



**CITY OF LAGUNA NIGUEL**

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

**GEOTECHNICAL REVIEW SHEET**

Reviewed by:

GMU GEOTECHNICAL, INC.  
23241 Arroyo Vista  
Rancho Santa Margarita, CA 92688  
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G14-015

DATE: September 22, 2015

PROJECT DESCRIPTION: Proposed Residential Structure Partial Basement Excavation

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*
- REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel  
Mr. David E. Albus, Albus-Keefe & Associates, Inc.  
Mr. Michael McCann, Alliance Residential



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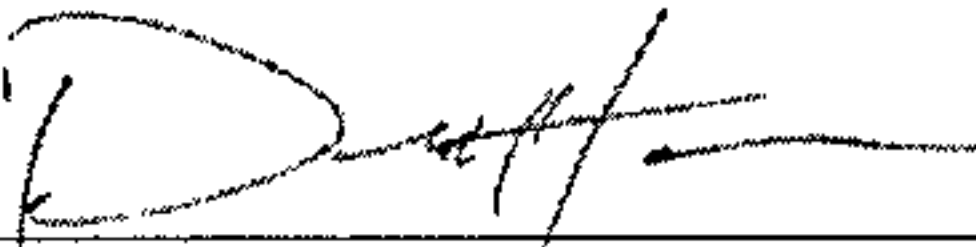
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#### COMMENT

1. If the remaining portions of the residential structure basement need to be released early, they will also need interim approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required.

REVIEWED BY: \_\_\_\_\_

  
David Hansen, M.Sc., PE, GE 3056  
Senior Geotechnical Engineer



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## FEE SHEET

(Refer to Fee sheet attached to review sheet #9)



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PROJECT DESCRIPTION: Proposed Residential Structure Partial Basement Excavation

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.

REFERENCES: See Page 3

ACTION:

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 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*  
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel  
Mr. David E. Albus, Albus-Keefe & Associates, Inc.  
Mr. Michael McCann, Alliance Residential



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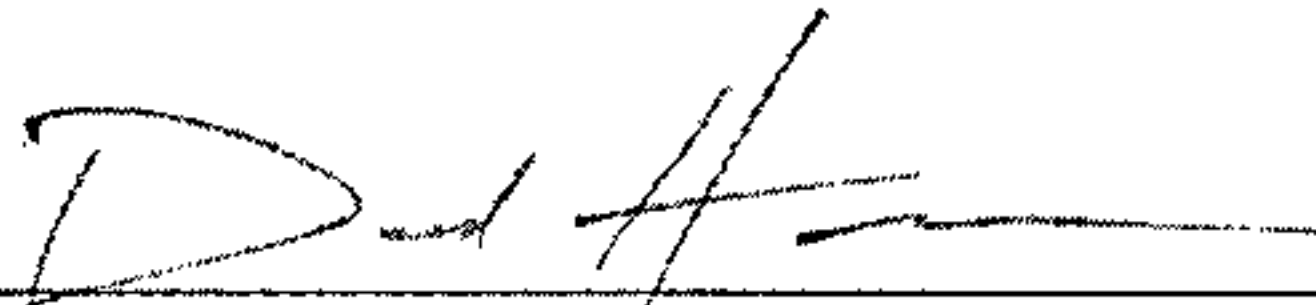
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#### COMMENT

1. If the remaining portions of the residential structure basement need to be released early, they will also need interim approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required.

REVIEWED BY: \_\_\_\_\_

  
David Hansen, M.Sc., PE, GE 3056  
Senior Geotechnical Engineer



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**FEE SHEET (PAGE 1 OF 2)**

ATTENTION: Abdullah Sharif, City of Laguna Niguel

REFERENCE NO.: G14-015  
PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (2) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014.	12/5/14	NOT APPROVED	\$ 1,905.00
(1) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (2) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (3) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015.	4/7/15	NOT APPROVED	\$ 1,492.50
(1) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (2) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015.	7/2/15	CONDITIONAL APPROVAL	\$1,200.00
Same as above, but revised comments	7/9/15	CONDITIONAL APPROVAL	\$ 285.00
"Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.	9/9/15	CONDITIONAL APPROVAL	\$305.00





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## FEE SHEET (PAGE 2 OF 2)

ATTENTION: Abdullah Sharif, City of Laguna Niguel

REFERENCE NO.: G14-015  
PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
"Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 10, 2015.	9/11/15	CONDITIONAL APPROVAL	\$292.50
(1) "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015. (2) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015. (3) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.	9/22/15	CONDITIONAL APPROVAL	\$ 825.00



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Page 1

REFERENCE NO.: G14-015

DATE: September 22, 2015

PROJECT DESCRIPTION: Parking Structure Partial Rough Grading – GEOPIER PERMIT ONLY

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENT REVIEWED: "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.

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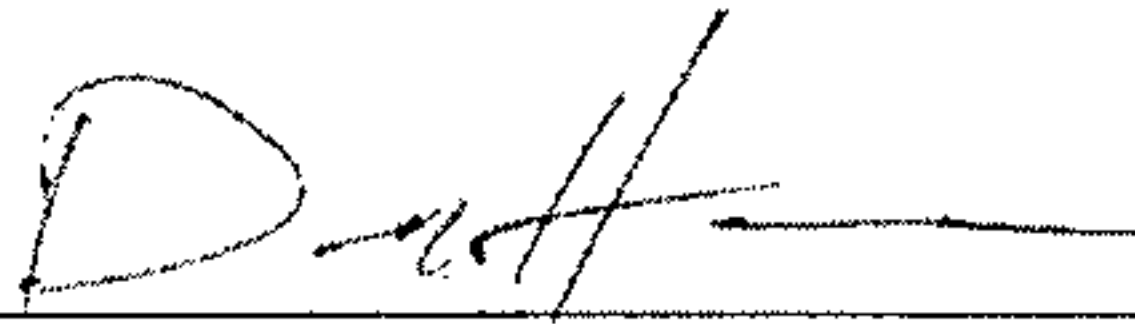
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#### COMMENT

1. If the remaining portions of the parking structure need to be released early, they will also need interim rough grade approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required. As stated in the reviewed letter, the report should include the results of all testing and observation. This report will be required prior to issuance of building permits.

REVIEWED BY: \_\_\_\_\_

  
David Hansen, M.Sc., PE, GE 3056  
Senior Geotechnical Engineer



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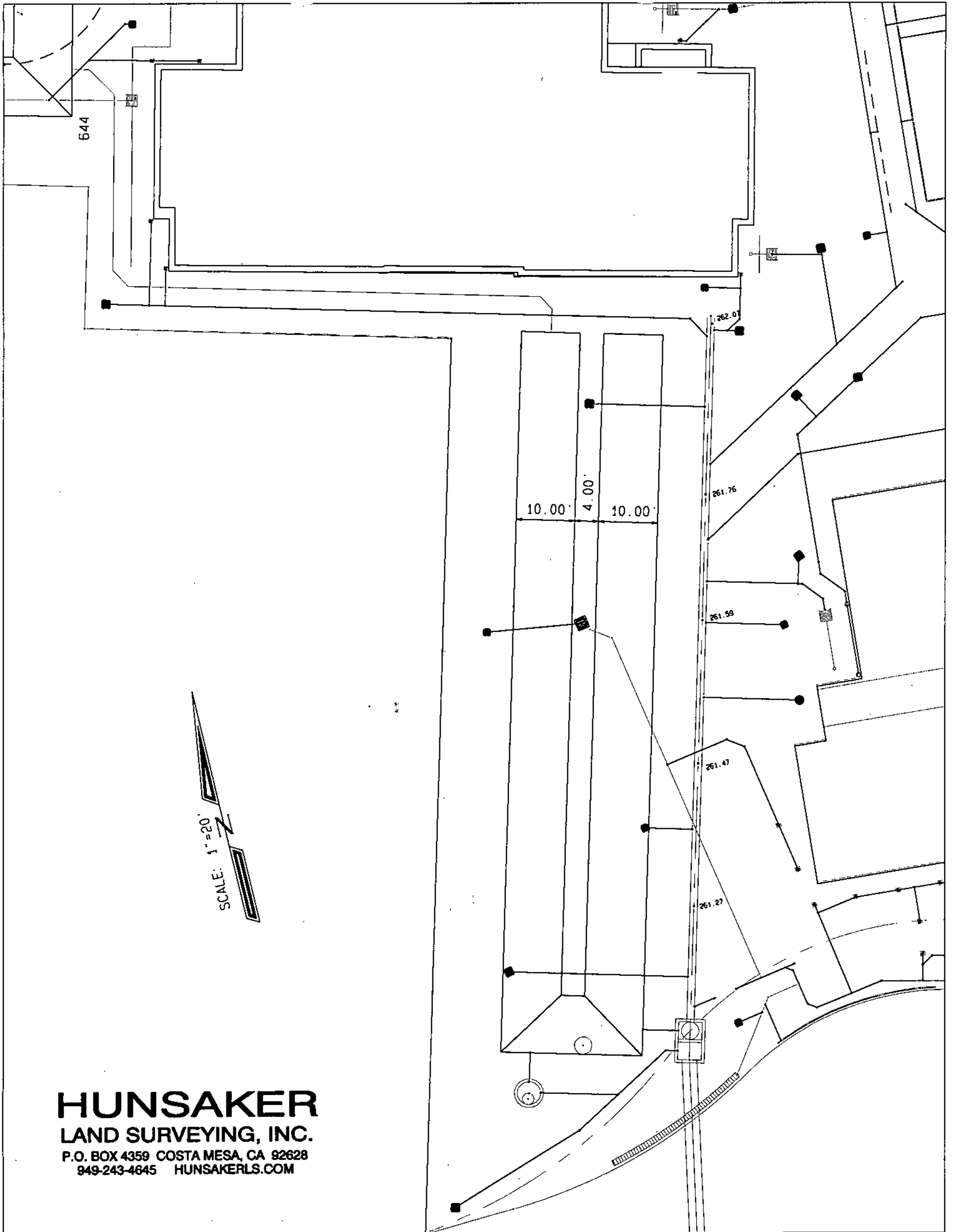
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644

262.07

10.00'

4.00'

10.00'

261.76

261.59

261.47

261.27



**HUNSAKER**  
LAND SURVEYING, INC.  
P.O. BOX 4359 COSTA MESA, CA 92628  
949-243-4645 HUNSAKERLS.COM



**ALBUS-KEEFE & ASSOCIATES, INC.**

GEOTECHNICAL CONSULTANTS

MEMO NO:	<b>DAILY FIELD REPORT/MEMO</b>	GRADING	
		POST-GRADING	X

JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# B15-1920	DAY: Friday	DATE: 3/11/16
-----------------	--	-------------	---------------

LOCATION/TRACT: 27742 Forbes Road Laguna Niguel	PROJECT ENG./GEOL DA/PK	YARDAGE TODAY: N/A
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CONTRACTOR: Alco	FOREMAN: Lance	WEATHER: Partly Cloudy	YARDAGE TO DATE: N/A
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Mini Excavator	Loader	Vibratory plate
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Storm Drain: On site as requested for observation during the placement of storm drain bedding, shading and backfill operations at northeast end of phase #1.

