line and grade for all engineered draining devices (grading and ready for paving or construction), staking of property corners for proper building location, location and inclination of all slopes, construction of earthen berms and positive building pad drainage. (All exceptions must be noted).

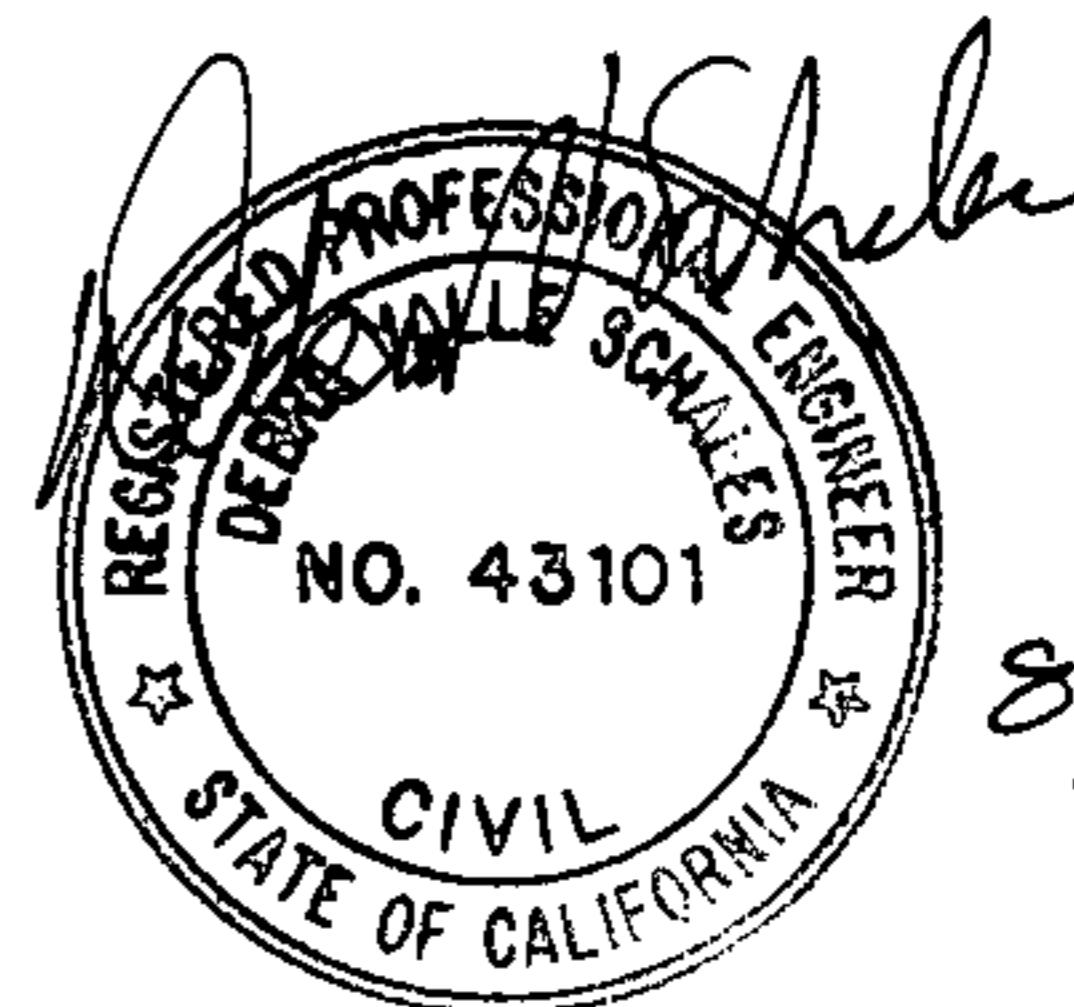
The volume of earth materials moved by cut and/or fill grading does not agree with the permitted yardage stated on the approved grading plan. The revised volumes of earth material moved are: cut 28,246 yd³ natural fill 9,725 yd³ export 18,521 yd³.

Sincerely,

FUSCOE ENGINEERING, INC.

A handwritten signature in black ink that appears to read "Debra Schales".

Debra Schales, P.E.
RCE 43101



full circle thinking

Abdullah Sharif
Grading Department
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

J.T. Yean, Ph.D., P.E., D.WRE, CFM
Consulting Engineer
22341 Blueberry Lane
Lake Forest, CA 92630
(949) 331-5889

Grading Plan (BMPs) / Storm Drain Plan / H&H / WQMP / ESCP REVIEW SHEET

Permits Numbers: G12-23

<u>Report Date</u>	<u>Date Received</u>	<u>Date Reviewed</u>	<u>Plan Check Status</u>
01/28/2013	02/06/2013	02/09/2013	2 nd Plan Check

By the Consulting Firm: **Fuscoe Engineering, Inc./ Oriana Slasor** (949) 474-1960

Project Name: **Career Lofts**

Report Title: **Final WQMP for Career Lofts**

Project Address: **28100 Cabot Road and 73 Toll Road, Laguna Niguel, CA**

Developer/Owner: **Career Lofts – Laguna Niguel, LLC**
Address: **4699 Jamboree Road, Newport Beach, CA 92660**
Telephone: **949-756-8800**

The following design documents have been reviewed and found adequate to mitigate the storm runoff and water quality impacts. Hereby the final approval is recommended for the items below:

1. Hydrology Report for Career Lofts, Prepared by Fuscoe, Dated 01/28/2013,
2. Final Water Quality Management Plan (WQMP) for Career Lofts, Prepared by Fuscoe, Dated 01/28/2013,
3. Precise Grading Plans for Career Lofts, Prepared by Fuscoe, Dated 02/01/2013, specifically for:
 - Sheet #3: Bio-retention Basin Details,
 - Sheet #6: Erosion Control – Excavation Phase,

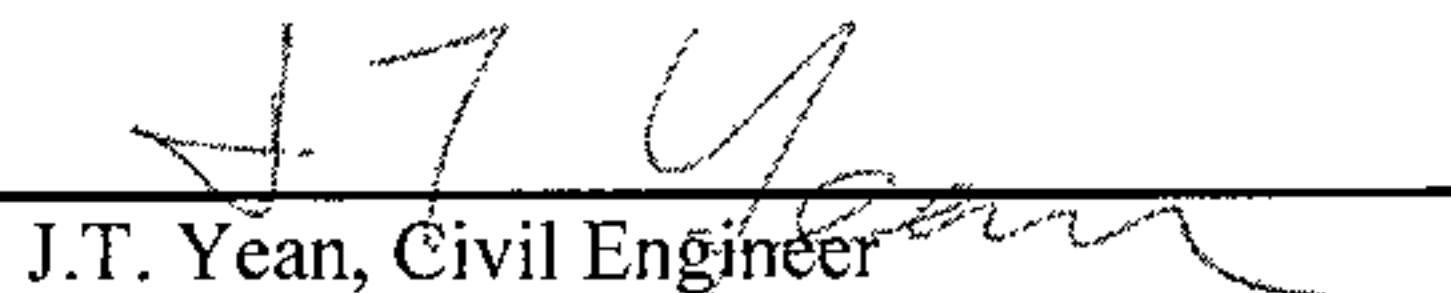
The BMPs and drainage facilities as shown in the above grading plan were found consistent with the BMPs proposed in the Final WQMP and the drainage facilities in the Final Hydrology Study. The erosion control plans for both excavation phase and the final grading phase were found adequate.

Prior to the approval of Precise Grading Plans attend the items below:

- Sheet #10: Storm Drain Plan & Profile: Show detail of the connection between 24" Riser and the proposed 18" RCP in Basin #1.
- Sheet #12: Erosion Control – Final Grading: Correct the errors of SHT-14 in Erosion Control Notes.

If you have any question, please feel free to contact me.

Report Reviewed by:



J.T. Yean, Civil Engineer

Date: **2-11-2013**



JT Yean Company

22341 Blueberry Lane
Lake Forest, CA 92630
Tel: (949) 768-6558

INVOICE

Date: 10/19/2012
Invoice No. LGN-10192012

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, California 92677

Job No. G12-23

Attention: **Abdullah Sharif**

Subject: Grading/Storm Drain/WQ-BMP
Career Lofts
(28100 Cabot Road, Laguna Niguel, CA 92677)

Current Billing Period (10/01/2012 through 10/19/2012)

Contract Item	Contract Amount	Balance
	Hourly	
Grading Plan Check Meeting (with City Staff, 10/19/2012)	\$100@1.5Hr	\$150
Total: \$150		

Thank You

Total Due This Invoice \$150.

Entered

✓
10/23/12



JT Yean Company

22341 Blueberry Lane
Lake Forest, CA 92630
Tel: (949) 768-6558

INVOICE

Date: 02/11/2013
Invoice No. LGN-02112013

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, California 92677

Job No. G12-23

Attention: **Abdullah Sharif**

Subject: Grading Plans/Final WQMP/ Hydrology Report
Career Lofts
(28100 Cabot Road, Laguna Niguel, CA 92677)

Current Billing Period (02/01/2013 through 02/11/2013)

Contract Item	Contract Amount	Balance
	Hourly	
2 nd Review – Final WQMP (Fuscoe, dated 01/28/2013)	\$120@4Hr	\$480
2 nd Review – Hydrology Report (Fuscoe, dated 01/28/2013)	\$120@5Hr	\$600
1 st Plan Check – Precise Grading Plans (Fuscoe, dated 02/01/2013)	\$120@3.5Hr	\$420
		Total: \$1,500

Thank You

O. K.

A

Total Due This Invoice \$1,500.

on 10. 01



JT Yean Company

22341 Blueberry Lane
Lake Forest, CA 92630
Tel: (949) 768-6558

INVOICE

Date: 10/16/2012
Invoice No. LGN-10162012

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, California 92677

Job No. G12-23

Attention: **Abdullah Sharif**

Subject: Final WQMP and Hydrology Report
Career Lofts
(28100 Cabot Road, Laguna Niguel, CA 92677)

Current Billing Period (10/01/2012 through 10/16/2012)

Contract Item	Contract Amount	Balance
	Hourly	
1 st Review – Final WQMP (Fuscoe, dated 9/05/2012)	\$100@6Hr	\$600
1 st Review – Hydrology Report (Fuscoe, dated April/2012)	\$100@5Hr	\$500

Thank You

O.K.
A.

Total Due This Invoice \$1,100.

Abdullah Sharif
Grading Department
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

J.T. Yean, Ph.D., P.E., D.WRE
Consulting Engineer
22341 Blueberry Lane
Lake Forest, CA 92630
(949) 331-5889

Hydrology Report REVIEW SHEET

Permits Numbers: G12-23

<u>Report Date</u>	<u>Date Received</u>	<u>Date Reviewed</u>	<u>Plan Check Status</u>
April, 2012	10/08/2012	10/16/2012	1 st Plan Check

By the Consulting Firm: **Fuscoe Engineering, Inc./ Oriana Slasor** **(949) 474-1960**

Project Name: **Career Lofts**

Report Title: Hydrology Report for Career Lofts

Project Address: 28100 Cabot Road and 73 Toll Road, Laguna Niguel, CA

Developer/Owner: Career Lofts – Laguna Niguel, LLC
Address: 4699 Jamboree Road, Newport Beach, CA 92660
Telephone: 949-756-8800

Prior to approval of hydrology report attend to the items below:

1. Provide a summary table showing the comparison of the existing and the proposed discharges (with and without basins) at the all outlet points for drainage areas A and B.
2. The basins in the hydrology report shall be consistent with the basins proposed in the most current Final WQMP, not the report dated 3/23/2012 as mentioned in Section III, hydrology report.
3. The proposed CSP risers in the report are 24" in Basin#1 and 36" in Basin#2. The grading plan showed 36" CSP for both basins. The basin routing in the hydrology report showed 24" CSP for both basins.
4. The basin routing did not take into account of the orifice flow of the 1^{1/2} holes in outlet riser.
5. Provide basin storage and outlet curves calculations based on the current grading plan.
6. The basin routing parameters and variables shall be consistent with the WQMP and the grading plan.
7. Provide hydraulic data table for Line-A in the report and grading plan/storm drain plan.

If you have any question, please feel free to contact me.

Report Reviewed by: J.T. Yean Date: 10-16-2012

J.T. Yean, Civil Engineer

Abdullah Sharif
Grading Department
City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

J.T. Yean, Ph.D., P.E., D.WRE
Consulting Engineer
22341 Blueberry Lane
Lake Forest, CA 92630
(949) 331-5889

Final WQMP REVIEW SHEET

Permits Numbers: G12-23

<u>Report Date</u>	<u>Date Received</u>	<u>Date Reviewed</u>	<u>Plan Check Status</u>
9/05/2012	10/08/2012	10/14/2012	1 st Plan Check

By the Consulting Firm: Fuscoe Engineering, Inc./ Oriana Slasor (949) 474-1960

Project Name: **Career Lofts**

Report Title: Final WQMP for Career Lofts

Project Address: 28100 Cabot Road and 73 Toll Road, Laguna Niguel, CA

Developer/Owner: Career Lofts – Laguna Niguel, LLC

Address: 4699 Jamboree Road, Newport Beach, CA 92660

Telephone: 949-756-8800

Prior to approval of Final WQMP attend to the items below:

1. Provide complete information required in Section 1.0 including 1.1, 1.2, 1.3 and 1.4.
2. The Table of Priority Projects in Section 1.4 was incorrect. The project does not meet Category 8.
3. The BMP name, Bioretention #1, #2, and #3 in Section 4.3 shall be consistent in Summary Table, WQMP Exhibit, BMP Details, and Basin Routing in Appendix 7.
4. Provide complete information in Appendix 5.
5. Clearly identify the Basin 1 and Basin 2 in Appendix 7 to be consistent with the ID's as shown in WQMP Exhibit.
6. The basin routing in Appendix 7 indicated that outlet riser was a 24" CSP for both Basin 1 and Basin 2. The grading plan showed a 36" CSP for both Basins.
7. The basin routing for Basin 2 indicated that the basin floor was 319.25'. The grading plan showed the basin floor elevation 318.25' and the Rim of outlet riser 319.25'.
8. The basin routing did not take into account of the orifice flow of the 1^{1/2} holes in outlet riser.
9. The WQMP including basin routing parameters and variables shall be consistent with that shown in the grading plan.