Observed Alco place a 4" deep, 40' long section of bedding below 12" HDPE. 3/4" aggregate used for bedding. Bottom of trench below bedding was observed to be excavated into firm, compacted fill. 3/4" aggregate shading placed a minimum of 12" above storm drain. Native material 8" in depth covers shading. Fill compacted by mini excavator. Material not moisture conditioned as fill is above OMC. Density tests and probing performed indicate firm, suitable conditions are present.

Per discussion with Alco Foreman Lance, I was informed that the City of Laguna Niguel Inspector Mr. Abdullah Shariff does not have to be present to see all trench bottoms. Per contractor, photos of trenches not observed by Mr. Abdullah Shariff accompanied by a sign off by soils will be sufficient. AKA has not confirmed this with Mr. Shariff at this time.

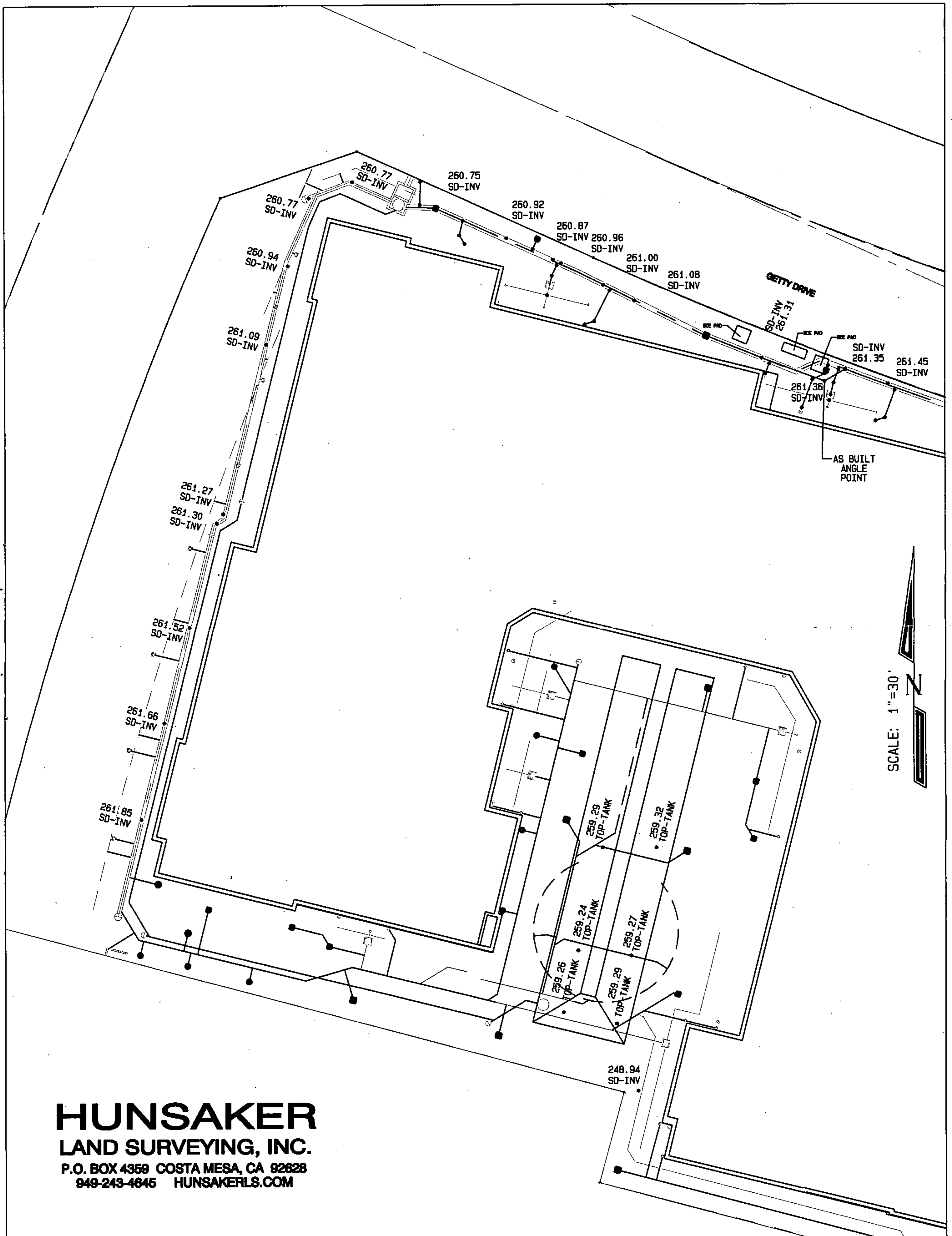
Technician print: Chris Wright

Received by print: *Harsha Bonner*

Technician signature:

Received by signature: *[Signature]* 03/21/16

ACTIVITY CODE	HOURS
576.3	4



SCALE: 1"=30'

**HUNSAKER**  
**LAND SURVEYING, INC.**  
 P.O. BOX 4359 COSTA MESA, CA 92628  
 949-243-4645 HUNSAKERLS.COM



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	X
				POST-GRADING	
JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# B15-1920		DAY: Thursday	DATE: 3/10/16	
LOCATION/TRACT: 27742 Forbes Road Laguna Niguel		PROJECT ENG/GEOL DA/PK	YARDAGE TODAY: N/A		
CONTRACTOR: Alco	FOREMAN: Lance	WEATHER: Partly Cloudy	YARDAGE TO DATE: N/A		

Excavator    Loader    Backhoe

Sewer: On site per client's request to observe and density test during sewer backfill operations adjacent to the south side of phase #5.

Observed Alco place on site material in lifts using a loader. Fill is not moisture conditioned as material is currently above OMC. Compaction by backhoe and excavator. Both with sheepsfoot attachment. Fill at lower elevations in this area was previous observed and tested by AKA technician Mr Fred Smith. Today's fill is primarily against retaining wall to the north and additional fill along sewer alignment to the west. Area was probed and resulted with firm and unyielding soil conditions.

Technician print: Chris Wright

Received by print: *Hawha Bouuu*

Technician signature:

Received by signature: *[Signature]* 03/21/16

ACTIVITY CODE	HOURS
576.1	2





**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

TANK 'A'

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	X
				POST-GRADING	
JOB NO: 2176.01	CLIENT/PROJECT: Alliance Residential Permit# B15-2775		DAY: Thursday	DATE: 3/10/16	
LOCATION/TRACT: 27742 Forbes Road Laguna Niguel			PROJECT ENG./GEOL DA/PK	YARDAGE TODAY: N/A	
CONTRACTOR: Alco	FOREMAN: Lance	WEATHER: Partly Cloudy		YARDAGE TO DATE: N/A	

Excavator    Loader    Vibratory plate

Storm Drain: On site as requested for continued observation and to relieve AKA technician Mr. Fred Smith during shading operations at retention tank "A".

Observed Alco place one 3/4" aggregate lift above north end of tank "A". Shading operations at lower pipe elevations were observed by Mr. Fred Smith. Shading placed a minimum of 18" above tank. South end of tank has not been installed at this time. Aggregate is consolidated by vibratory plate. Shoring removed. Excavation for south end of pipe begins.

Technician print: Chris Wright

Received by print: *Hansha Bonnu*

Technician signature:

Received by signature: *[Signature]* 03/21/16

ACTIVITY CODE	HOURS
576.3	4

TANK 'A'



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	L
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 3/21/16		
LOCATION/TRACT 27742 FORBES RD	LAQUINA NIGUEL	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR ALCO	FOREMAN LANCE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR ① BACKHOE ① LOADER ① MINI EXCAVATOR					
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN DETENTION SYSTEM TANK (A). CITY INSPECTOR MR. ABDULLAH ON SITE OBSERVE 15" STORM DRAIN <del>ADJACENT</del> ADJACENT NORTH SIDE OF BUILDING ON SOUTH SIDE OF CITY DRIVE AND APPROVE APPROX 200' TO BE SHADED AND BACKFILL.					
AT TANK (A) MR. ABDULLAH OBSERVED CONTRACTOR'S OPERATION APPROVED OPERATION AND ASKED FOR DAISES WHEN COMPLETED. OBSERVED THE EXCAVATION FOR THE PROPOSED STORM DRAIN TANK (A) CONTRACTOR COMPLETED THE LAST 18' FOR THE SOUTH END OF EXCAVATION THE EXCAVATION BOTTOM EXPOSED SATURATED ALLUVIAL MATERIALS AS ANTICIPATED AND OBSERVED IN OUR REFERENCE REPORT DATED MAY 15 2014. DRY TO SOFT AND YIELDING CONDITIONS OF THE BOTTOM OF EXCAVATION THE EXCAVATION WAS DEEPEN BY APPROX 24" AND REPLACED BY 3' ROCK AND COMPACTED. AT THE TOP OF 3' ROCK A FILTER FABRIC MCRATE 140 INSTALLED AND SHOULD BE SUITABLE FOR IT'S INTENDED USE. BEDDING WAS PLACED APPROX 4-8 INCHES OF 3/4" ROCK CONTRACTOR SETTING LAST (2) SECTIONS OF PIPE PHOTO'S TAKEN					
				ACTIVITY CODE	HOURS
				576.3	8
				TOTAL	8
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Hansha Kommu				
TECHNICIAN (Signature) 	RECEIVED BY (Signature) 				
DISTRIBUTION					



**ALBUS-KEEFE & ASSOCIATES, INC.**  
GEOTECHNICAL CONSULTANTS

TANK 'A'