If you have any question, please feel free to contact me.

Report Reviewed by: J.T. Yean Date: 10-14-2012

J.T. Yean, Civil Engineer

Abdullah Sharif

From: Gary Urban <gurban@gmugeo.com>
Sent: Wednesday, March 09, 2016 2:48 PM
To: Abdullah Sharif
Subject: Career Lofts

I spoke with Dave Albus regarding the post grading final report. I suggested he prepare a report describing all the post grading work (utility trench backfill, subgrade and base preparation and testing, footing inspections, utility connections in Cabot Road, etc.). His report will describe that they lost all records of test data and test locations. They do have daily reports but their dailies apparently do not include any testing information. I suggested he describe the construction procedures in as much detail as he can and show all the areas in question on a map so there is at least a record of what is missing. I don't know what else to do at this point. The report would need to get approved based on "construction methods" rather than test results.

Gary Urban | CEO, PE, GE



GMU Geotechnical, Inc.
45 Years of Dedicated Service

O 949.888.6513 | gmugeo.com
C 949.633.0613 | gurban@gmugeo.com

23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
[vcard](#) | [Linkedin](#) | [map](#)



Field Memo

Subject: Line and Grade Certification of storm drain – East to Cabot Rd

To: City of Laguna Niguel

From: Debra Schales, PE

Date: June 5, 9:00am

Project: Career Lofts – 28100 Cabot Road

Grading Permit No: G12-23

Fuscoe Engineering, Debra Schales has field-verified the line and grade of the storm drain East to Cabot Rd— see Picture below and found it in Substantial Conformance with the approved plans.

This certification does not include approval of the placement and compaction of earthwork within the purview of others.

Corrections: None



Debra Schales

6/5/15

RCE 43101 - date



6/5/15



Field Memo

Subject: Line and Grade Certification of Pool Deck storm drain

To: City of Laguna Niguel

From: Debra Schales, PE

Date: November 17, 8:00am

Project: Career Lofts – 28100 Cabot Road

Grading Permit No: G12-23

Fuscoe Engineering, Debra Schales has field-verified the line and grade of the Pool deck storm drain with survey points – see attached exhibit and found it in Substantial Conformance with the approved plans.

This certification does not include approval of the placement and compaction of earthwork within the purview of others.

Corrections: None

A handwritten signature in black ink that reads "Debra Valle Schales".

Debra Valle Schales

11/17/15

RCE 43101 - date



11/17/15



Field Memo

Subject: Bio-Retention Basins No. #1,2,3 - Permeable liner and sub-drain

To: City of Laguna Niguel

From: Debra Schales,PE

Date: November 20, 2014, 11:00Am

Project: Career Lofts – 28100 Cabot Road

Grading Permit No: G12-23

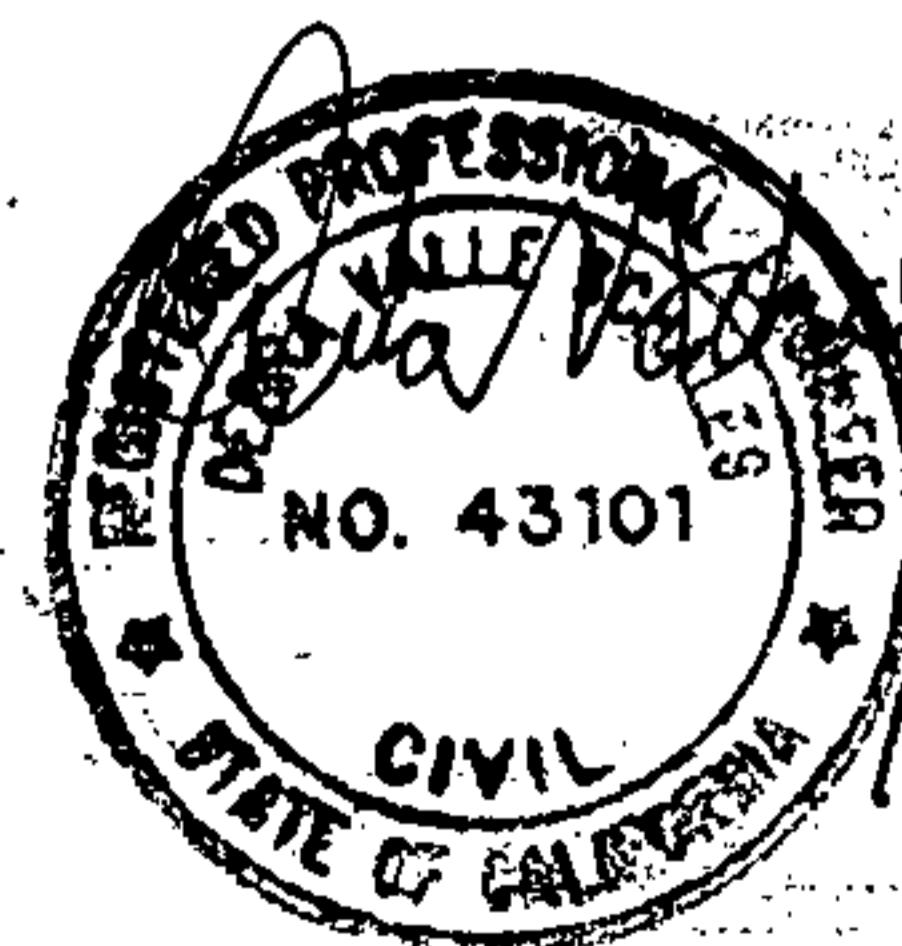
Fuscoe Engineering, Debra Schales has field-verified the Bio-retention Basins number 1, 2 and 3 permeable liner and 6" perforated sub-drain installation. The Liner was adhered to the adjacent wall. The 6" perforated sub-drain was installed at approximately 1 percent and with a filter sock. The Bio-retention Basins are ready for gravel and installation of the remaining soil composite per details D1, D2 and D3 on sheet 3 of 15. The grades are in Substantial Conformance with the approved plans.

This certification does not include approval of the placement and compaction of earthwork within the purview of others.

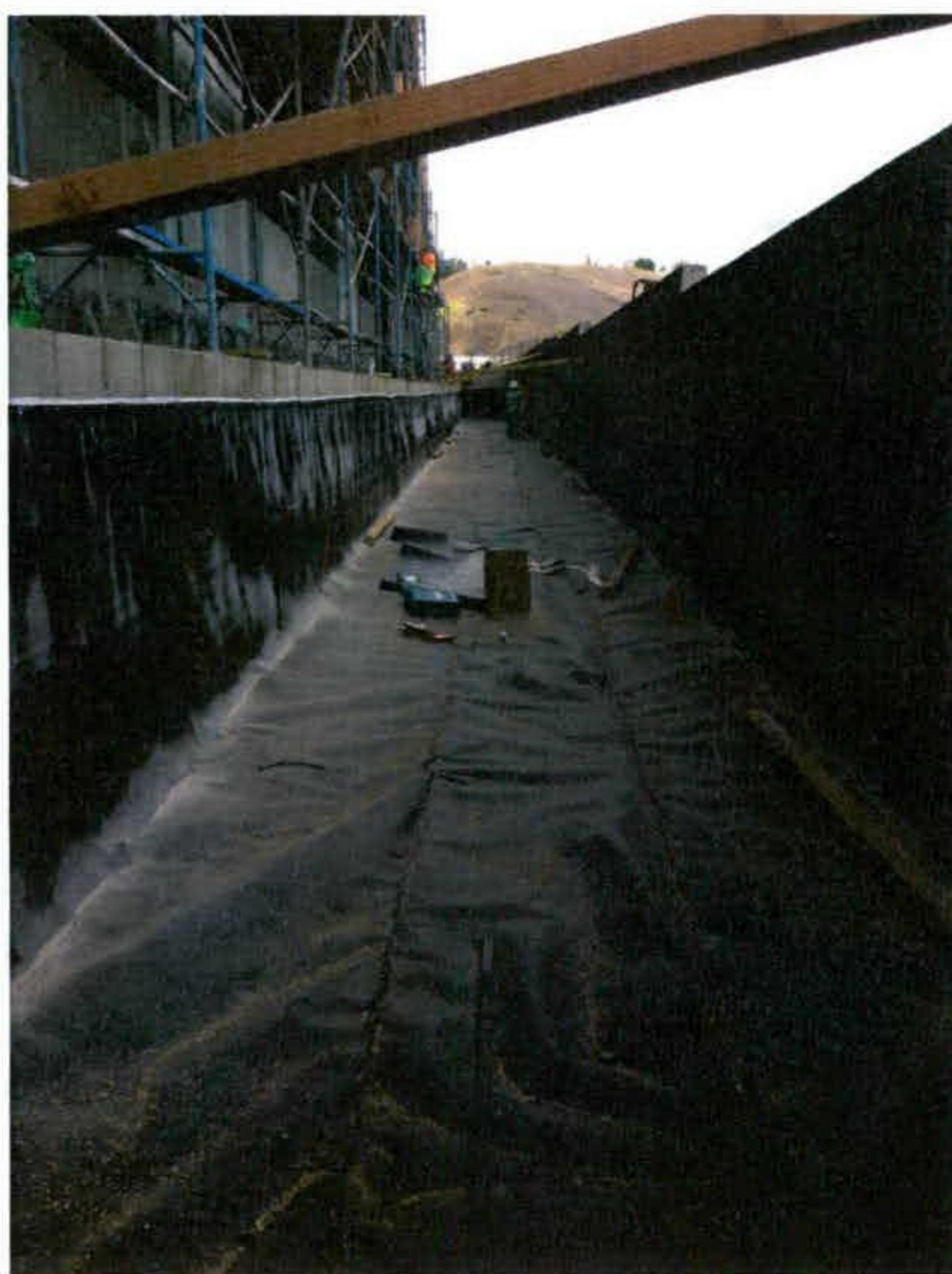
Corrections: None Please see attached photos.


Debra Valle Schales

12/2/14
RCE 43101 date



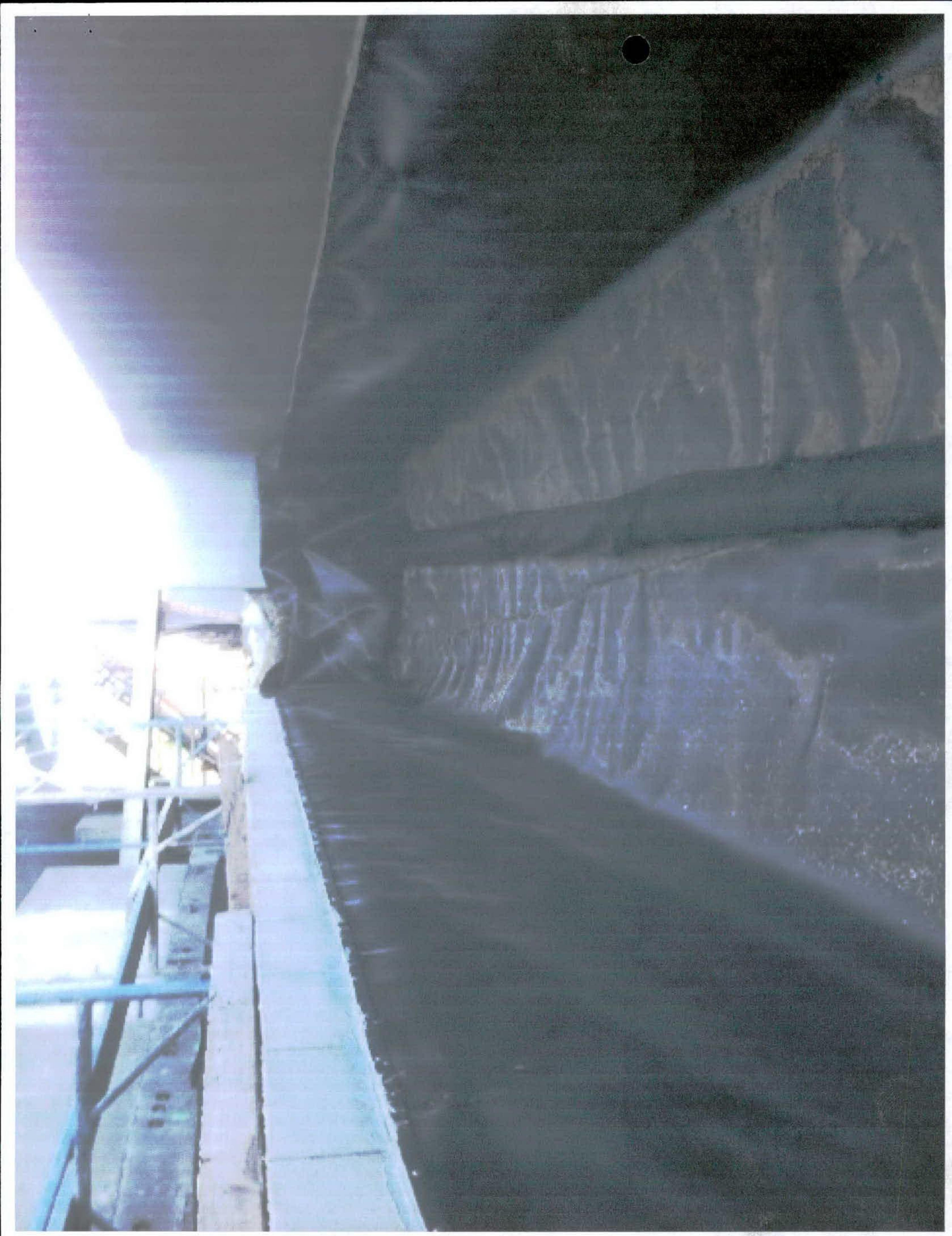
CABOT CAREER LOFTS – Bio Retention Basin No. 1, 2, 3