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 3/22/16		
LOCATION/TRACT 27742 FORBES RD	LABORER LADUNA NIEGUEL	PROJECT ENG./GEOL. D.A. MS	YARDAGE TODAY		
CONTRACTOR ALCO	FOREMAN LANCE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR ① BACKHOE ① MINI EXCAVATOR ① VIBRATORY PLATE					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN DETENTION SYSTEM (TANK A), 12" PIPE Hook up for connecting TANK A TO TANK C. AND 15" STORM DRAIN TRENCH BACKFILL OPERATION. CONTRACTOR STARTED TO EXCAVATE FOR 12" CONNECTION AND STOPPED DO TO WATER TO HIGH. PUMPS HAD STOPPED WORKING GOT PUMPS WORKING AGAIN FOREMAN SAID THEY WOULD DE WATER TODAY AND TRENCH TOMORROW. TODAY'S OPERATION WILL CONSIST OF CONTINUE WITH SHADING OF TANK (A) AND 15" STORM DRAIN BEHIND CURB SOUTH SIDE OF GETTY DRIVE. APPROX 200' OF 15" STORM DRAIN TRENCH WAS SHADED WITH 3/4" ROCK ABOVE THE PIPE AND NATIVE FILL MATERIALS PLACED ABOVE THE PIPE ZONE TO EXISTING GROUND SURFACE. DEPTH OF FILL RANGED FROM 12" TO APPROX 24" MATERIALS WERE PLACED APPROX 6-8 TRENCH LIFTS TRACKED BY MINI EXCAVATOR. CONTRACTOR SAID HE WILL WHEEL ROLL WITH LOADER TOMORROW. AT TANK (A) SHADING WITH 3/4" ROCK CONTINUED. ROCK PLACED IN APPROX 2' LIFTS AND COMPACTED BY USING A VIBRATORY PLATE. BASED ON OBSERVATION OF ROCK BEING VIBRATED ROCK WAS CONSOLIDATED AND PROBING INDICATED FIRM &amp; UNYIELDING CONDITIONS.</p>					
				ACTIVITY CODE	HOURS
				576.3	8
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) Haasha Bannu			
TECHNICIAN (Signature) <i>Fred Smith</i>		RECEIVED BY (Signature) <i>Haasha Bannu</i> 03/29/16			
DISTRIBUTION				TOTAL	8



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

TANK 'A'

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 3/23/16		
LOCATION/TRACT 27747 FORBES PA	LARUNA NIQUEL	PROJECT ENG/GEOL NA MS	YARDAGE TODAY		
CONTRACTOR ALCO / AMPAM	FOREMAN LONRE // STEVE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR ① LOADER ① BACKHOE ① VIBRATORY PLATE // ① BOBCAT ① W/ACKER					
<p>ON SITE AS REQUESTED TO CONTINUE WITH THE OBSERVATION OF SHADING TANK (A) AND START THE EXCAVATION FOR THE 12" CONNECTOR TO TANK (A) GOING OVER TO TANK (C.) APPROX 15 FT OF TRENCH WAS EXCAVATED AT SOUTHWEST CORNER OF TANK (A) GOING SOUTH. BOTTOM OF TRENCH EXPOSED SATURATED ALLUVIAL MATERIALS AS ANTICIPATED DUE TO SOFT AND YIELDING CONDITION OF THE BOTTOM OF THE EXCAVATION THE EXCAVATION WAS DEEPENED BY APPROX 24 INCHES AND REPLACED BY 3" ROCK THAT WAS COMPACTED TO HELP STABILIZE THE BOTTOM OF THE TRENCH. A MIRAPE 140 FILTER FABRIC WAS PLACED ON TOP OF 3" ROCK PRIOR TO THE PLACEMENT OF 6-8 INCHES OF 3/4" ROCK FOR BEDDING. SHADING OF TANK AND PIPE CONTINUED SHADING OF TANK WITH 3/4" ROCK PLACED TO APPROX 2 FT LEFT AND COMPACTED BY VIBRATION BY VIBRATORY PLATE. OBSERVATION AND PROBING OF ROCK INDICATED ROCK APPEARED TO BE FIRM &amp; UNYIELDING.</p> <p>INTERIOR PLUMBING ON SITE OBSERVED CONTRACTOR PLACING IMPORT SAND IN PLUMBING TRENCHES. SAND WAS MOISTURE CONDITIONED AT STOCK PILE AND HAULED BY BOBCAT IMPORT SAND WAS MECHANICALLY COMPACTED BY W/ACKER AND TAMPING AROUND PIPES AND BOBCAT WHEEL ROLLING. BASED ON OBSERVATION AND PROBING MATERIALS APPEAR TO BE FIRM AND UNYIELDING. VISQUEEN TO BE PLACED FOR RESIDENTIAL GROUND LEVEL</p>					
				ACTIVITY CODE	HOURS
				576.3	6
				576.1	2
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Harsha Kommu				
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i> 03/29/16				
DISTRIBUTION				TOTAL	8

TANK A & C



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 3/24/16		
LOCATION/TRACT 27742 FORBES RD	LAQUANA NICHOL	PROJECT ENG./GEOL D A M.S.	YARDAGE TODAY		
CONTRACTOR MCO	FOREMAN LANCE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR ① MINI EXCAVATOR ① BACKHOE ① LOADER ① VIBRATORY PLATE					
<p>ON SITE AS REQUESTED FOR CONTINUED OBSERVATION AND TESTING SERVICE OBSERVED THE EXCAVATION OF ANOTHER APPROX 25' OF 12" STORM DRAIN TRENCH FOR TANK (A+C) CONNECTION. THE BOTTOM OF THE TRENCH EXPOSED SATURATED ALLUVIAL MATERIALS AS ANTICIPATED AND YIELDING THE TRENCH EXCAVATION WAS DEEPENED APPROX 18-24 INCHES AND REPLACED WITH 3" ROCK. 3" ROCK COVERED WITH MIRAFE 140 FILTER FABRIC THEN 3/4" ROCK WAS PLACED AS BEDDING SURVEY ON SITE SHOT 12" PIPE AND PIPE WAS FOUND TO BE 7/10" LOW. CONTRACTOR ELECTED TO REMOVE PIPE ALL THE WAY BACK TO CONNECTION AT THE TANK (A) SOUTH WEST CORNER. CONTRACTOR SAID HE WOULD RAISE PIPE GRADUALLY UNTIL PIPE IS BACK TO APPROX 249<sup>45</sup> ELEVATION PIPE NOW HAS A BACK FLOW SUPERINTENDANT ALSO INFORMED OF TANK + PIPE CONDITIONS. ENGINEER TO ADDRESS THIS ISSUE</p> <p>STARTING AT NORTHWEST CORNER OF THE RETAIL BUILDING CONTRACTOR HAS SECOND CREW DIGGING 12" HOPE STORM DRAIN TRENCH TODAY APPROX 60' OF TRENCH WAS DUG BOTTOM OF TRENCH WAS OBSERVED AND FOUND TO BE IN PREVIOUSLY COMPACTED FILL MATERIALS. DEPTH OF CUT 5-5 1/2 FEET BASED ON OBSERVATION AND PROBING OF THE TRENCH BOTTOM MATERIALS APPEAR TO BE FIRM + UNYIELDING AND SUITABLE FOR IT'S INTENDED USE</p>					
				ACTIVITY CODE	HOURS
				576.3	8
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Amanda Brown				
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i> 03/29/16				
DISTRIBUTION				TOTAL	8

TANK 'A



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING
				POST-GRADING
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 3/17/16	
LOCATION/TRACT 27742 FORBES RD	LODINA NIEGUEL	PROJECT ENG./GEOL DA MS	YARDAGE TODAY	
CONTRACTOR ALCO	FOREMAN LANE	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① EXCAVATOR ① LOADER ① BACKHOE				
ON SITE AS REQUESTED FOR THE OBSERVATION OF THE REMOVAL OF SATURATED MATERIALS TO BE OX'D FOR STORM DRAIN DETENTION SYSTEM TANK (A). CONTRACTOR COMPLETED APPROX 28' OF NEXT REMOVAL FOR SECTION 4 TO BE INSTALLED. THE EXCAVATION BOTTOM EXPOSED SATURATED ALLUVIAL MATERIALS AS ANTICIPATED AND OBSERVED IN OUR REFERENCE REPORT DATED MAY 15 2014 DUE TO SOFT AND YIELDING CONDITIONS OF THE BOTTOM OF THE EXCAVATION THE EXCAVATION WAS DEEPENED BY APPROX 24" AND REPLACED WITH 3" ROCK THE PLACEMENT OF 3" ROCK WAS TAMPED DOWN AND A FILTER FABRIC MIRAPE 140 INSTALLED AND IS SUITABLE FOR IT'S INTENDED USE. THEN APPROX 6-8 INCH OF 3/4" ROCK PLACED FOR TANK BEDDING. (2) 10' X 25' PIPE SECTIONS PLACED.				
			ACTIVITY CODE	HOURS
			576.3	6.5
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Harsha Kumar			
TECHNICIAN (Signature) 	RECEIVED BY (Signature) 			
DISTRIBUTION			TOTAL	4.5



**ALBUS-KEEFE & ASSOCIATES, INC.**

GEOTECHNICAL CONSULTANTS

(TANK 'A') &  
(15" storm tank)

MEMO NO.		<b>DAILY FIELD REPORT/MEMO</b>		GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 3/18/16		
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL. LAQUINA NIQUEL	DA	MS	YARDAGE TODAY	
CONTRACTOR ALCO	FOREMAN LANCE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR ① LOADER ① BACKHOE ① VIBRATORY PLATE					
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR INSTALLATION OF STORM DRAIN DETENTION SYSTEM TANK (A) AND INSTALLING 15" HDPE STORM DRAIN PIPE ADJACENT SOUTHSIDE OF GETTY DRIVE BEHIND CURB.					
OPERATION TODAY FOR TANK (A) CONTRACTOR IS CONTINUING WITH SHADING WITH 3/4" ROCK. ROCK PLACED IN APPROX 2-3 FOOT LIFTS AND MECHANICALLY COMPACTED BY USING A VIBRATORY PLATE PRIOR TO COMPACTING ROCK WET DOWN BY 2" FIRE HOSE.					
15" HDPE STORM DRAIN PIPE CONTRACTOR LAID APPROX 200 FEET AND WAS INSPECTED BY CITY INSPECTOR MR ABDULLAH THE INSTALLATION OF 15" STORM DRAIN PIPE WAS FOUND TO BE INSTALLED BACKWARD ONCE PIPE HAS BEEN INSTALLED CORRECTLY MR ABDULLAH TO INSPECT PRIOR TO ANY COVERAGE.					
PER PHONE CONVERSATION WITH MR THOMAS CIVIL ENGINEER AND MR PAT KEEFE OF AKA FILTER FABRIC OVER 3/4" ROCK FOR 15" STORM DRAIN NOT NEEDED					
				ACTIVITY CODE	HOURS
				576.3	8
TECHNICIAN (Print) ERED SMITH		RECEIVED BY (Print) Hansha Primmu			
TECHNICIAN (Signature)		RECEIVED BY (Signature)  03/21/16			
DISTRIBUTION				TOTAL	8



# ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		<b>DAILY FIELD REPORT/MEMO</b>		GRADING	
				POST-GRADING <input checked="" type="checkbox"/>	
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 3/29/16		
LOCATION/TRACT 27742 FORBES RD LAQUINA NIGUEL		PROJECT ENG./GEOL. DA MS	YARDAGE TODAY		
CONTRACTOR ALCO	FOREMAN LANCE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR ① LOADER ① BACK HOE ① MINI EXCAVATOR ① VIBRATORY PLATE					
<p>ON SITE AS REQUESTED FOR CONTINUED OBSERVATION FOR THE EXCAVATION FOR STORM DRAIN TRENCH TYPING TANK (A) TO TANK (C) CONTRACTOR DUG LAST 15' OF TRENCH FOR STORM DRAIN 12" HDPE PIPE BOTTOM OF EXCAVATION EXPOSED SATURATED ALLUVIAL MATERIALS THAT WERE REMOVED APPROX 18-24 INCHES AND REPLACED WITH 3" ROCK. THE 3" ROCK WAS COMPACTED TO HELP STABILIZE THE BOTTOM. THE 3" ROCK WAS COVERED WITH A MIRAFIX 110 FILTER FABRIC. THEN FABRIC IS COVERED WITH 3/4" ROCK FOR PIPE BEDDING BEDDING APPROX 6-8 INCHES. 12" HDPE PIPE INSTALLED AND COVERED WITH 3/4" ROCK FOR SHADING. ELEVATION OF PIPE BEING SET BY CONTRACTOR.</p> <p>FROM THE NORTH TO SOUTH ADJACENT THE WEST SIDE OF RETAIL BUILDING'S BEDDING FOR STORM DRAIN PIPE A (12" HDPE) MINIMUM 6" WAS PLACED AND PIPE INSTALLED NO LATERALS. (V'S) ARE TAPED. CONTRACTOR WILL NOT COVER UNTIL CITY INSPECTOR AS OBSERVED INSTALLATION AND OK'S COVERAGE SURVEY ON SITE TO SHOT LINE &amp; GRADE.</p> <p>IN THE CULDESAC ON BETTY DRIVE 3' BEHIND EXISTING CURB LINE CONTRACTOR DIGGING STORM DRAIN TRENCH THIS FOR INSTALLATION OF A 15" HDPE PIPE THAT CONTINUES EAST AND REDUCES TO A 4" PVC PIPE GOING TO A 4'X4' MODULAR WETLANDS BIO FILTRATION SYSTEM</p>					
				ACTIVITY CODE	HOURS
				576.3	8
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) HAUSHA BOWMAN			
TECHNICIAN (Signature)		RECEIVED BY (Signature)  03/30/16			
DISTRIBUTION				TOTAL	8





# ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING	
				POST-GRADING	
JOB NO. 2126.01		CLIENT/PROJECT ALLIANCE RES		DAY SAT	DATE 3/19/16
LOCATION/TRACT 27747 FORBES RD		PROJECT ENG./GEOL. LAGUNA NIGUEL D.A. M.S.		YARDAGE TODAY	
CONTRACTOR ALCO		FOREMAN LANCE		WEATHER CLEAR	
CONTRACTOR		FOREMAN		YARDAGE TO DATE	
EQUIPMENT ① EXCAVATOR ② LOADER					
<p>ON SITE AS REQUESTED FOR OBSERVATION OF THE EXCAVATION REMOVAL FOR THE 5<sup>TH</sup> SECTION OF THE PROPOSED STORM DRAIN TANK (A) CONTRACTOR REMOVING APPROX 20 FT AND SPOTS ARE BEING HAULED TO STOCK PILE OPERATION VERY SLOW BY NOON FOREMAN SAID HE WAS NOT GOING TO FINISH REMOVAL AND DID NOT WANT TO EXPOSE WATER UNTIL HE HAD A FULL CREW SO HE COULD PLACE ROCK AS HE DUG THE BOTTOM OF THE REMOVAL. GOING OFF SITE 1 PM SUPERINTENDANT INFORMED</p>					
				ACTIVITY CODE	HOURS
				O.T. 576.3	5.5
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) Haisha Bommali			
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	5.5



# ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2171.01	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 3/25/16		
LOCATION/TRACT 27742 FORBES RD	LAQUINA NIQUEL	PROJECT ENG./GEOL. D.A. M.S.	YARDAGE TODAY		
CONTRACTOR ALCO	FOREMAN LANCE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR ① BACKHOE ① LOADER ① MINI EXCAVATOR ① VIBRATORY PLATE					
<p>ON SITE AS REQUESTED FOR CONTINUED OBSERVATION OF THE INSTALLATION OF 12" HDPE PIPE TYING OF TANK (A) TO TANK (C) APPROX ANOTHER 30 FEET OF TRENCH WAS EXCAVATED. THE EXCAVATION CONTINUES TO EXPOSE SATURATED ALLUVIAL MATERIALS. THESE MATERIALS ARE REMOVED ANOTHER 18-24 INCHES AND REPLACED WITH 3' ROCK TO STABILIZE THE BOTTOM OF THE TRENCH 3" ROCK COVERED WITH A MINOR 140 FILTER FABRIC THEN 3/4" ROCK USED AS PIPE BEDDING MINIMUM 4" OF 3/4" ROCK PLACED. PIPE LAID AND SHADED WITH 3/4" ROCK. SHADING WAS PLACED IN APPROX ② FOOT LIFTS AND MECHANICALLY COMPACTED BY VIBRATORY PLATE AND MINI EXCAVATOR TRACKING. BOTTOM ELEVATION OF 3" ROCK APPROX 247.5 TOP OF 3" 249 EL BEDDING APPROX TOP OF 3/4" ELEVATION APPROX 249.5 THIS FOR TODAY LAST 18' OF PIPE LAID CONTRACTOR USING PLUMBED LINE.</p> <p>SECOND CREW CONTINUING TO EXCAVATE TRENCH FOR 12" STORM DRAIN ADJACENT WEST SIDE OF RETAIL BUILDING DEPTH OF EXCAVATION 4-5 FEET. TRENCH EXCAVATION WAS CUT INTO PREVIOUSLY COMPACTED FILL APPROX 140 FEET OF TRENCH WAS DUG. BASED ON OBSERVATION AND PROBING OF TRENCH BOTTOM MATERIALS APPEAR TO BE FIRM + UNYIELDING AND SUITABLE FOR IT'S INTENDED USE.</p>					
				ACTIVITY CODE	HOURS
				576.3	8
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print) Hansha Bommw	
TECHNICIAN (Signature) <i>[Signature]</i>				RECEIVED BY (Signature) <i>[Signature]</i> 03/29/16	
DISTRIBUTION				TOTAL	8



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 3/16/16		
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL. LAQUA NICHOLAS	DA	MS		
CONTRACTOR DM PAM	FOREMAN STEVE	WEATHER CLEAR	YARDAGE TODAY		
EQUIPMENT ① MINI EXCAVATOR ② BOBCAT ③ WHACKER					
<p>ON SITE AS REQUESTED FOR OBSERVATION OF INTERIOR PLUMBING TRENCHES FOR CLUB HOUSE. CONTRACTOR HAD A COUPLE OF LOCALIZED AREAS HE HAD DIG BASED ON OBSERVATION AND PROBING BOTTOM OF EXCAVATION APPEAR TO BE FIRM + UNYIELDING EXCAVATION OF TRENCHES ARE TRENCHED IN COMPACTED FILL BY THIS FIRM. INTERIOR TRENCHES ARE BACK FILLED WITH A IMPORT SAND THAT WAS SAMPLED MEET THE SE 3000 GREATER REQUIREMENT. SAND WENT SE 41 IMPORT SAND WAS MOISTURE CONDITIONED AT THE STOCK PILE PAVED BY BOBCAT SPREAD OUT BY LABORERS AND COMPACTED BY WHACKER ABOUT 3/4 OF CLUB HOUSE PLUMBING TRENCHES COMPLETED TODAY REMAINDER TO BE COMPLETED TOMORROW. BASE ON TODAY'S OBSERVATIONS AND PROBING OF IMPORT SAND FOR INTERIOR PLUMBING MATERIALS APPEAR TO BE FIRM + UNYIELDING</p>					
				ACTIVITY CODE	HOURS
					3
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Harsha Bonnu				
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>				
DISTRIBUTION				TOTAL	3



**ALBUS-KEEFE & ASSOCIATES, INC.**

GEOTECHNICAL CONSULTANTS

MEMO NO.		<b>DAILY FIELD REPORT/MEMO</b>		GRADING	
				POST-GRADING <input checked="" type="checkbox"/>	
JOB NO. 2176.01		CLIENT/PROJECT ALLIANCE RES		DAY THUR	DATE 3/17/16
LOCATION/TRACT 27742 FORBES RD		PROJECT ENG./GEOL LAQUA NIGUEL D.A. M.S.		YARDAGE TODAY	
CONTRACTOR AMPAM		FOREMAN STEVE		WEATHER CLEAR	
EQUIPMENT ① BOBCAT		① WHACKER		YARDAGE TO DATE	
<p>ON SITE TO OBSERVE INTERIOR PLUMBING TRENCHES FOR THE CLUB HOUSE. CONTRACTOR BACKFILL INTERIOR PLUMBING TRENCHES WITH IMPORT SAND THAT MEETS A SE 300R GREATER VALUE. SAND WAS MOISTURE CONDITIONED AT THE STOCK PILE PLACED INTO TRENCHES BY BOBCAT SPREAD OUT AND COMPACTED BY WHACKER BASED ON OBSERVATION AND PROBING MATERIALS APPEAR TO BE FIRM UNYIELDING</p>					
				ACTIVITY CODE	HOURS
				576.1	1.5
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) Anisha Bommu			
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i> 03/21/16			
DISTRIBUTION				TOTAL	1.5



**ALBUS-KEEFE & ASSOCIATES, INC**  
GEOTECHNICAL CONSULTANTS

December 22, 2017  
J.N.: 2176.01

Mr. Mark Wilson  
Alliance Residential  
450 Newport Center Drive, Suite 550  
Newport Beach, California 92660

**Subject: Notice of Completion of Finish Grading and Post-Grading Services, Access Road Along the Rear of the Parking Structure in Phase 1, Laguna Niguel Crossing Site, Laguna Niguel, California.**

Dear Mr. Wilson,

This correspondence is intended to notify you that finish grading and post-grading for the access road along the rear of the Parking Structure within Phase 1 is complete from a geotechnical perspective. The limits of the access road for Phase 1 under the purview of this letter is highlighted in yellow on the attached phasing plan.