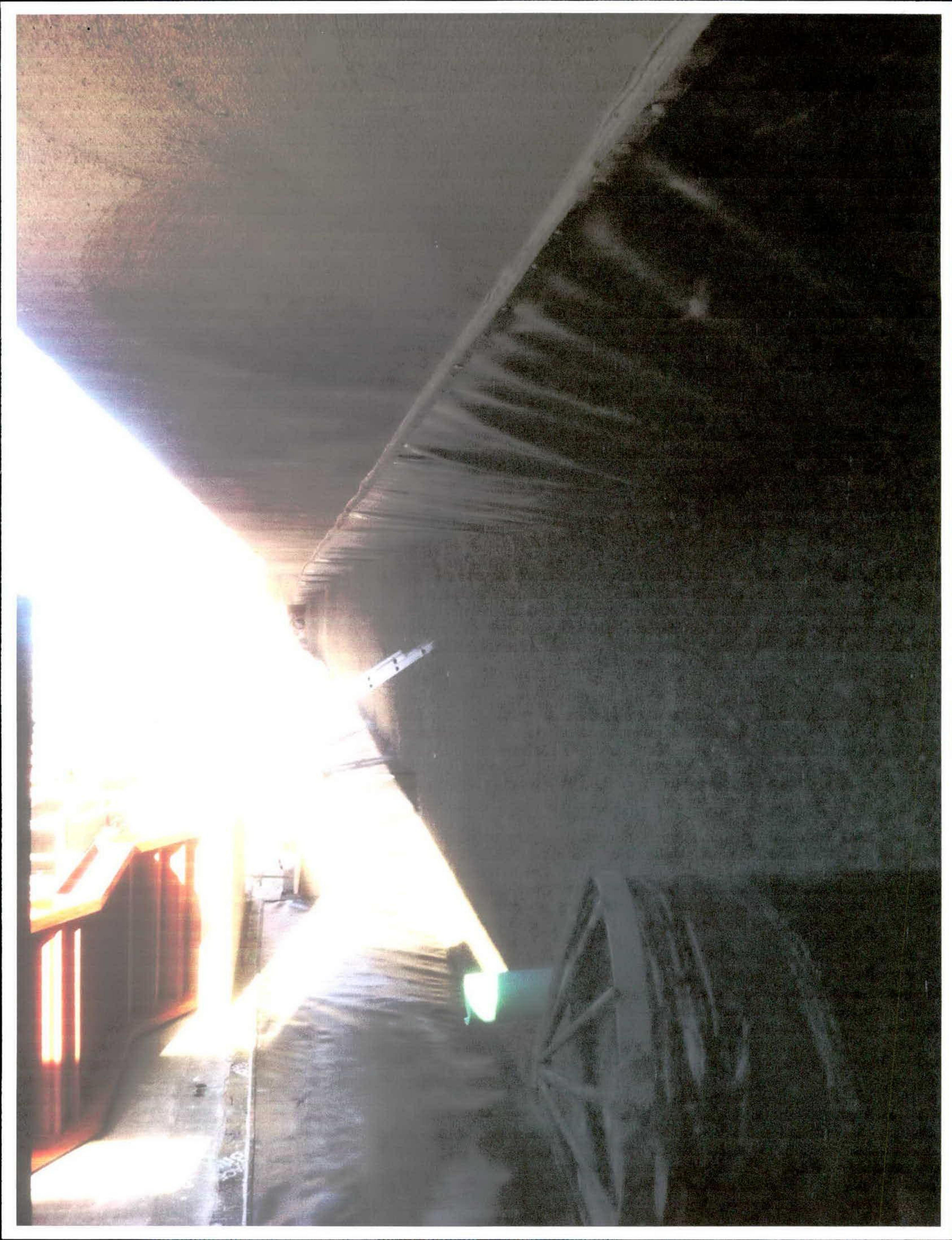


CABOT CAREER LOFTS – Bio Retention Basin No. 1, 2, 3



Fuscoe Engineering Job No. 1213-001











Field Memo

Subject: Bio-Retention Basins No. #1,2,3 - Permeable liner and sub-drain

To: City of Laguna Niguel

From: Debra Schales,PE

Date: November 20, 2014, 11:00Am

Project: Career Lofts – 28100 Cabot Road

Grading Permit No: G12-23

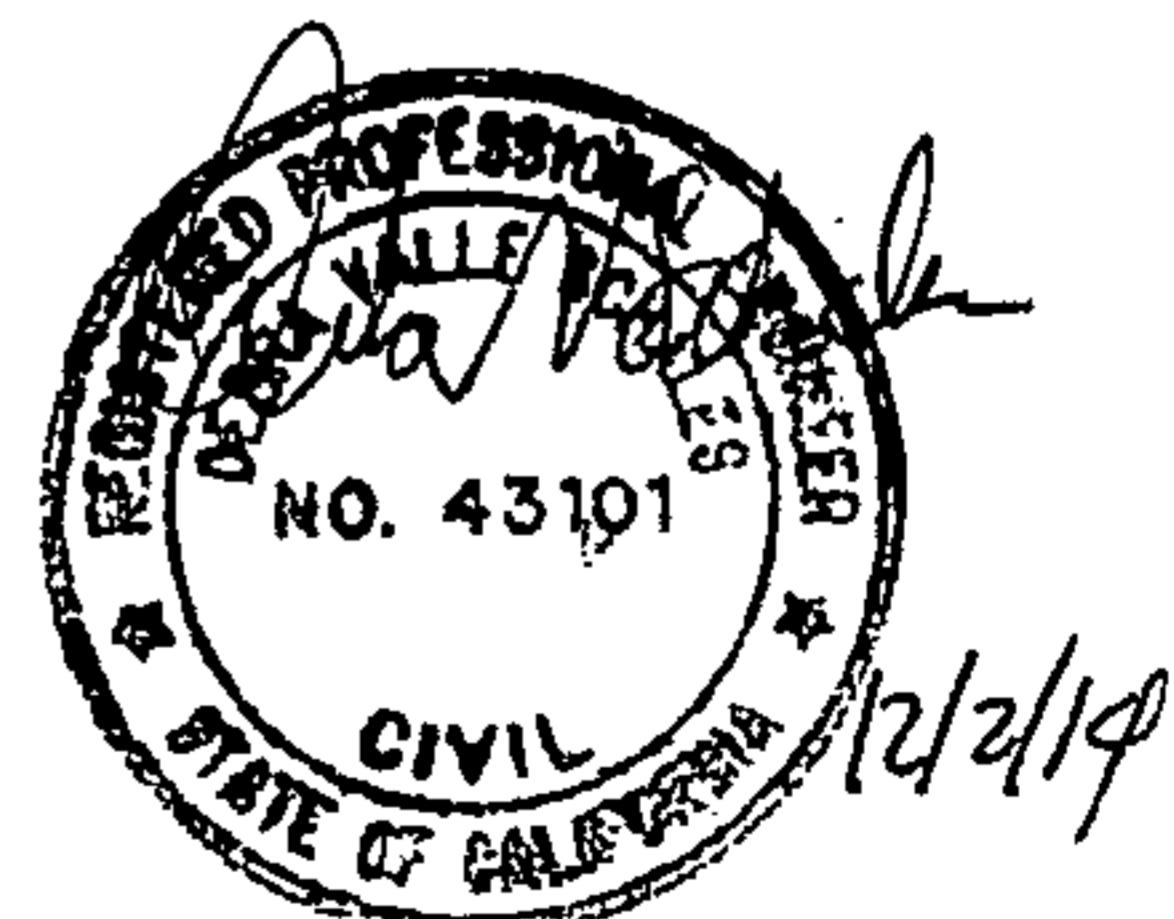
Fuscoe Engineering, Debra Schales has field-verified the Bio-retention Basins number 1, 2 and 3 permeable liner and 6" perforated sub-drain installation. The Liner was adhered to the adjacent wall. The 6" perforated sub-drain was installed at approximately 1 percent and with a filter sock. The Bio-retention Basins are ready for gravel and installation of the remaining soil composite per details D1, D2 and D3 on sheet 3 of 15. The grades are in Substantial Conformance with the approved plans.

This certification does not include approval of the placement and compaction of earthwork within the purview of others.

Corrections: None Please see attached photos.


Debra Valle Schales

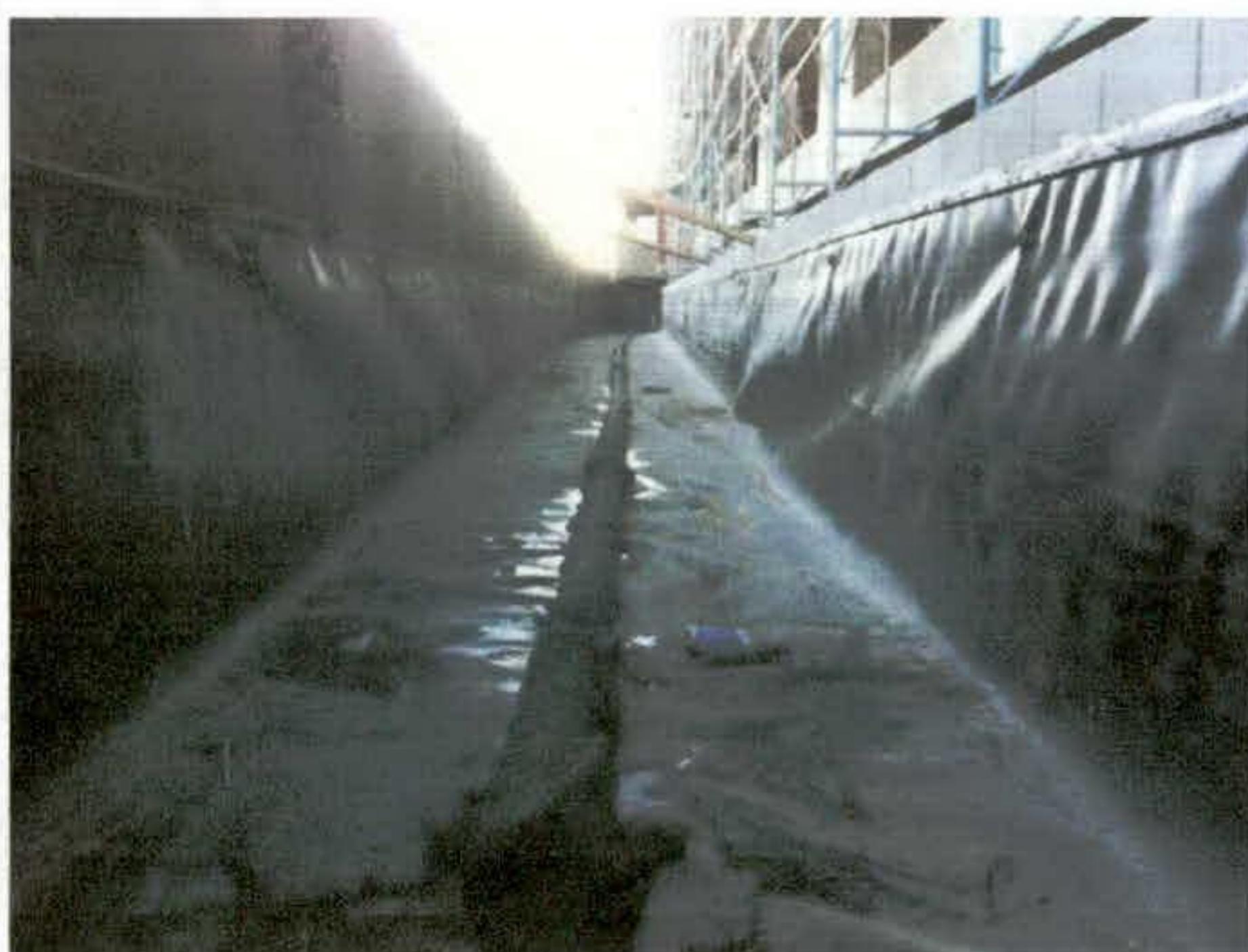
12/2/14
RCE 43101 date



CABOT CAREER LOFTS – Bio Retention Basin No. 1, 2, 3



CABOT CAREER LOFTS – Bio Retention Basin No. 1, 2, 3



Fuscoe Engineering Job No. 1213-001



Field Memo

Subject: Bio-Retention Basins No. #1,2,3 - Permeable liner and sub-drain

To: City of Laguna Niguel

From: Debra Schales, PE

Date: November 20, 2014, 11:00Am

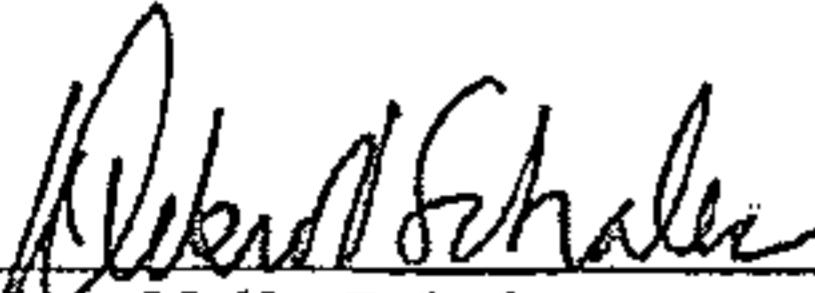
Project: Career Lofts – 28100 Cabot Road

Grading Permit No: G12-23

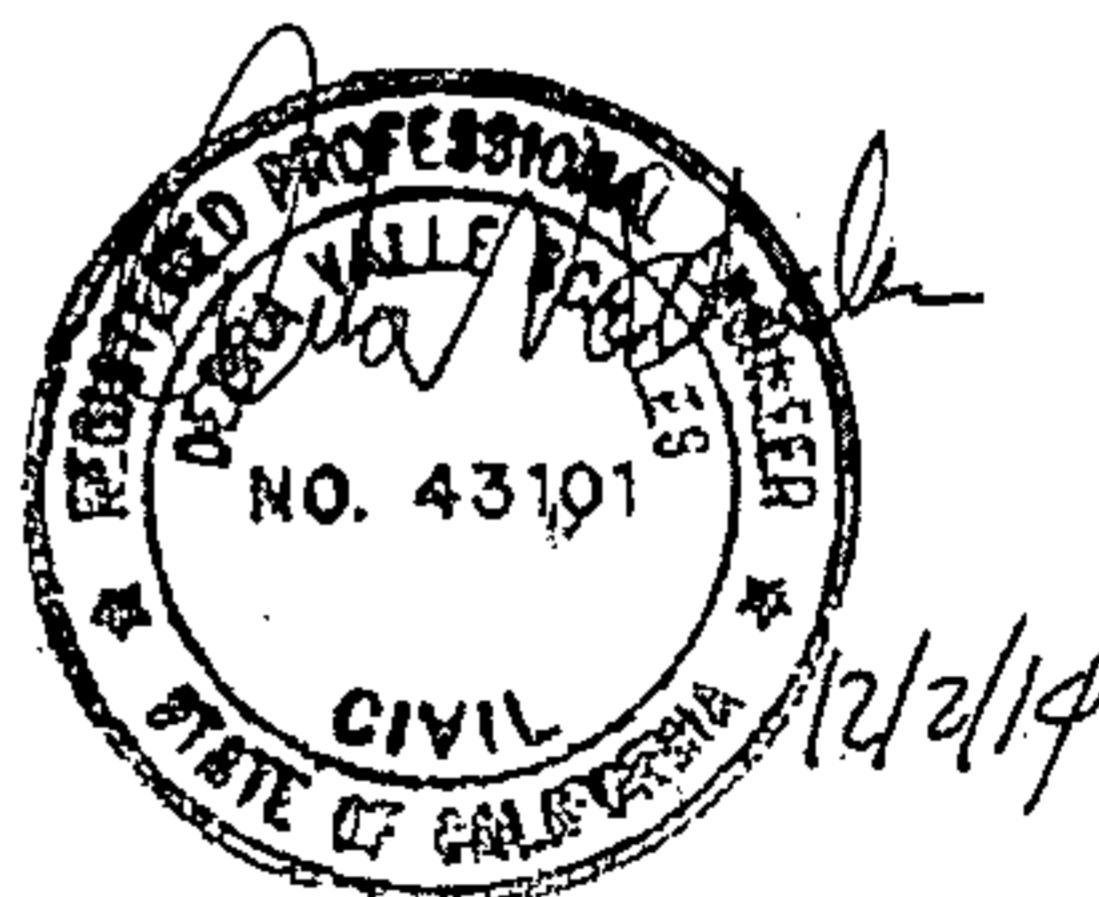
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This certification does not include approval of the placement and compaction of earthwork within the purview of others.

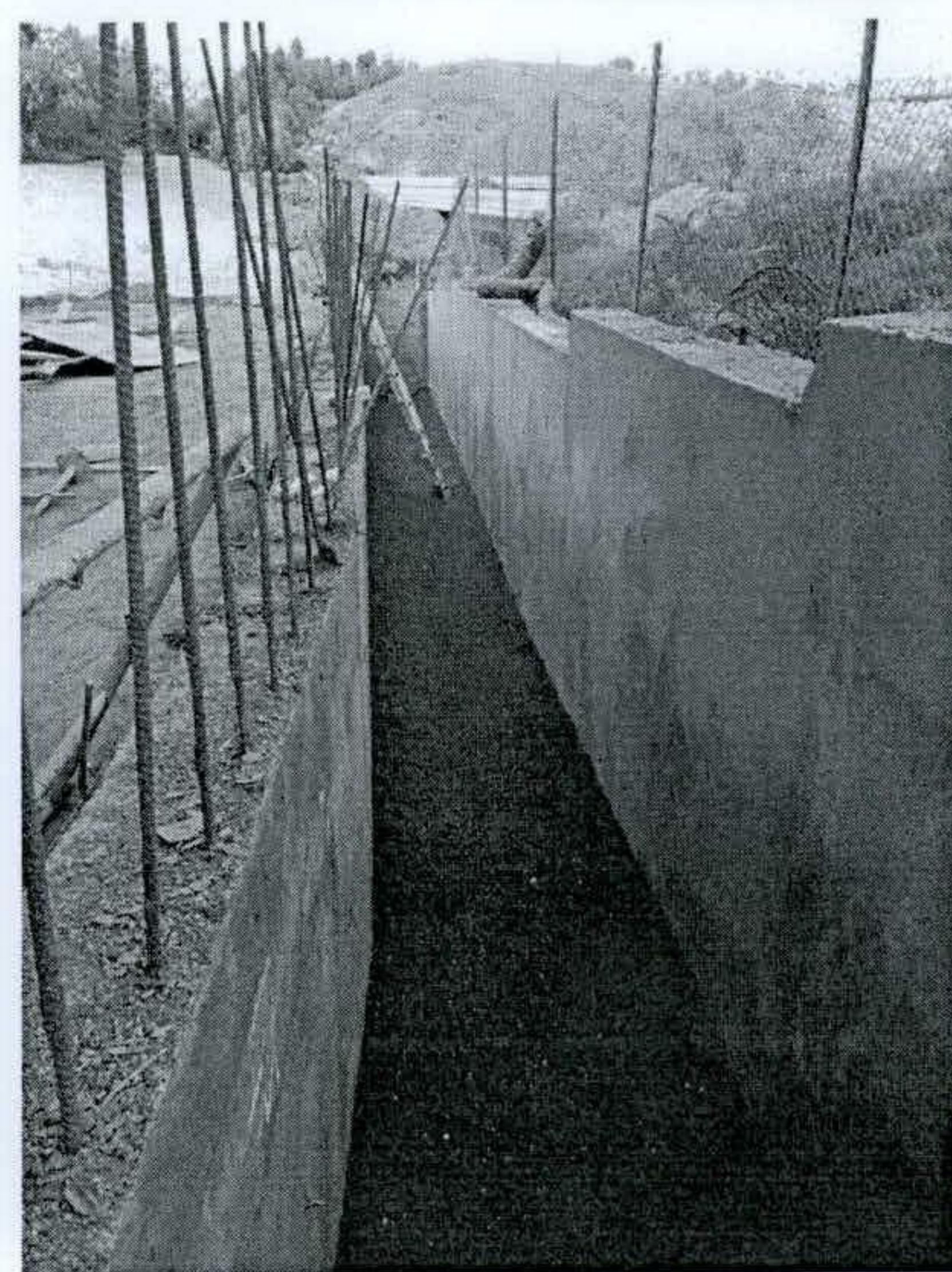
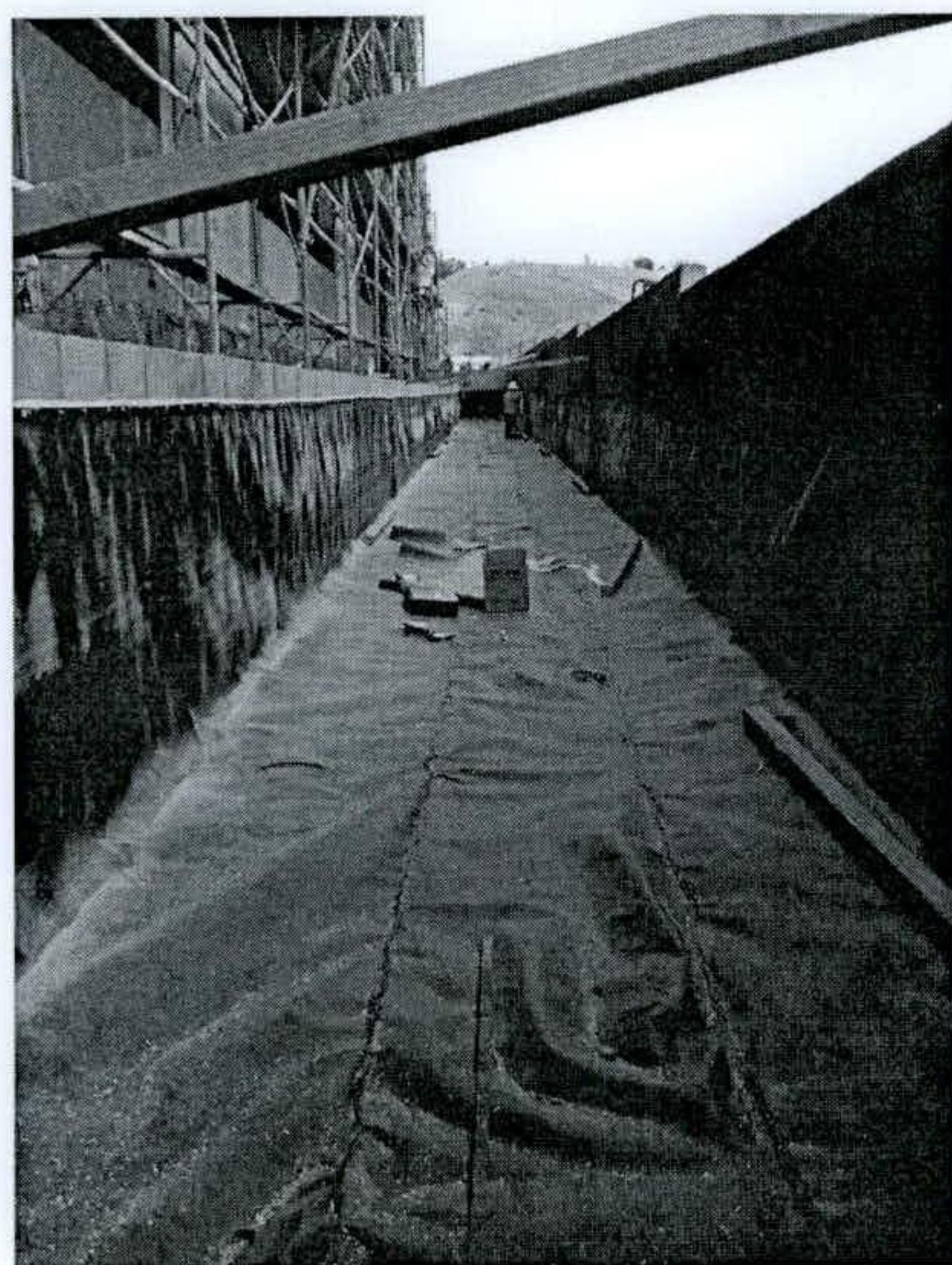
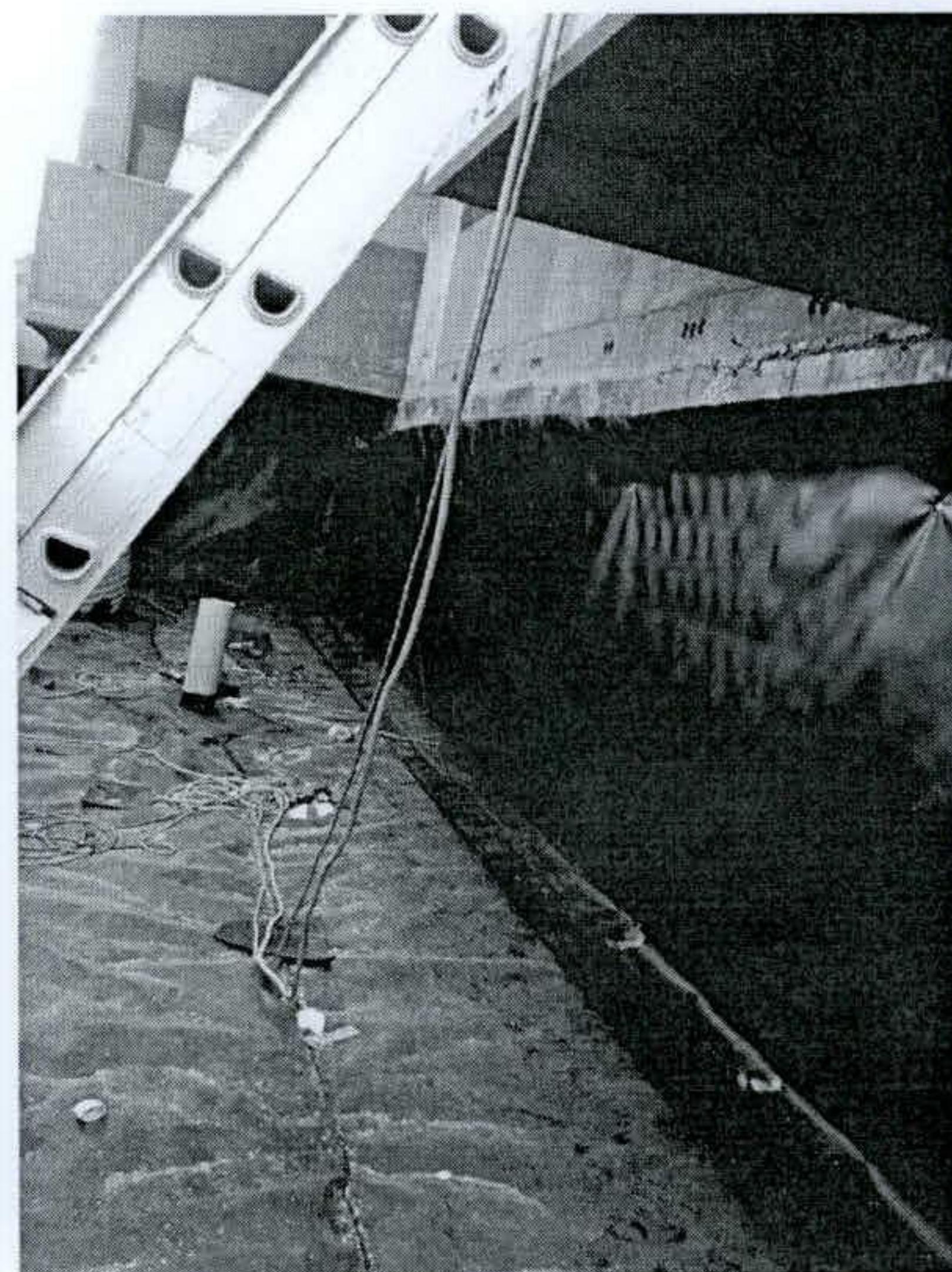
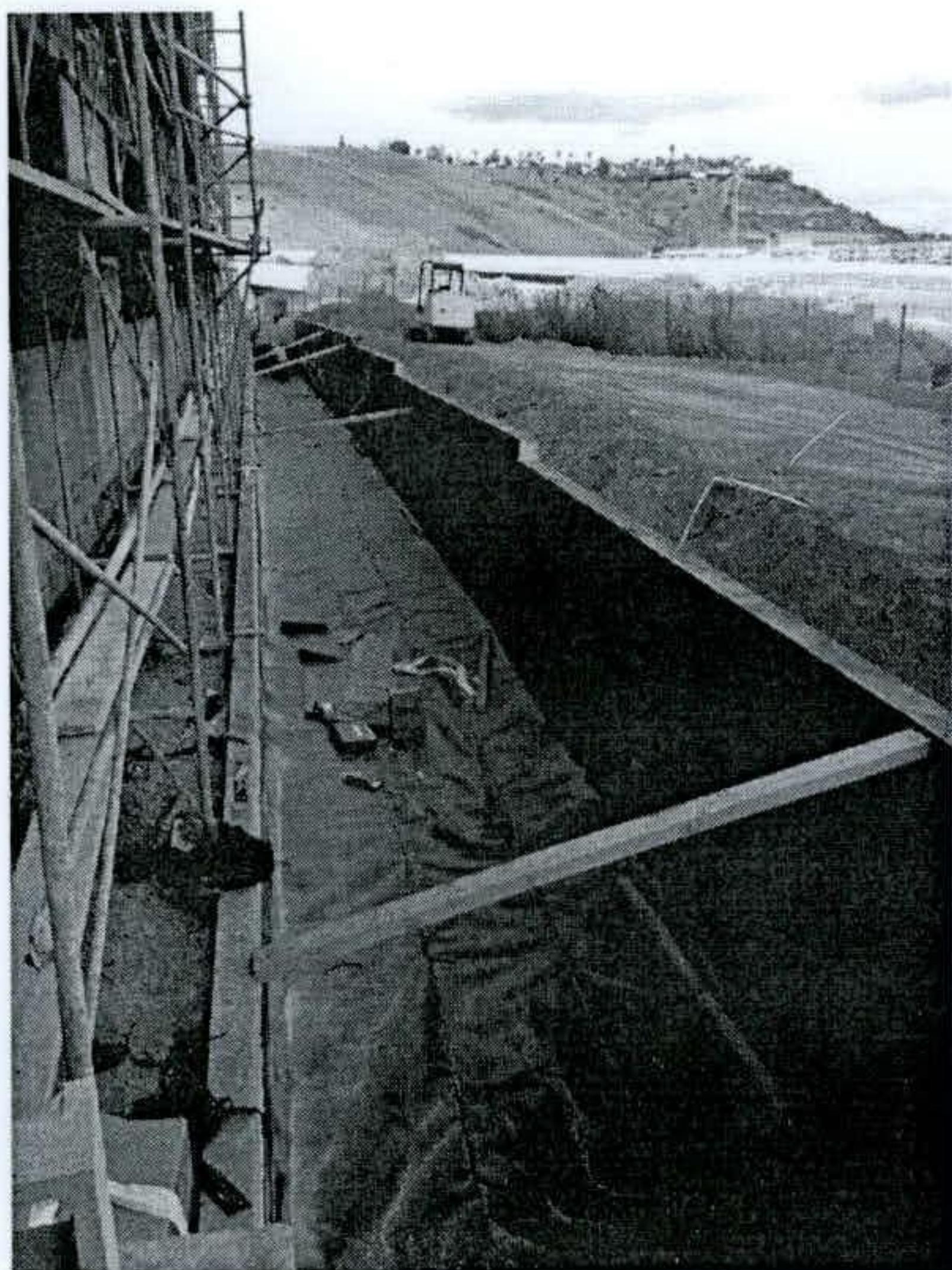
Corrections: None Please see attached photos.