Work under the purview of this letter generally consists of minor cuts and fills required for precise grading, backfilling of retaining walls, backfilling of underground utility trenches and area drain trenches, backfilling around storm water quality detention tanks and biofiltration structures, and construction of the back road and associated flatwork. Based on our observation and testing services, the work under the purview of this letter was performed in substantial conformance with the project plans and specifications, the grading codes of the City of Laguna Niguel, and applicable portions of the referenced geotechnical report.

The work within the purview of this letter has been observed and tested in a manner consistent with the standard of care currently exercised by members of the profession practicing in the same general locality under similar conditions. No warranty of contractor's work is expressed or implied. A report will be prepared that provides results of compaction testing, results of laboratory testing, and other details of our observations for the work discussed herein.

We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

**ALBUS-KEEFE & ASSOCIATES, INC.**

  
David E. Albus  
Principal Engineer  
GE 2455



Enclosure: References  
Phasing Plan

**REFERENCES**

Notice of Completion of Finish Grading and Post-Grading Services, Phase 3, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated October 4, 2017 (J.N. 2176.01).

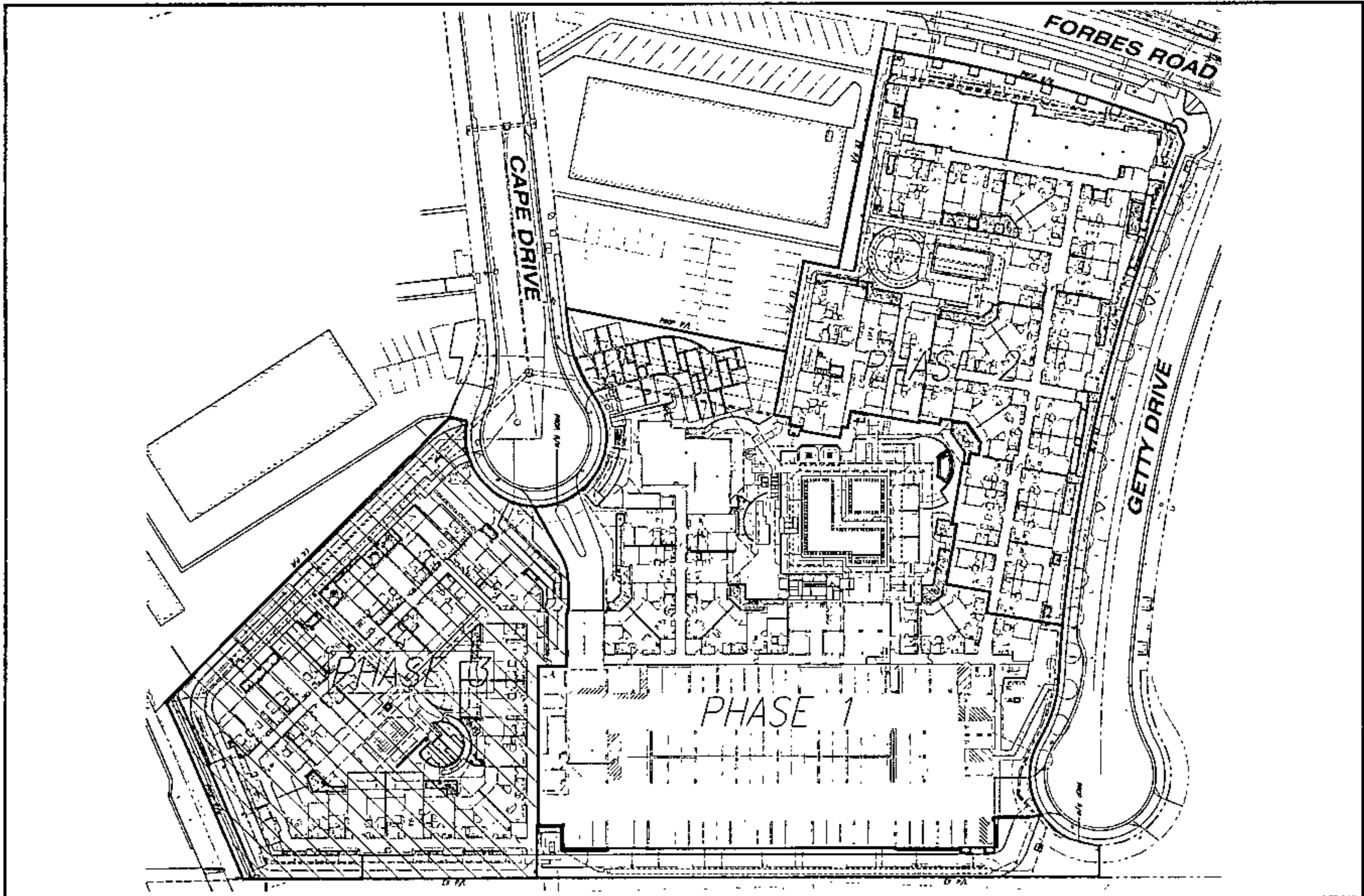
Notice of Completion of Finish Grading and Post-Grading Services, Phases 1 and 2, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated June 30, 2017 (J.N. 2176.01).

Notice of Completion of Rough Grading for the Proposed Residential Building and Parking Structure, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc., dated May 2, 2016 (J.N. 2176.01).

Interim Geotechnical Report of Rough Grading, Slab-On-Grade Portion of Residential Building-Phase 2, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc., dated April 26, 2016 (J.N. 2176.01).

Interim Geotechnical Report of Rough Grading, Residential and Parking Structure Buildings, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. , revised dated February 26, 2016 (J.N. 2176.01).

Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00).



ALLIANCE  
BROADSTONE LAGUNA NIGUEL

  
SCALE 1"=100'



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING POST-GRADING <input checked="" type="checkbox"/>
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JOB NO. 2176101	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 3/20/17
LOCATION/TRACT 2774Z FORBES RD	PROJECT ENG/GEOL D.A. M.S	YARDAGE TODAY	
CONTRACTOR ROSS MASON TRENCHING/ABC	FOREMAN NECK CARLOS PACER/JESE/FRANCO	WEATHER Cloudy	
		YARDAGE TO DATE	

EQUIPMENT  
 ① BACKHOE W/ COMPACTION WHEEL ① WHACKER ② MINI EXCAVATORS ② WHACKERS  
 ① BOBCAT ① MINI EXCAVATOR

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES  
 MANA'S STORM DRAIN OPERATION CONSISTED OF BACKFILLING AROUND  
 MANHOLE IN FORBES RD. ON GETTY DR UNDER AT CATCH BASIN COMPACTED  
 AS HIGH AS THEY COULD AND THE SAME FOR WATER LINE (MAIN)  
 THAT HAD A CONCRETE COVERAGE POURED FOR PROTECTION BECAUSE  
 WATER LINE WAS RAISED FOR STORM DRAIN TO GO UNDER. BOTH OF  
 THESE AREAS CATCH BASIN + WATER LINE HAD (1) SACK SKUTTY  
 FOUR UNDER THEM PER THE DIRECTION OF CITY INSPECTOR MR. RICK  
 LARSEN. C.A.B. MATERIALS WERE PLACED IN APPROX 12" LIFTS WHERE  
 BACKHOE WITH COMPACTION WHEEL COULD COMPACT. 4-6 INCH  
 LIFTS WHERE WHACKER WAS USED.

L.D.I. CONTINUED WITH TRENCHING FOR AREA DRAINS  
 ROOF DRAINS AND FLOW THROUGH PLANTER DRAINS ADJACENT SOUTH  
 SIDE OF GETTY DR + IN COURT YARD (B) MR. ABDULLA CITY INSPECTOR  
 ON SITE OBSERVED + APPROVE DRAINS IN COURT YARD (B) BUT SAID  
 DO TO THE AS BUILTS FOR RAMP AREA AT NORTH SIDE OF RETAIL  
 BUILDING + TO PLANTER BOXS HE WANTS ENGINEER TO OBSERVE AND  
 WRITE A RFI FOR HIS APPROVAL TO THESE CHANGES. FILL OPERATION  
 IN COURT YARD (B) CONSISTED OF FINEST SHADING WITH 3/4" ROCK  
 OR PIPE MINIMUM 12" OVER MAINLINE, DETECTION TAPE PLACED  
 6" OVER 4" LATERALS. NATIVE MATERIALS PLACED IN APPROX 6-8

ACTIVITY CODE	HOURS
576.3	5.0
550	2.0
576.4	1.0
<b>TOTAL</b>	<b>8.0</b>

TECHNICIAN (Print) **FRED SMITH**  
 TECHNICIAN (Signature) *[Signature]*  
 DISTRIBUTION

RECEIVED BY (Print) **Hansla Bonilla**  
 RECEIVED BY (Signature) *[Signature]* 03/29/17





**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING POST-GRADING <input checked="" type="checkbox"/>
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JOB NO. 2126.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 3/20/17
LOCATION/TRACT 27742 FORBES RD.	PROJECT ENG/GEOL LAGUNA NIGUEL	YARDAGE TODAY	
CONTRACTOR	FOREMAN	WEATHER	YARDAGE TO DATE

EQUIPMENT  
 SAME AS PAGE 1

ROSS MASONRY EXCAVATED FOR CIRCULAR PLANTED BOX ADJACENT NORTH END OF RETAIL BUILDING THE EXCAVATION IS 11 1/2 FEET IN DIAMETER 6 1/2" WIDE AND 12" DEEP FROM EXISTING SURFACE. BASED ON OBSERVATION AND PROBING BOTTOM OF FOOTING MATERIALS APPEAR TO BE FIRM & UNYIELDING AND ARE CONSIDERED SUITABLE FOR ITS INTENDED USE. FOOTING WAS POURED WITH COLORED CONCRETE.