Debra Valle Schales

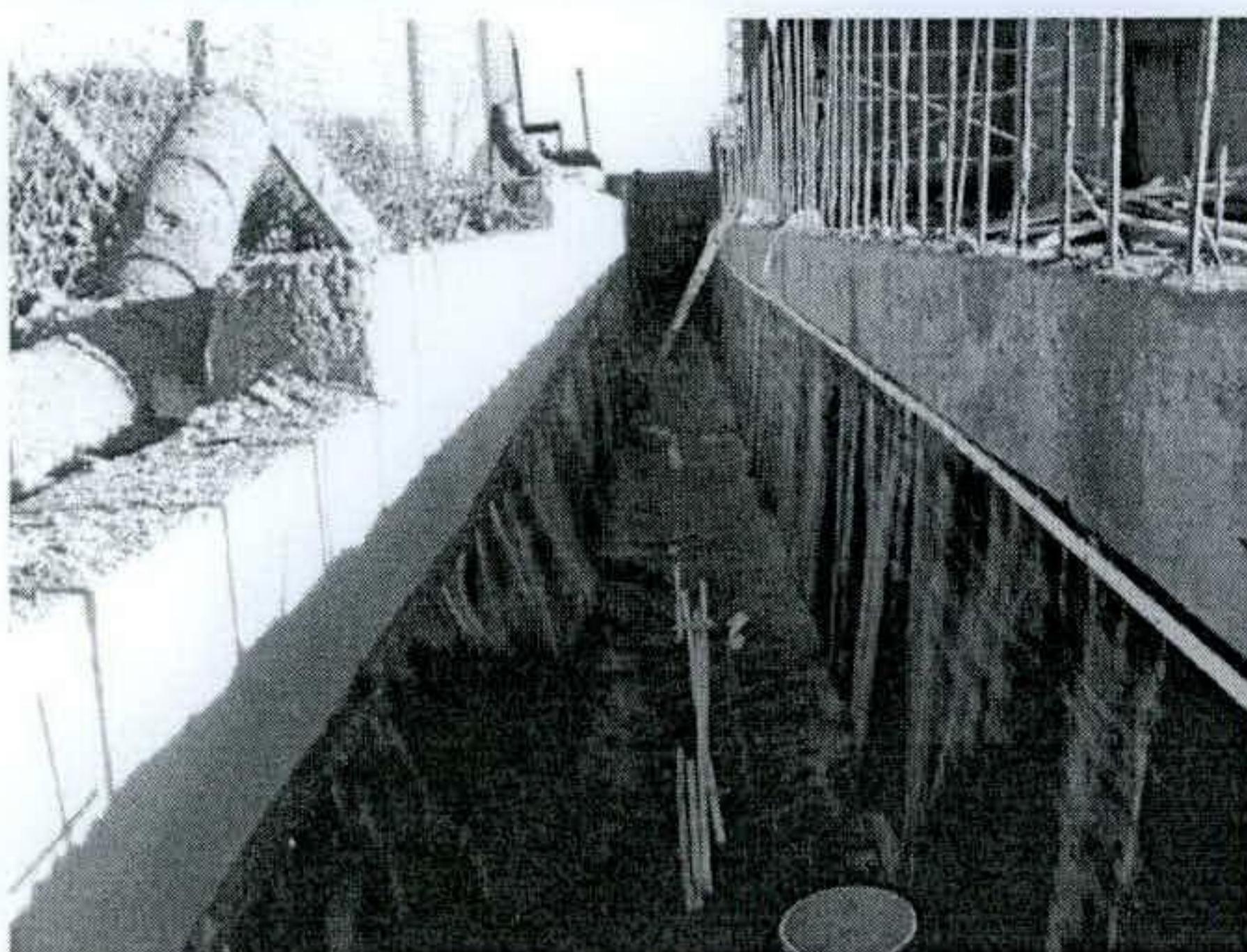
12/2/14
RCE 43101 date



CABOT CAREER LOFTS – Bio Retention Basin No. 1, 2, 3



CABOT CAREER LOFTS – Bio Retention Basin No. 1, 2, 3



Fuscoe Engineering Job No. 1213-001

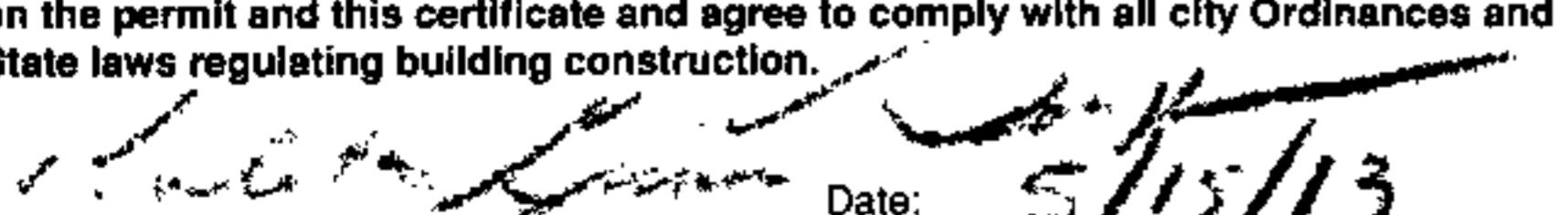
CITY OF LAGUNA NIGUEL

BUILDING AND SAFETY

27781 La Paz Road
Laguna Niguel, CA 92677

APPLICATION FOR A GRADING PERMIT

(949) 362-4360 Office
(949) 362-4381 Inspections

JOB ADDRESS 28100 CABOT ROAD		AREA	
LEGAL DESCRIPTION (OR ATTACH) <i>6678 - 142</i>	TRACT	BLOCK	LOTS INCLUSIVE 1
A.P. NO. <i>6678 - 142</i>	SUPER DIST. NO.	LAND USE WAIVER	TOTAL NO. LOTS/UNITS
CROSS STREETS CABOT ROAD		AND CROWN VALLEY	
PURPOSE Precise Grading for CARLIS LARTE			
OWNER UNITED AMERICAN PROPERTIES INC.	PHONE		
OWNER'S ADDRESS 44699 JANESVILLE ROAD NEWPORT BEACH 92660	CITY	ZIP CODE	
PLANS BY Engineering Services Inc.	STATE LICENSE	PHONE	
ADDRESS 16775 Von Karman Irvine 92606	CITY	ZIP CODE	
APPROVED SOIL TESTING FIRM ALBUS KIZYE & ASSOCIATES (714) 630-1426	CITY	PHONE	
ADDRESS 1011 N ARMANDO ST ANAHEIM 92806	CITY	ZIP CODE	
SOILS ENGINEER DAVE ALBUS	STATE LICENSE 2455	PHONE (714) 630-1426	
ENGINEERING GEOLOGIST MICHAEL J. SPIRA CEG 176	CITY	ZIP CODE	
ADDRESS 23032 LA CARDENIA DRIVE LAGUNA HILLS CA 92653	CITY	ZIP CODE	
GRADING CONTRACTOR Dave's Construction 760167 (714) 273-6444			
ADDRESS 23032 LA CARDENIA DRIVE LAGUNA HILLS CA 92653	CITY	ZIP CODE	
CERTIFICATION FOR REGULATION PERMIT			
Contractors			
I certify that the following Contr. Lic. No. 960167 and Classification 121111 is in full force and effect. Workmen's Compensation Insurance Certificate on file verified by 121111 Expiration date: 12/15/13			
Other Applicants			
I hereby certify I am exempt from Sec. 7031.5 of the Business and Professional Code, Div. 3, Chap. 9, Contractor's License Law under the following section: <input type="checkbox"/> Owner (Sect. 7044), or <input type="checkbox"/> Minor Work under \$200 (Sect 7048), or <input type="checkbox"/> Employee working for wages only (Sect. 7053), or <input type="checkbox"/> OTHER			
WORKERS COMPENSATION DECLARATION			
Certification of Exemption from Sect 3800 of the California Labor Code, Article 3, Construction Permit. <input type="checkbox"/> The permit is for One Hundred Dollars (\$100) or less. I certify that in the performance of the work for which the permit is issued I shall not employ any person in any manner so as to become subject to the Workmen's Compensation laws of California.			
If, after making such certification the applicant for this permit should become subject to the Workmen's Compensation provisions of the Labor Code, the applicant shall forthwith comply with the provisions of Sect 3700 or this permit shall be deemed revoked.			
I hereby acknowledge and state that the information I have provided is correct both on the permit and this certificate and agree to comply with all city Ordinances and State laws regulating building construction.			
 Date: 5/15/13 (Applicant's Signature)			
APPLICATION APPROVED		DATE 5/15/13	
FINAL APPROVED		DATE 3/8/16	
BOND RELEASED		DATE 3/22/16	
THIS FORM WHEN PROPERLY VALIDATED IS A PERMIT TO DO THE WORK DESCRIBED FOR A PERIOD OF 2 YEARS FROM DATE OF ISSUANCE			
VALIDATION			
*THIS PERMIT SUPERCEDES A PORTION / ALL OF GRADING PERMIT NO. _____ HAVING FEE YARDAGE IN THE AMOUNT OF _____ YD. ³			

CITY OF LAGUNA NIGUEL

BUILDING AND SAFETY

27781 La Paz Road
Laguna Niguel, CA 92677

APPLICATION FOR A GRADING PERMIT

(949) 362-4360 Office
(949) 362-4381 InspectionsP
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JOB ADDRESS			AREA			
LEGAL DESCRIPTION (OR ATTACH)		TRACT	BLOCK	LOTS INCLUSIVE		ZONE: _____
A.P. NO.		SUPER DIST. NO.	LAND USE WAIVER	TOTAL NO. LOTS/UNITS		PROPOSED USE: _____
CROSS STREETS			AND _____			
PURPOSE			_____			
OWNER			PHONE _____			
OWNER'S ADDRESS			CITY	ZIP CODE		
PLANS BY			STATE LICENSE	PHONE		
ADDRESS			CITY	ZIP CODE		
APPROVED SOIL TESTING FIRM			PHONE			
ADDRESS			CITY	ZIP CODE		
SOILS ENGINEER			STATE LICENSE	PHONE		
ADDRESS			CITY	ZIP CODE		
ENGINEERING GEOLOGIST			STATE LICENSE	PHONE		
ADDRESS			CITY	ZIP CODE		
GRADING CONTRACTOR			STATE LICENSE	PHONE		
ADDRESS			CITY	ZIP CODE		
CERTIFICATION FOR REGULATION PERMIT					I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION I HAVE PROVIDED IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION. CONSENT IS HEREBY GIVEN TO THE CITY OF LAGUNA NIGUEL, ITS OFFICERS, AGENTS AND EMPLOYEES, TO ENTER UPON THE LAND FOR THE PURPOSES OF SUCH INSPECTIONS, INVESTIGATIONS, OR CORRECTIVE ACTION AS THE BUILDING OFFICIAL OF SUCH CITY DEEMS NECESSARY.	
					I AM AWARE OF ORDINANCE NO. 2717 CONCERNING THE DISCLOSURE OF LOBBYIST.	
Contractors					SIGNATURE _____ OWNER OR AUTHORIZED AGENT	
I certify that the following Contr. Lic. No. <u>11801-7</u> and Classification _____ is in full force and effect. Workmen's Compensation Insurance Certificate on file verified by _____ Expiration date: _____					I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION I HAVE PROVIDED IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION. CONSENT IS HEREBY GIVEN TO THE CITY OF LAGUNA NIGUEL, ITS OFFICERS, AGENTS AND EMPLOYEES, TO ENTER UPON THE LAND FOR THE PURPOSES OF SUCH INSPECTIONS, INVESTIGATIONS, OR CORRECTIVE ACTION AS THE BUILDING OFFICIAL OF SUCH CITY DEEMS NECESSARY.	
Other Applicants					I AM AWARE OF ORDINANCE NO. 2717 CONCERNING THE DISCLOSURE OF LOBBYIST.	
I hereby certify I am exempt from Sec. 7031.5 of the Business and Professional Code, Div. 3, Chap. 9, Contractor's License Law under the following section:					SIGNATURE _____ OWNER OR AUTHORIZED AGENT	
<input type="checkbox"/> Owner (Sect. 7044), or <input type="checkbox"/> Minor Work under \$200 (Sect 7048), or <input type="checkbox"/> Employee working for wages only (Sect. 7053), or <input type="checkbox"/> OTHER					I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION I HAVE PROVIDED IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION. CONSENT IS HEREBY GIVEN TO THE CITY OF LAGUNA NIGUEL, ITS OFFICERS, AGENTS AND EMPLOYEES, TO ENTER UPON THE LAND FOR THE PURPOSES OF SUCH INSPECTIONS, INVESTIGATIONS, OR CORRECTIVE ACTION AS THE BUILDING OFFICIAL OF SUCH CITY DEEMS NECESSARY.	
WORKERS COMPENSATION DECLARATION					I AM AWARE OF ORDINANCE NO. 2717 CONCERNING THE DISCLOSURE OF LOBBYIST.	
Certification of Exemption from Sect 3800 of the California Labor Code, Article 3, Construction Permit.					SIGNATURE _____ OWNER OR AUTHORIZED AGENT	
<input type="checkbox"/> The permit is for One Hundred Dollars (\$100) or less. I certify that in the performance of the work for which the permit is issued I shall not employ any person in any manner so as to become subject to the Workmen's Compensation laws of California.					I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION I HAVE PROVIDED IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.	
If, after making such certification the applicant for this permit should become subject to the Workmen's Compensation provisions of the Labor Code, the applicant shall forthwith comply with the provisions of Sect 3700 or this permit shall be deemed revoked.					I AM AWARE OF ORDINANCE NO. 2717 CONCERNING THE DISCLOSURE OF LOBBYIST.	
I hereby acknowledge and state that the information I have provided is correct both on the permit and this certificate and agree to comply with all city Ordinances and State laws regulating building construction.					SIGNATURE _____ OWNER OR AUTHORIZED AGENT	
Date: <u>7/11/16</u>					I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION I HAVE PROVIDED IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION. CONSENT IS HEREBY GIVEN TO THE CITY OF LAGUNA NIGUEL, ITS OFFICERS, AGENTS AND EMPLOYEES, TO ENTER UPON THE LAND FOR THE PURPOSES OF SUCH INSPECTIONS, INVESTIGATIONS, OR CORRECTIVE ACTION AS THE BUILDING OFFICIAL OF SUCH CITY DEEMS NECESSARY.	
(Applicant's Signature)					I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION I HAVE PROVIDED IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.	
APPLICATION APPROVED <u>DR</u> DATE <u>7/8/16</u>					TYPE OF PERMIT	
FINAL APPROVED <u>DR</u> DATE <u>7/8/16</u>					NUMBER OF CUBIC YARDS	
BOND RELEASED <u>DR</u> DATE <u>3/22/16</u>					CUT:	
					BORROW FILL:	
					NATURAL FILL:	
<input type="checkbox"/> PRELIMINARY <input type="checkbox"/> NO BUILDING PERMITS TO BE ISSUED UNTIL THIS PERMIT IS SUPERCEDED BY A PRECISE GRADING PERMIT					FEE YARDAGE:	
<input checked="" type="checkbox"/> PRECISE <input type="checkbox"/> BUILDING PERMITS MAY BE ISSUED AFTER ROUGH GRADING HAS BEEN APPROVED.					VALUATION OF PROTECTIVE DEVICES AND IMPROVEMENTS	
					\$	
GRADING FEES						
IMPROVEMENTS: (DIA 235) \$					TOTAL P.C.	
GRADING (GRA 235) \$					\$	
GRADING PERMIT					TOTAL PERMIT	
IMPROVEMENTS (DIB 235) \$					\$	
GRADING (GRB 235) \$					\$	
ISSUANCE FEE \$					\$	
THIS FORM WHEN PROPERLY VALIDATED IS A PERMIT TO DO THE WORK DESCRIBED FOR A PERIOD OF 2 YEARS FROM DATE OF ISSUANCE						
VALIDATION						
*THIS PERMIT SUPERCEDES A PORTION / ALL OF GRADING PERMIT NO. _____ HAVING FEE YARDAGE IN THE AMOUNT OF _____ YD. ³						

F0250-855

CASHIER

DATE

PERMIT NO.

PERMIT FEE

CODE

PLAN CHECK

TOTAL

VALIDATION
(OFFICE
USE ONLY)



ALBUS-KEEFE & ASSOCIATES, INC
GEOTECHNICAL CONSULTANTS

September 13, 2013

J.N.: 1806.01

Mr. Greg Clayton
United American Properties
4699 Jamboree Road
Newport Beach, California 92660

Subject: **Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California.**

References: *Geotechnical Review Sheet*, dated September 13, 2013, prepared by City of Laguna Niguel and GMU Geotechnical, Inc. (GMU Reference No. G12-023).

Geotechnical Review Sheet, dated September 9, 2013, prepared by City of Laguna Niguel and GMU Geotechnical, Inc. (GMU Reference No. G12-023).

Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California., dated August 23, 2013, prepared by Albus-Keefe & Associates, Inc. (J.N. 1806.01)

Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California, dated June 19, 2012, prepared by Albus-Keefe & Associates, Inc. (J.N.: 1806.00).

Dear Mr. Clayton,

At your request, **Albus-Keefe & Associates, Inc.** has prepared this correspondence to respond to the comments presented in the referenced Geotechnical Review Sheet dated September 13, 2013. A copy of the Geotechnical Review Sheet is attached to this correspondence for your reference. The review pertains to our referenced interim compaction report and is a continuation of the issue raised in the prior referenced review sheet dated September 9, 2013.

Item 1:

We consider the "Slab Fill" materials which are defined as those fills placed below the slab on grade and extending to a depth of 24 inches below finish slab surface. This definition is set forth in our referenced report dated June 19, 2012, page 18. This fill does not provide support to the structure since all footings are founded at least 30 inches below finish floor grade and upon bedrock. On most projects, fills are placed to a minimum relative compaction up to finish grade. Thereafter, common practice involves presaturating expansive soils within the slab on grade area to cause an increase in moisture content in order to reduce expansion potential. Because such soils swell upon wetting, they also undergo a reduction in relative compaction. Our intent with the slab fill was to avoid placing the

near-surface soils at a high degree of compaction then undergoing the difficult task of introducing water afterwards to cause an increase in moisture content and corresponding reduction in relative compaction. Interestingly, we are not aware of any common practice of retesting the near-surface soils following a presaturation to determine if the relative compaction has decreased below the minimum specified for general fill placement. Yet the common practice understands that near-surface expansive soils undergo a decrease in relative compaction following presaturation. From our perspective, we see no difference between causing the reduction in relative compaction afterwards through presaturation and placing the soils in a reduced state of compaction initially.

Regardless, we have discussed this issue with our client. They are prepared to reprocess and recompact the portions of Slab Fill that do not meet the minimum relative compaction of 85% until retesting indicates they meet a minimum relative compaction. Since nearly all the footings have been excavated at this time, we recommend the footings be poured then allowed to set. Thereafter, the substandard areas can be reworked and retested. A supplemental report of this work would be presented for review prior to construction of the slab on grade.

We hope this correspondence provides you the information required at this time. If there are any questions regarding the contents discussed herein, please do not hesitate to call.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



David E. Albus
Principal Engineer
G.E. 2455



Enclosure: City of Laguna Niguel Geotechnical Review Sheet dated September 13, 2013

**CITY OF LAGUNA NIGUEL**

Public Works/Engineering
27791 La Paz Road X Laguna Niguel, California 92677
Phone (949) 362-4337 X Fax (949) 362-4385

GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.
23241 Arroyo Vista
Rancho Santa Margarita, CA 92688
(949) 888-6513 • Fax: (949) 888-1380

Page 1

GMU REFERENCE NO.: G12-023

DATE: September 13, 2013

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.

REFERENCES: (1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012. (4) "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012. (5) "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.

**CITY OF LAGUNA NIGUEL**

Public Works/Engineering
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GMU REFERENCE NO.: G12-023

DATE: September 13, 2013

ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See Comments*
 REQUEST ADDITIONAL DATA FOR REVIEW – *See COMMENTS next page.*
Send responses directly to the City of Laguna Niguel, Attention: Mr. Larry Longenecker; GMU Geotechnical will only accept responses forwarded from the City.

COMMENTS

This is a significant, and perhaps unprecedented, design change. We are not aware of any previous projects where a building pad was approved at 83% RC. The proposed change should have been submitted to the City for review prior to the fill being completed, and certainly before footing excavations were initiated. It is our opinion that the fill should have been dried or blended as necessary to achieve the recommended compaction. Re-consider compacting the slab fills to the originally recommended compaction criteria of 85%. If this is unachievable in conjunction with mitigation of the expansive soils, then submit a formal design change with revised recommendations, such as other means of mitigation or justification of the lesser compaction criteria (including: Are any structural elements being supported by the less dense fill, and if so, present settlement calculations; provide revised design recommendations for the building slab to account for the less dense slab fill; etc.)

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GEOTECHNICAL REVIEW SHEET

Reviewed by:

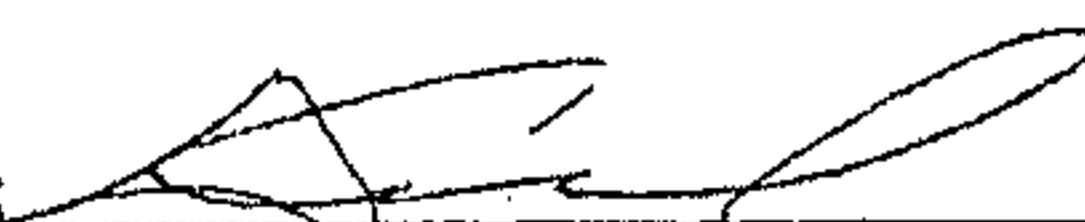
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Page 3

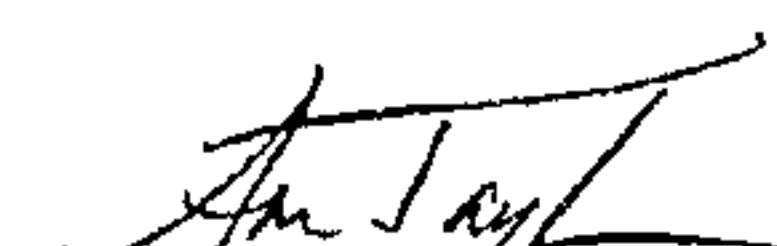
GMU REFERENCE NO.: G12-023

DATE: September 13, 2013

REVIEWED BY:



Gary K. Urban, GE 2237
Principal Engineer



Aron Taylor, M.S., PG, CEG 2455
Principal Engineering Geologist

DISTRIBUTION:

Mr. Larry Longenecker, City of Laguna Niguel
Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Phil Andoniu, United American Properties



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Page 1

GMU REFERENCE NO.: G12-023

DATE: September 9, 2013

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.