P.B.C. EXCAVATED APPROX 30' OF FOOTING FOR PCC BAND FOR PREVIOUS RANGERS AT NORTHWEST CORNER OF SITE ADJACENT SOUTH SIDE OF FORBES RD AT INTERSECTION OF GETTY DR. WHACKER USED TO TIGHTEN UP LOOSE SPOOLS FROM DIGGING WITH BUCKET WITH TEETH. BASED ON OBSERVATION AND PROBING BOTTOM OF FOOTING APPEARS TO BE FIRM & UNYIELDING AND IS CONSIDERED SUITABLE FOR ITS INTENDED USE. FOOTING WAS FORMED AND POURED.

BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST TAKEN FOR NATIVE FILL MATERIALS APPEAR TO BE FIRM & UNYIELDING MEETING 90% OR GREATER AND FOR CAB IN THE STREET 95% OR GREATER RELATIVE COMPACTION IN UPPER 2 FEET.

TRENCHERS WEST EXCAVATION AT BACK SIDE PARKING GARAGE AT SOUTH WEST CORNER OBSERVED BEING FILL WITH (2) SACK SHIPPY UP TO BOTTOM OF VAULT BOX BOX TO BE SET TOMORROW

TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) HANSHA BOMMUJ		
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>	03/29/17	
DISTRIBUTION		TOTAL	



**ALBUS-KEEFE & ASSOCIATES, INC.**  
**GEOTECHNICAL CONSULTANTS**

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING POST-GRADING	
JOB NO. 2176.01		CLIENT/PROJECT ALLIANCE RES		DAY SAT	DATE 3/11/17
LOCATION/TRACT 27742 FORBES RD		LADINA NIQUEL		PROJECT ENG/GEOL. D.A. M.S.	
CONTRACTOR TRENCHERS WEST / PBC / ROSS MASONRY		FOREMAN FELIPE TESSE / FERNANDO		WEATHER CLEAR	
EQUIPMENT					
① BACKHOE w/ COMPACTION WHEEL ① W/HACKER ① BOBCAT ① W/DOZER ① MINI EXCAVATOR					
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES					
TRENCHERS WEST OPERATIONS CONSISTED OF TRENCH BACKFILL FOR GASLINE ON SITE AND CROSSING GETTY DR. LOCATION OF TRENCH PLOTTED ON FIELD PLANS. DEPTH OF FILL 18" - 2 1/2 FEET. ON SITE TRENCH BACKFILLED WITH NATIVE MATERIALS ABOVE SHADING AND OFF SITE BACKFILLED WITH C.A.B. MATERIALS NATIVE COMPACTED TO 90% AND C.A.B. TO 95% OR GREATER RELATIVE COMPACTION APPROX 180 FEET WAS COMPLETED AND TESTED. NATIVE MATERIALS ARE VERY MOIST AND IMPORT C.A.B. MATERIALS MOISTURE CONDITION AND PRECESSED AT STOCK PILE. SECOND OPERATION IS AT SOUTH END OF RETAIL BUILDING THEY ARE FORMING AND INSTALLING (10) 4 INCH CONDUIT PIPES THAT SWEEP IN FROM TRANSFORMER BOX TO BUILDING.					
PBC ON SITE FINISHED BUILDING SUBGRADE FOR SIDEWALK HANDLED CAP RAMP AT SOUTHWEST CORNER OF GETTY DR THAT INTERSECS WITH EAST SIDE OF FORBES RD. C.A.B. MATERIALS USED MATERIALS WERE MOISTURE CONDITIONED AT STOCK PILE, PROCESSED AND PLACED IN APPROX 6 INCH LIFTS AND MECHANICALLY COMPACTED BY W/HACKER MINIMUM 90% NEEDED					
ROSS MASONARY FINISHED EXCAVATING IN COURT YARD (B) THE FOOTING FOUNDATION FOR THE FIRE PIT					
THE EXCAVATION IS APPROX 15' LONG AND APPROX 18 INCHES BELOW EXISTING				OT	576.4
				OT	578.3
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print) 550	1.0
TECHNICIAN (Signature) [Signature]				RECEIVED BY (Signature)	
DISTRIBUTION				TOTAL	8.0



**ALBUS-KEEFE & ASSOCIATES, INC.**  
**GEOTECHNICAL CONSULTANTS**

<b>MEMO NO.</b>	<b>DAILY FIELD REPORT/MEMO</b>			<b>GRADING</b>	
				<b>POST-GRADING</b>	<input checked="" type="checkbox"/>
<b>JOB NO.</b> 277601	<b>CLIENT/PROJECT</b> ALLIANCE RES		<b>DAY</b> SAT	<b>DATE</b> 3/11/17	
<b>LOCATION/TRACT</b> 27742 FORBES RD LAGUNA NICHOL		<b>PROJECT ENG/GEOL</b>		<b>YARDAGE TODAY</b>	
<b>CONTRACTOR</b>		<b>FOREMAN</b>		<b>WEATHER</b>	
<b>EQUIPMENT</b>		SAME AS PAGE 1			
<p>SURFACE. BASED ON OBSERVATION AND PROBING BOTTOM OF EXCAVATION MATERIALS APPEAR TO BE FIRM + UNYIELDING AND ARE SUITABLE FOR THEIR INTENDED USE. EXCAVATION IS IN PREVIOUSLY MECHANICALLY COMPACTED FILL AND SHOULD BE KEPT IN MOISTURE CONDITION UNTIL CONCRETE POUR GOVERNING AGENCY TO OBSERVE STEEL PLACED PER DETAIL.</p> <p>BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TESTING MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER FOR NATIVE MATERIALS AND 95% OR GREATER IN THE STREETS UPPER TWO FEET FILLED WITH C&amp;B MATERIALS.</p>					
				<b>ACTIVITY CODE</b>	<b>HOURS</b>
<b>TECHNICIAN (Print)</b> FRED SMITH				<b>RECEIVED BY (Print)</b>	
<b>TECHNICIAN (Signature)</b> <i>[Signature]</i>				<b>RECEIVED BY (Signature)</b>	
<b>DISTRIBUTION</b>				<b>TOTAL</b>	



**ALBUS-KEEFE & ASSOCIATES, INC.**  
GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	<input type="checkbox"/>
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2174 01	CLIENT/PROJECT ALCANCE RES	DAY TUE	DATE 3/7/07		
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL. LADUNA NIQUEL D.A. M.S.	YARDAGE TODAY			
CONTRACTOR PBC / TREUNERS W.	FOREMAN NICK CARLOS FERNANDO JESSE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT (2) BACKHOES @ W/ COMPACTION WHEEL @ W/HACKER / @ MINI EXCAVATOR. @ W/HACKER / @ MINI EXCAVATOR @ W/HACKER @ 4' VEGETARY PUMP @ ROBOT @ BACKHOE					
<p>ONSITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES          KANA PULLED PILES AND CONTINUED WITH MAIN WATER LINE TIE IN          IN THE INTERSECTION OF FORBES RD + GETTY DR. MAIN WATER DISTRICT          INSPECTOR ON SITE OBSERVED BLOW OFF VALVE INSTALLATION NEEDED AFTER          WORK OK'D TO BACKFILL SANDSHADING AROUND PIPE AND ABOVE APPROX          18-24 INCHES BACKHOE WITH COMPACTION WHEEL APPLIED MECHANICAL          EFFORT ALONG SIDE PIPE AND ABOVE INSPECTOR APPROVED. C.A.B.          MATERIALS PLACED IN THE REMAINDER OF TRENCH DEPTH WHICH IS          APPROX 4 1/2 - 5 1/2. FOREMAN SAID HE'D BE WORKING LATE TO BACKFILL          SO VERTICAL DOESN'T CAVE. INFORMED SUPERINTENDENT MR. LOVE          AND SUPERVISOR M. BOY OF OVERTIME. IT WAS OK'D BY BOTH.          L.D.T. EXPOSED 10 INCH STORM DRAIN FOR AREA DRAINS AND          DRAIN COMING FROM PLANTER BOX FOUND NO WYE 10" REDUCED TO 6"          + 10" REDUCED TO 4". KANA TO INSTALL WYE'S TOMORROW.          PBC HAS EXCAVATED APPROX 300 FEET OF FOOTING FOR CONCRETE          BAND FOR PAVERS AND AROUND PLUM TREES ADJACENT WEST SIDE          OF RETAIL BUILDING. BASED ON PROBING BOTTOM OF FOOTING'S          MATERIALS APPEAR TO BE FIRM + UNYIELDING AND SUITABLE FOR THEIR          INTENDED USE.          TRENCHERS WEST STATE EXCAVATING FOR TRANSFORMER PAD AT SOUTHWEST          OF RETAIL BUILDING. GAS LINE TRENCH APPROX GAS LINE INSTALLED. SHALING          BEING DONE TO BE INSPECTED. BASED ON OBSERVATION          PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE          FIRM + UNYIELDING IN THE STREET FOR PLACEMENT OF CAB</p>					
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) 550		ACTIVITY CODE	HOURS
TECHNICIAN (Signature) [Signature]		RECEIVED BY (Signature) [Signature]		57% 2	3.0
				57% 3	1.5
				57% 4	1.5
DISTRIBUTION				TOTAL	7.5
90% IN BOTTOM 2 FEET AND 95% OR GREATER P.C. OF THE UPPER 2 FEET					



**ALBUS-KEEFE & ASSOCIATES, INC.**  
**GEOTECHNICAL CONSULTANTS**

<b>MEMO NO.</b>	<b>DAILY FIELD REPORT/MEMO</b>			<b>GRADING</b>	
				<b>POST-GRADING</b>	✓
<b>JOB NO.</b> 2176.01	<b>CLIENT/PROJECT</b> ALTAMIRA RES	<b>DAY</b> MON	<b>DATE</b> 3/6/17		
<b>LOCATION/TRACT</b> 27742 FORBES RD	<b>LAQUANA NIEGUEL</b>	<b>PROJECT ENG./GEOL.</b> D.A. MS.	<b>YARDAGE TODAY</b>		
<b>CONTRACTOR</b> LDI / KANA / PBC	<b>FOREMAN</b> CARLOS FELIPE / NECK	<b>WEATHER</b> CLEAR	<b>YARDAGE TO DATE</b>		
<b>EQUIPMENT</b> ① MINI EXCAVATOR / ① MINI EXCAVATOR ① BOBCAT ① WHACKER / ① BACKHOE w/compaction wheel					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES. ROSS WASHAWAY OBSERVED THE EXCAVATION OF ② MORE FLOW THROUGH PLANTER BOXES. BOX #4 IS APPROX 8'x10'x 1/2' BELOW EXISTING GROUND SURFACE. BOX #5 IS 8'x18'x 2' BELOW EXISTING GROUND SURFACE. BASED ON OBSERVATION AND PROBING BOTTOM OF EXCAVATION MATERIALS APPEAR TO BE FIRM + UNYIELDING AND SUITABLE FOR THE INTENDED USE THATS IN PREVIOUSLY COMPACTED FILL. GOVERNING AGENCY TO OBSERVE PLACEMENT OF REBAR PER DETAIL.</p> <p>LDI CONTRACTOR BACKFILL AREA DRAIN TRENCHES THAT ARE IN THE NORTH EAST CORNER OF COURT YARD (B) DEPTH OF FILL WITH NATIVE MATERIALS ABOVE SHADING APPROX 2 1/2 FEET. MATERIALS ARE PLACED IN APPROX 8 INCH LIFTS AND COMPACTED BY WHACKER. KANA CONTINUING TO TIE IN WATER LINE WITH A BLOW OFF VALVE AND FLUSHING. BACKFILL OPERATIONS TOMORROW.</p> <p>PBC GRABED FOR CURB + CUTTER AT THE CORNER OF FORBES RD AND GETTY DR THATS NORTHWEST CORNER OF THE SITE. FOREMAN SAID HE'S READY FOR SUBGRADE TESTING. DENSITY TEST INDICATED VERY LOOSE MATERIALS. SUBGRADE WAS REWORKED AND RETESTED. CAB MATERIALS PLACED IN UPPER 6 INCHES OF SUBGRADE UNDER CURB + CUTTER AREA. PBC ALSO STARTING CUT FOOTING FOR PAVED ROAD. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p>					
				<b>ACTIVITY CODE</b>	<b>HOURS</b>
				550	2.0
				576.3	2.0
				576.2	1.0
				577.2	3.0
<b>DISTRIBUTION</b>				<b>TOTAL</b>	<b>8.0</b>
<b>TECHNICIAN (Print)</b> FRED SMITH	<b>RECEIVED BY (Print)</b>				
<b>TECHNICIAN (Signature)</b> <i>[Signature]</i>	<b>RECEIVED BY (Signature)</b>				



**ALBUS-KEEFE & ASSOCIATES, INC.**  
**GEOTECHNICAL CONSULTANTS**

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	✓
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 3/3/17		
LOCATION/TRACT 27742 FORBES RD	LAGUNA NIEGUEL	PROJECT ENG./GEOL. D.A. M.S.	YARDAGE TODAY		
CONTRACTOR ROSS MASONRY	FOREMAN NICK BARRIS / FRED SMITH	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT (1) BACKHOE / (1) MINI EXCAVATOR (1) BOBCAT (1) WILLOCKER / (1) MINI EXCAVATOR / (1) BOBCAT (1) WILLOCKER					
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES.					
<p>KAVA'S OPERATION TODAY WAS TRENCHING DOWN TO A DEPTH 9' BELOW FINISH SURFACE IN ORDER TO CROSS UNDER ALL OTHER UTILITIES NO BACKFILL TODAY. FORBES RD WATER TIE IN L.D.I. IS TRENCHING AND INSTALLING 4" PERFORATED FOR DRAINS UNDER PAVERS IN FRONT OF RETAIL BUILDING AS WELL AS INSTALLING IRRIGATION LINES TO PALM TREES. APPROX 6-8 INCH LEFT OF NATIVE MATERIALS PLACED OVER IRRIGATION LINES BASED ON PROBING IRRIGATION TRENCH MATERIALS APPEAR TO BE FIRM + UNYIELDING BOTH TRENCHES CUT INTO PREVIOUSLY COMPACTED FILL. DRAIN LINE TRENCH FOR PAVERS WAS CUT TO A DEPTH OF 8-12 INCHES BELOW EXISTING SURFACE 12 INCHES WIDE. AMPROPE FABRIC LINED THE BOTTOM AND LAID 12-15 INCHES OUTSIDE THE TRENCH. LOCALIZED AREAS HAD 3/4 ROCK PLACED TO HOLD REPAIR PLACE P.B.C. CONTRACTOR TO PLACE CURB MATERIALS MONDAY.</p> <p>ROSS MASONRY EXCAVATED FOR FOUNDATION (FOOTING) FOR HANDLED CAR RAMP, WALL FOOTING AND STAIRS COMING OUT NORTH END OF RETAIL BUILDING THE FOOTING FOUNDATIONS ARE 125-130% OPTIMUM MOISTURE CONTENT. BASED ON OBSERVATION + PROBING MATERIALS APPEAR TO BE FIRM + UNYIELDING AND ARE CONSIDERED SUITABLE FOR FURTHER INTENDED USE KEY IN FOOTING RELATIVE SQUARE.</p>					
				ACTIVITY CODE	HOURS
RC GRADING ON SITE EXPORTING AND FILLING BEHIND CURB DEPTH 12" PROBING INDICATED FIRM + UNYIELDING CONDITION				576.2	1.0
TECHNICIAN (Print) FRED SMITH				576.3	5.5
RECEIVED BY (Print) G. LOVE				550	1.5
TECHNICIAN (Signature)					
RECEIVED BY (Signature)					
DISTRIBUTION				TOTAL	8.0



**ALBUS-KEEFE & ASSOCIATES, INC.**  
**GEOTECHNICAL CONSULTANTS**

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>		GRADING
			POST-GRADING
JOB NO.	CLIENT/PROJECT	DAY	DATE
2176.01	ALLIANCE RES	THURS	7/23/17
LOCATION/TRACT	PROJECT ENG/GEOL.	YARDAGE TODAY	
27742 Forbes Rd	LAGUNA NIQUEL D.A. M-S		
CONTRACTOR	FOREMAN	WEATHER	YARDAGE TO DATE

EQUIPMENT same as pg #1

to concrete pour. Sub-contractor should have excavation re-evaluated. All ~~stuff~~ slough & debris should be kept clean prior to pour. Planter box # ( ) ready for steel to be placed. Based on observation, probing & random density test materials appear to be firm & unyielding meeting 90% or greater

		ACTIVITY CODE	HOURS
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)		
TECHNICIAN (Signature)	RECEIVED BY (Signature)		
DISTRIBUTION		TOTAL	



**ALBUS-KEEFE & ASSOCIATES, INC.**  
**GEOTECHNICAL CONSULTANTS**

<b>MEMO NO.</b>	<b>DAILY FIELD REPORT/MEMO</b>		<b>GRADING</b>
			<b>POST-GRADING</b>
<b>JOB NO.</b> 2176.01	<b>CLIENT/PROJECT</b> ALLIANCE RES	<b>DAY</b> THUR	<b>DATE</b> 2/23/17
<b>LOCATION/TRACT</b> 27742 Forbes Rd	<b>LAGUNA NIGUEL</b>	<b>PROJECT ENG/GEOL</b> D.A. M.S	<b>YARDAGE TODAY</b>
<b>CONTRACTOR L.D.T.</b> Trenchers / Mason	<b>FOREMAN</b> LEO / JESSIE	<b>WEATHER</b>	<b>YARDAGE TO DATE</b>
<b>EQUIPMENT</b> ① MINI EXCAVATOR ① WHACKER ① BACKHOE ① MINI EXCAVATOR ① WHACKER			
<p>On site as requested for observation &amp; testing services.</p> <p>Sub-contractor of LDI continuing to shade &amp; place native materials for area drain &amp; trenches, materials are placed in approx 6 to 8 in lifts &amp; mechanically compacted by whacker in situ moisture content 3 to 5% over optimum content. Foreman informed of low density test results. Area of concern was reworked &amp; retested. Fill operations continued Depth of fill approx 2 1/2 to 3 ft.</p> <p>Trenches west foreman said all they will do today is trench &amp; install conduit Based on probing of bottom of excavation materials appear to be firm &amp; unyielding &amp; are considered suitable for their intended use.</p> <p>Low Masonry excavated for another planter footing foundation N.W corner of building adjacent South side of Betty Dr. excavation is approx 7 ft wide &amp; 25 ft long. Bottom of excavation was found to have very saturated materials. Contractor removed another 12 to 18 in to firmer conditions CAB. materials were placed &amp; compacted in approx 6 in lifts to approx 6 in under planter slab. Contractor to pour an extra 6 to 8 in of concrete. In the event of rain prior</p>			
<b>TECHNICIAN (Print)</b> FRED SMITH	<b>RECEIVED BY (Print)</b>	<b>ACTIVITY CODE</b>	<b>HOURS</b>
<b>TECHNICIAN (Signature)</b> <i>[Signature]</i>	<b>RECEIVED BY (Signature)</b>	576.3	4.5
<b>DISTRIBUTION</b>		530	2.5
		576.7	1.0
		<b>TOTAL</b>	<b>8</b>