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CITY OF LAGUNA NIGUEL

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GEOTECHNICAL REVIEW SHEET

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Page 2

GMU REFERENCE NO.: G12-023

DATE: September 9, 2013

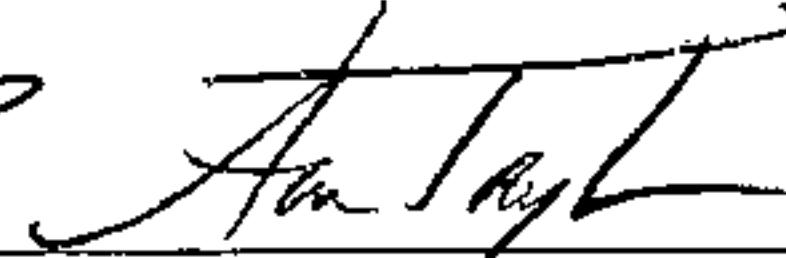
ACTION:

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See Comments*
 REQUEST ADDITIONAL DATA FOR REVIEW – *See COMMENTS next page.*
Send responses directly to the City of Laguna Niguel, Attention: Mr. Larry Longenecker; GMU Geotechnical will only accept responses forwarded from the City.

COMMENTS

1. The Albus-Keefe project design report dated June 19, 2012 recommends that “Slab Fill” materials should be compacted to 85% to 90% relative compaction. In contrast, the Interim Geotechnical Report of Rough Grading dated August 23, 2013 indicates that the Slab Fills were compacted to minimum 83% relative compaction. Please comment on why the recommended compaction criteria was not met, and justify the discrepancy.

REVIEWED BY



Gary K. Urban, GE 2237
Principal Engineer

Aron Taylor, M.S., PG, CEG 2455
Principal Engineering Geologist

DISTRIBUTION: Mr. Larry Longenecker, City of Laguna Niguel
Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Phil Andoniu, United American Properties



ALBUS-KEEFE & ASSOCIATES, INC.
GEOTECHNICAL CONSULTANTS

September 11, 2013
J.N.: 1806.01

Mr. Greg Clayton
United American Properties
4699 Jamboree Road
Newport Beach, California 92660

Subject: **Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California.**

References: *Geotechnical Review Sheet*, dated September 9, 2013, prepared by City of Laguna Niguel and GMU Geotechnical, Inc. (GMU Reference No. G12-023).

Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California, dated August 23, 2013, prepared by Albus-Keefe & Associates, Inc. (J.N. 1806.01)

Dear Mr. Clayton,

At your request, *Albus-Keefe & Associates, Inc.* has prepared this correspondence to respond to the comments presented in the referenced Geotechnical Review Sheet. A copy of the Geotechnical Review Sheet is attached to this correspondence for your reference. The review pertains to our referenced interim compaction report. Our responses to the comments are presented below.

Item 1:

Our original recommendation to compact the "Slab Fill" was intended to provide a firm material that was placed at a high moisture content to reduce adverse effects to the slab on grade from expansion potential. The original degree of relative compaction was set at minimum of 85% based on the relative compaction that we estimated could be achieved at the target moisture content. However, the degree of compaction was not the primary factor we were attempting to achieve. During site grading, we found that achieving a relative compaction of 85% was difficult at the target moisture contents. Therefore, we reduced the minimum relative compaction in order to achieve the moisture conditions that were the intended characteristics of the "Slab Fill." We conclude the resulting "Slab Fill" placed at the as-built moisture contents and minimum relative compaction of 83% will be suitable for support of the slab on grade proposed for the project.

United American Properties

September 11, 2013

J.N.: 1806.01

Page 2

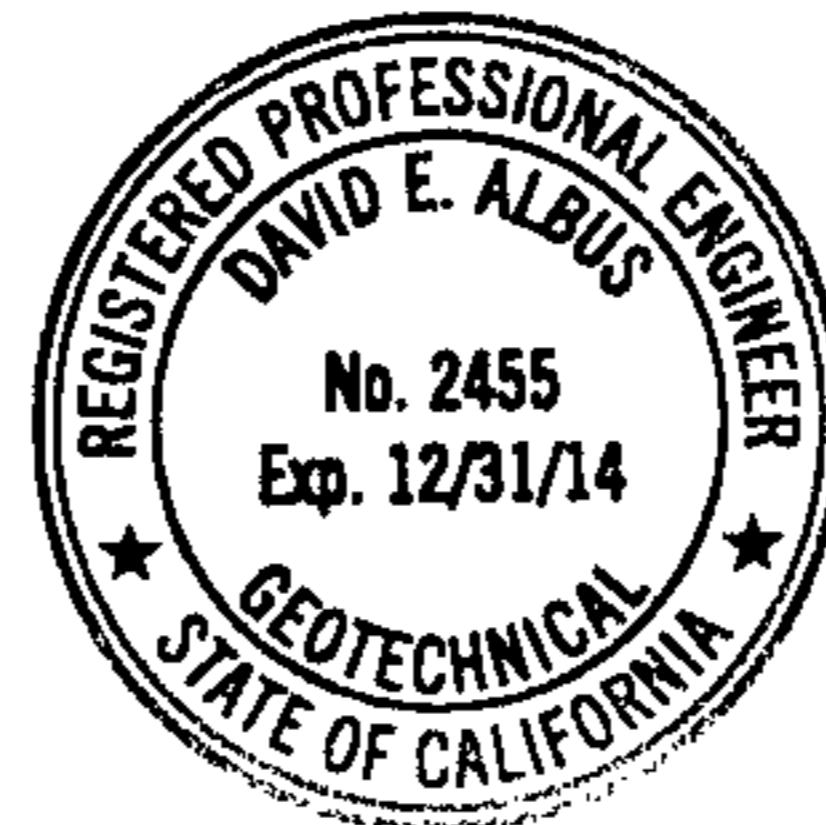
We hope this correspondence provides you the information required at this time. If there are any questions regarding the contents discussed herein, please do not hesitate to call.

Sincerely yours,

ALBUS-KEEFE & ASSOCIATES, INC.



David E. Albus
Principal Engineer
G.E. 2455



Enclosure: City of Laguna Niguel Geotechnical Review Sheet dated September 9, 2013

ALBUS-KEEFE & ASSOCIATES, INC.



CITY OF LAGUNA NIGUEL

Public Works/Engineering
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GEOTECHNICAL REVIEW SHEET

Reviewed by:

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23241 Arroyo Vista
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Page 1

GMU REFERENCE NO.: G12-023

DATE: September 9, 2013

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.

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GMU REFERENCE NO.: G12-023

DATE: September 9, 2013

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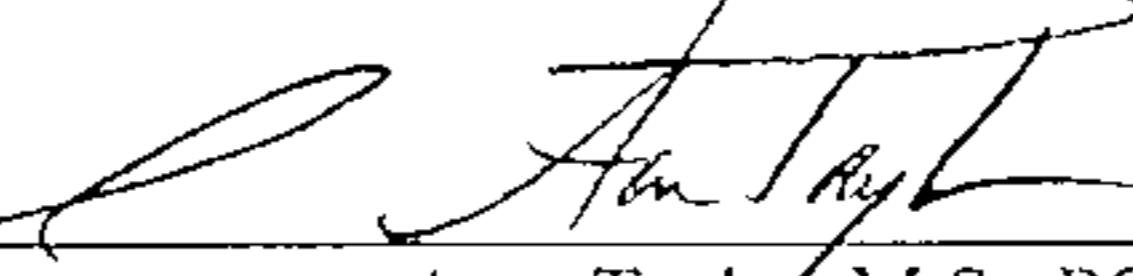
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REVIEWED BY


Gary K. Urban, GE 2237
Principal Engineer


Aron Taylor, M.S., PG, CEG 2455
Principal Engineering Geologist

DISTRIBUTION: Mr. Larry Longenecker, City of Laguna Niguel
Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Phil Andoniu, United American Properties



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GEOTECHNICAL REVIEW SHEET

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Page 1

GMU REFERENCE NO.: G12-023

DATE: September 16, 2013

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

DOCUMENT REVIEWED: "Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.

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GMU REFERENCE NO.: G12-023

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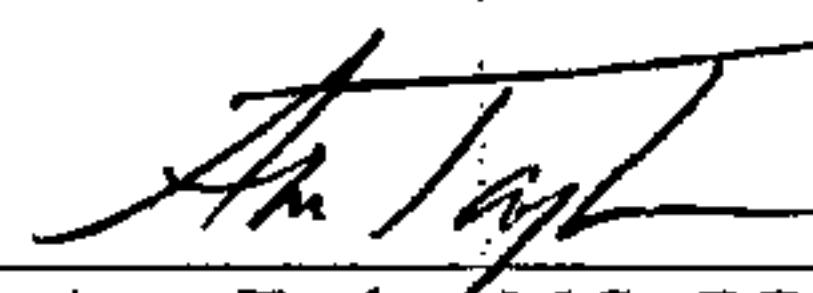
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COMMENTS

Following the completion of footing construction the slab subgrade should be recompacted to the specified 85% minimum. A report should be submitted for review and approval prior to the slab construction.

REVIEWED BY:


Gary K. Urban, GE 2237
Principal Engineer


Aron Taylor, M.S., PG, CEG 2455
Principal Engineering Geologist

DISTRIBUTION: Mr. Larry Longenecker, City of Laguna Niguel
Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
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voice: 949.888.6513
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web: www.gmugeo.com

GEOTECHNICAL REVIEW FEE SHEET

ATTENTION: Larry Longenecker
FROM: Lisa Bates-Seabold and Gary Urban
GMU Geotechnical, Inc.

GMU REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

OWNER OR DEVELOPER: Albus-Keefe & Associates, Inc.

Document Reviewed	Review Sheet Dated	Status of Review	Charge
(1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012.	11-7-12	Not Approved	\$2,455.00
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated November 7, 2012, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated December 31, 2012.	1-14-13	Approval	\$985.00
Field Inspections, Mtgs, & Email/Tele.	8-13-13		\$2,613.75



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CA 92688

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"Interim Geotechnical Report of Rough Grading, Building Pad for Proposed Main Building, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated August 23, 2013.	9-9-13	Not Approved	\$1,192.50
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9-13-13	Not Approved	\$825.00
"Response to City of Laguna Niguel's Geotechnical Review Sheet Dated September 9, 2013, for the Property Located at 28100 and 28150 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 11, 2013.	9/16/13	Conditional Approval	\$580.00

Σ 2597.5
on hand



CITY OF LAGUNA NIGUEL

Public Works/Engineering
27791 La Paz Road X Laguna Niguel, California 92677
Phone (949) 362-4337 X Fax (949) 362-4385

GEOTECHNICAL REVIEW SHEET

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Page 1

GMU REFERENCE NO.: G12-023

DATE: January 14, 2013

PROJECT DESCRIPTION: Geotechnical Investigation for Redevelopment

LOCATION: 28180 Cabot Road, Laguna Niguel (former Black Angus Restaurant site)

DEVELOPER/OWNER: United American Properties

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 1581.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Michael O. Spira, CEG 1976

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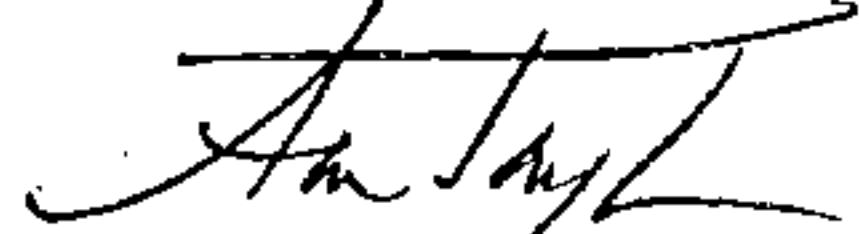
Page 2

GMU REFERENCE NO.: G12-023

DATE: January 14, 2013

REVIEWED BY:


Gary K. Urban, GE 2237
Principal Engineer


Aron Taylor, M.S., PG, CEG 2455
Principal Engineering Geologist

DISTRIBUTION: Mr. Larry Longenecker, City of Laguna Niguel
Mr. Abdullah Sharif, City of Laguna Niguel
Mr. David E. Albus, Albus-Keefe & Associates, Inc.
Mr. Phil Andoniu, United American Properties



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GEOTECHNICAL REVIEW FEE SHEET

ATTENTION: Larry Longenecker

FROM: Lisa Bates-Seabold and Gary Urban
GMU Geotechnical, Inc.

GMU REFERENCE NO.: G12-023

PROJECT ADDRESS: Black Angus Restaurant, 28180 Cabot Road, Laguna Niguel

OWNER OR DEVELOPER: Albus-Keefe & Associates, Inc.

Document Reviewed	Review Sheet Dated	Status of Review	Charge
(1) "Updated Geotechnical Report in Support of Construction Drawings, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 19, 2012. (2) "Geotechnical Precise Grading Plan Review and Summary of Caltrans Data Related to the Offsite Toll Road Route 73/Costco Slope Failure, Career Lofts, Proposed Apartment Complex, 28100 Cabot Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 20, 2012. (3) "Precise Grading Plan for Career Lofts, 28100 Cabot Road," prepared by Fuscoe Engineering, dated September 27, 2012.	11-7-12	Not Approved	\$2,455.00
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Field Memo

Subject: Line and Grade Certification of 48" HDPE Storage Pipe and 3" PVC, connection to 24" CSP riser.

To: City of Laguna Niguel
From: Debra Schales, PE
Date: January 15, 2014, 1:00pm
Project: Career Lofts – 28100 Cabot Road
Grading Permit No: G12-23

Fuscoe Engineering, Debra Schales has field-verified the line and grade of the 48" HDPE and 3" PVC pipe and the connections. The 48" HDPE and 3" PVC has meet the grade per the plans. The line has moved approx. 3.2' to the south closer to the building to avoid the retaining wall footing and this location is acceptable. Refer to attached Exhibit. The grades are in Substantial Conformance with the approved plans.

This certification does not include approval of the placement and compaction of earthwork within the purview of others.

Corrections:

CONFIRMED the 3" PVC slope \approx 2%
 $RIM \approx 324.9 - 9.33' = 15.57' - 0.35 = 15.22$
(TOP of PIPE) *good*
DVS

A handwritten signature in black ink that appears to read "Debra Valle Schales".

1/15/14

Debra Valle Schales

RCE 43101 - date

Exhibit to original
to come

E N G I N E E R I N G

January 2, 2014

City of Laguna Niguel
30111 Crown Valley Parkway
Laguna Niguel, CA 92677

Attention: Abdullah Sharif, City Grading Inspector

Subject: Civil Engineer's Certification of Rough Grading – 2 building areas, see attached.

Reference Project: Grading Permit No.: G12-23
Address: 28100 Cabot Road, Laguna Niguel, Career Lofts
Tract No.: PCL map 88-274 Parcel 2, inclusive

I hereby approve the rough grading for the referenced project in accordance with my responsibilities under the City of Laguna Niguel Grading and Excavation Code. Rough grading of 2 building area's (see attached) has been completed substantially in conformance with the approved grading plan for this project and in full compliance with said Codes. Certification includes vertical control for the building pad. This certification does not include approval of the placement and compaction of earthwork within the purview of others.

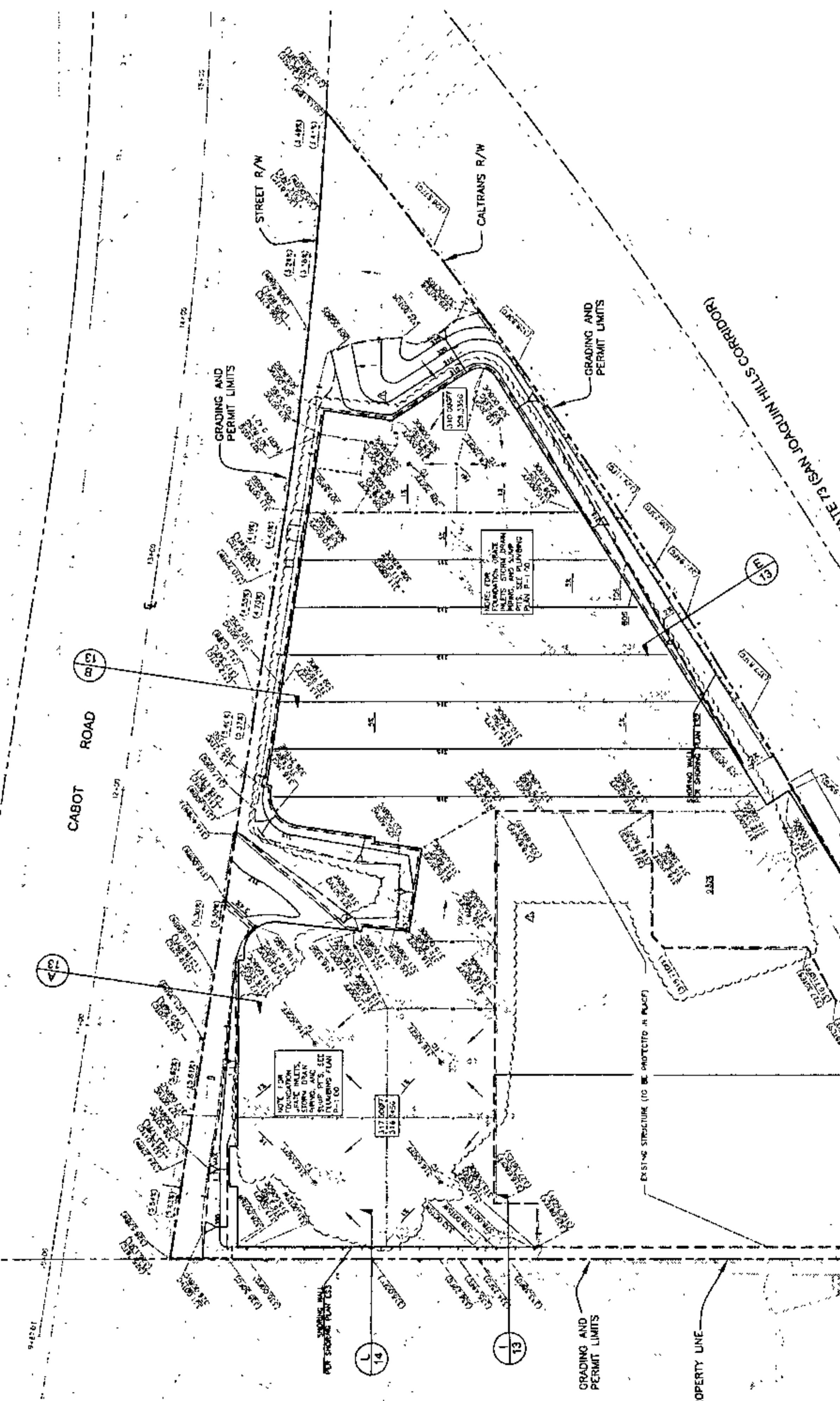
Sincerely,

FUSCOE ENGINEERING, INC.

O. Slasor

Oriana Slasor, P.E.
RCE 63451





EXERCISES ON THE HINDU RELIGION (HINDUISM)

RIGHT OF WAY OR PROPERTY LINE	—
CENTERLINE	—
NUDGE LINE	—
VALLEY LINE	—
GRADE BREAK	—
TOP/TOE OF SLOPE	—
EX. BLDG. STRUCTURE	—

DIG ALERT

DIAL TOLL FREE
1-800-227-2800
AT LEAST TWO DAYS
BEFORE YOU DAG
DANGER AHEAD, BEWARE ALERT

PHOTOGRAPHED	SLAB—CROWN	TOP OF CROWN	TOP OF EXISTING STRUCTURE	TOP OF SLOPE	TOP OF SHOWING WALL	TOP OF VERTICAL CUT
1	1	1	1	1	1	1
2	2	2	2	2	2	2
3	3	3	3	3	3	3
4	4	4	4	4	4	4
5	5	5	5	5	5	5
6	6	6	6	6	6	6
7	7	7	7	7	7	7
8	8	8	8	8	8	8
9	9	9	9	9	9	9
10	10	10	10	10	10	10
11	11	11	11	11	11	11
12	12	12	12	12	12	12
13	13	13	13	13	13	13
14	14	14	14	14	14	14
15	15	15	15	15	15	15
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28	28	28	28	28	28	28
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62	62	62	62	62	62	62
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93	93	93	93	93	93	93
94	94	94	94	94	94	94
95	95	95	95	95	95	95
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PERMIT # G12-23	
OWNER	Mr
DESIGN	DS
ARCHITECT	DS
STRUCT	AS STRUCTURE
ARCH HD.	1212 G.
DATE	2012/01/12

ב. סדרת גזירה ופיזור



Field Memo

**Subject: Line and Grade Certification of CSP Riser & connection to
Proposed 18" RCP**

To: City of Laguna Niguel

From: Debra Schales, PE

Date: September 26, 2013, 1:15pm

Project: Career Lofts – 28100 Cabot Road

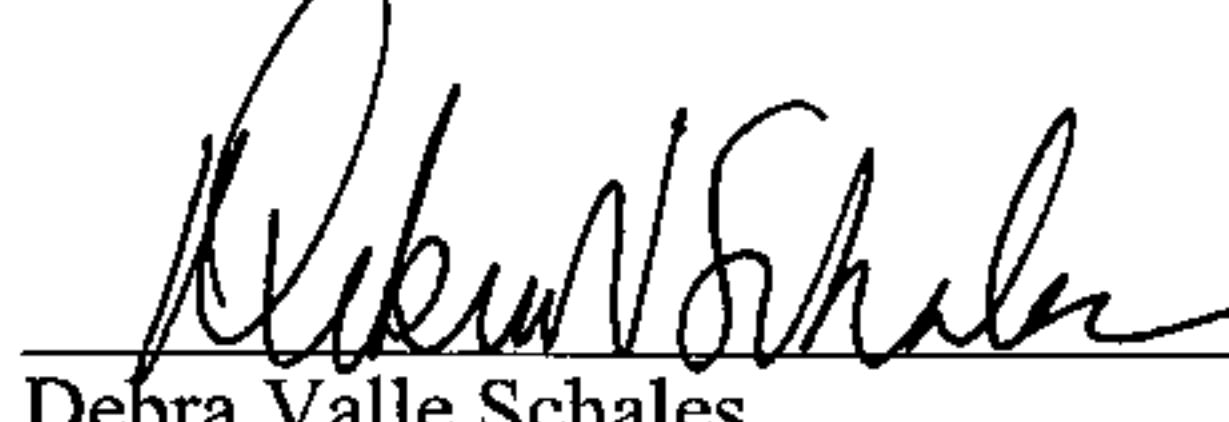
Grading Permit No: G12-23

Fuscoe Engineering, Debra Schales has field-verified the line and grade of the 18" RCP and connections to both Proposed CSP Riser and existing 18" RCP between stations 9+99.43 to 10+ 98.14 and found it in Substantial Conformance with the approved plans. (This inspection does not include the CSP grate and the 3" PVC pipe connections to the CSP riser with "inserta" connections)

This certification does not include approval of the placement and compaction of earthwork within the purview of others.

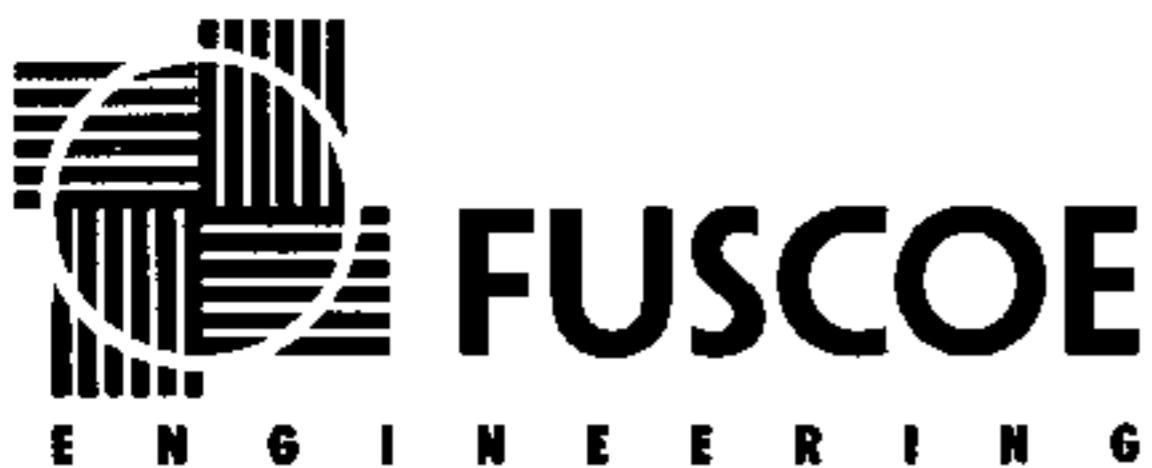
Corrections: None




Debra Valle Schales

RCE 43101 - date

9/26/13



Field Memo

Subject: Line and Grade Certification of 48" HDPE Storage Pipe, 3" PVC& 8" PVC pipes

To: City of Laguna Niguel

From: Debra Schales, PE

Date: January 15, 2014, 1:00pm

Project: Career Lofts – 28100 Cabot Road

Grading Permit No: G12-23

Fuscoe Engineering, Debra Schales has field-verified the line and grade of the 48" HDPE, 3" PVC pipe & 8" PVC with the connections. Inserta couplers were installed with concrete mortar. The 48" HDPE, 3" PVC and 8" PVC has meet the grade intended per the plans. The 48" HDPE pipe has moved approx. 3.2' to the south closer to the building to avoid the retaining wall footing and this location is acceptable. Refer to the attached Exhibit. The grades are in Substantial Conformance with the approved plans.

This certification does not include approval of the placement and compaction of earthwork within the purview of others.

Corrections:

The 24" CSP riser rim will need to be raised 6" during the final construction.

A handwritten signature in black ink, appearing to read 'Debra Valle Schales'.

1/14/16

RCE 43101 - date





Field Memo

Subject: Line and Grade Certification of 48" HDPE Storage Pipe and 3" PVC, connection to 24" CSP riser.

To: City of Laguna Niguel
From: Debra Schales, PE
Date: January 15, 2014, 1:00pm
Project: Career Lofts – 28100 Cabot Road
Grading Permit No: G12-23

Fuscoe Engineering, Debra Schales has field-verified the line and grade of the 48" HDPE and 3" PVC pipe and the connections. The 48" HDPE and 3" PVC has meet the grade per the plans. The line has moved approx. 3.2' to the south closer to the building to avoid the retaining wall footing and this location is acceptable. Refer to attached Exhibit. The grades are in Substantial Conformance with the approved plans.

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Corrections:

CONFIRMED the 3" PVC slope $\approx 2\%$
 $RIM \approx 324.9 - 9.33' = 15.57' - 0.35 = 15.22'$
(TOP of PIPE) *good* *DVS*

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1/15/14

RCE 43101 - date

Exhibit + original
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