**ALBUS-KEEFE & ASSOCIATES, INC.**  
**GEOTECHNICAL CONSULTANTS**

<b>MEMO NO.</b>	<b>DAILY FIELD REPORT/MEMO</b>		<b>GRADING</b>	
			<b>POST-GRADING</b>	<input checked="" type="checkbox"/>
<b>JOB NO.</b> 2176.01	<b>CLIENT/PROJECT</b> ALLIANCE RES	<b>DAY</b> WED	<b>DATE</b> 2/22/17	
<b>LOCATION/TRACT</b> 27742 FORBES RD	<b>PROJECT ENG/GEOL</b> LAQUAN NIGUEL DA MS	<b>YARDAGE TODAY</b>		
<b>CONTRACTOR/OWNER/RENDER</b> ROSS MASONRY/LANDSCAPE	<b>FOREMAN</b> NICK JESSE JOE FELDER	<b>WEATHER</b> CLEAR	<b>YARDAGE TO DATE</b>	
<b>EQUIPMENT</b> (1) BACKHOES / (1) MINE EXCAVATOR / (1) MINE EXCAVATOR (1) WHACKER (1) MINE EXCAVATOR / (1) MINE EXCAVATOR				
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES          KONA HAS (2) OPERATIONS (1) IS TRYING WATER IN TO VALVE ON FORBES RD          DEPTH OF FILL WILL BE APPROX 3 FEET ABOVE SLADING CURB. MATERIALS          PLACED AND COMPACTED BY BACKHOE WITH COMPACTION WHEEL 2<sup>ND</sup>          OPERATION SAME WATER LINE TRYING WATER LINE ON SOUTH SIDE OF          SWAY VALVE <del>AND</del> BOTH LOCATIONS TO BE REOPENED WHEN WATER LINE          CONTINUED SOUTH.</p> <p>TRENCHERS WERE EXCAVATED 4' BELOW CURB TO INSTALL CONDUIT          FOR ELECTRICAL GOING TO LIGHT POLES ADJACENT FORBES RD TRENCH          PLOTTED ON FIELD PLANS DEPTH 24 INCHES SHADDED AND NATIVE          MATERIALS PLACED AND COMPACTED BY WHACKER.</p> <p>L.D.T. CONTINUED TO TRENCH IN COURT YARD (B) BOTTOM OF TRENCH          OBSERVED. BASED ON PROBING BOTTOM OF TRENCHES APPEAR TO BE          FIRM + UNYIELDING FOREMAN SAID HE WOULD NOT BE READY FOR          TESTING UNTIL TOMORROW NATIVE MATERIALS BEING PLACED IN          APPROX 6-8 INCH LIFTS AND MECHANICALLY COMPACTED BY WHACKER.</p> <p>ROSS MASONRY EXCAVATED ANOTHER PLANTER BOX ADJACENT CITY          DR. NORTHSIDE OF BUILDING BASED ON OBSERVATION AND PROBING OF          FOOTING FOUNDATION FOR PLANTER ( ) MATERIALS APPEAR TO BE FIRM +          UNYIELDING AND CONSIDERED SUITABLE FOR THEIR INTENDED USE. IN THE          EVENT OF RAIN PRIOR TO POUR FOOTING SHOULD BE REOBSERVED.</p> <p>BASED ON OBSERVATION, PROBING AND RANDOM DENSITY          TEST FOR NATIVE MATERIALS. MATERIALS APPEAR TO BE          FIRM + UNYIELDING MEETING 90% OR GREATER P.C.</p>				
<b>TECHNICIAN (Print)</b> FRED SMITH		<b>RECEIVED BY (Print)</b>		<b>ACTIVITY CODE</b>
<b>TECHNICIAN (Signature)</b> <i>[Signature]</i>		<b>RECEIVED BY (Signature)</b>		<b>HOURS</b>
<b>DISTRIBUTION</b>				576.3
				576.2
				576.5 in 200
				550
				TOTAL
				8



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO		GRADING
			POST-GRADING
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY Thurs	DATE 2/2/17
LOCATION/TRACT 2742 Forbes Rd Laguna Niguel	PROJECT ENG/GEOL W.A. M.S	YARDAGE TODAY	
CONTRACTOR	FOREMAN	WEATHER	YARDAGE TO DATE

EQUIPMENT  
 Same as pg ①

Due to caving of side walls from last rain storm recommended cleaning all stuff out. Will re-observe tomorrow. In courtyard B north side of leasing office another planter box was excavated. Excavation exposed storm drain pipe & pipe to be wrapped where it comes in contact with concrete. Based on probing bottom of excavation soils appear to be firm & unyielding & are considered suitable for their intended use.

Based on observation & probing & random density test materials appear to be firm & unyielding meeting 95% or greater relative compaction for the C&B materials placed in water line trenches in Forbes Rd.

		ACTIVITY CODE	HOURS
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)		
TECHNICIAN (Signature)	RECEIVED BY (Signature)		
DISTRIBUTION		TOTAL	



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING POST-GRADING	
JOB NO.	2176.01	CLIENT/PROJECT	ALLIANCE RES	DAY	THURS
LOCATION/TRACT	27742 Forbes Rd	PROJECT ENG./GEOL	LAGUNA NIQUEL P.A. M.S	DATE	2/2/17
CONTRACTOR	KANA	FOREMAN	Felipe	WEATHER	CLEAR
	AmPam		NICK/JOE/CARLOS		
EQUIPMENT					
① BACKHOE ① W/HACKER / ① BACKHOE ① BOBCAT ① VIBATORY PLATE ① MINI EXCAVATOR / ① MINI EXCAVATOR					
ON SITE AS REQUESTED FOR OBSERVATION & TESTING SERVICES.					
KANA INSTALLED 4 1/2 IN COPPER WATER LINE SERVICE PIPES IN LATERALS GOING BEHIND CURBS ON EAST SIDE OF FORBES RD. ALSO EXCAVATED FIRE WATER LINE TO FIRE HYDRANT EAST SIDE OF FORBES RD. LATE AFTERNOON INSPECTION BY MOLTON WATER DISTRICT. CONTRACTOR WORKING LATE TO BACKFILL THE 2 WATER SERVICES. GARY LOVE (SUPER) & BILL TOY (SUPER) INFORMED OF OVERTIME. AFTER INSPECTION SAND SHAKING IN A MIN. OF 12 IN WAS PLACED & TAMPED DOWN. STREET AREA BACK FILLED WITH CAB MATERIALS & MECHANICALLY COMPACTED WITH BACKHOE / COMPACTION WHEEL SURFACE WHEEL ROLLED BY BACKHOE					
AMPAM FINISHED INSTALLING 4 IN SDR 35 PIPE FOR SEWER & GREASE LINE 3 3/4 IN ROCK USED TO SHADE TO A MIN. OF 12 IN ABOVE PIPE. SEWER LINE DETECTION TAPE PLACED & STORM DRAIN TAPE PLACED WHERE STORM DRAIN CROSSED OVER SEWER LINE CONTRACTOR TO FINISH BACK FILLING WITH NATIVE MATERIALS TOM.					
LANDSCAPE CONTRACTOR EXCAVATED FOR BIN LINE RUNNING FROM MAIN STORM DRAIN TO FLOW THRU PLANTER IN N.E CORNER PROBING OF BOTTOM INDICATED FIRM & UNYIELDING CONDITIONS BEDDING & PIPE BEING INSTALLED					
ROSS MASONARY ASKED FOR OBSERVATION OF PLANTER BOX & WALL FOOTING FOR SPA BOTH WERE FOUND TO HAVE LOOSE MATERIALS IN BOTTOM					
TECHNICIAN (Print)	FRED SMITH	RECEIVED BY (Print)	[Signature]	ACTIVITY CODE	HOURS
TECHNICIAN (Signature)	[Signature]	RECEIVED BY (Signature)	[Signature]	576.2	2.5
				OT 576.2	1.0
				576.1	2.0
				576.3	1.5
				550	2.0
DISTRIBUTION				TOTAL	9.0

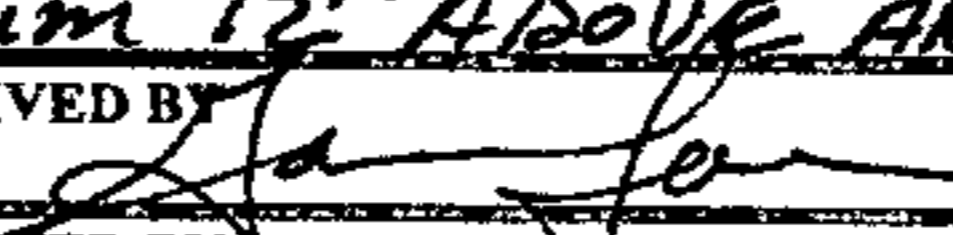




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GEOTECHNICAL CONSULTANTS

MEMO NO.		<b>DAILY FIELD REPORT/MEMO</b>		GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 2/1/17		
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG/GEOL LAPUNA NIQUEL	YARDAGE TODAY		YARDAGE TO DATE	
CONTRACTOR	FOREMAN	WEATHER			
EQUIPMENT <i>SAME AS PAGE 1</i>					
<p>DETECTION TAPE LAID ON TOP OF ROCK PRIOR TO PLACEMENT OF NATIVE MATERIALS. SUPERINTENDANT MR OARY LOVE SAID CONTRACTOR STAYING LATER TO BACK FILL TRENCH AND OK'D OVER TIME. MR BILL TOY OF AKA ALSO INFORMED. DEPTH OF FILL FROM NORTH CONNECTION GOING SOUTH 2-3 1/2 FEET ABOVE PIPEZONE NATIVE MATERIALS IN APPROX 12 INCHES AND COMPACTED BY WHACKER AND COMPACTION WHEEL ON BACKHOE THEN WHEELING SURFACE WITH BACKHOE</p> <p>LANDSCAPE SUB CONTRACTOR IS TRENCHING IN COURT YARD (A) FOR FLOW THROUGH PLANTERS + ROOF DRAINS TIE INS TO MAIN STORM DRAIN CONTRACTOR OPENED THE COMPLETE TRENCH TO EXPOSE THE TIE IN (4'S) (1) (4'S) WERE EXPOSED.</p> <p>ROSS MASONARY FINISH EXCAVATION FLOW THROUGH PLANTER IN COURT (B) IN SOUTHEAST CORNER BASED ON OBSERVATION AND PROBING BOTTOM OF EXCAVATION APPEARS TO BE FIRM + UNYIELDING AND IS CONSIDERED SUITABLE FURTHER INTENDED USE</p> <p>BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 95% OR GREATER FOR C.A.B. MATERIALS FOR WATER LINE AND 90% OR GREATER RELATIVE COMPACTION FOR NATIVE MATERIALS FOR SEWER LINE.</p>					
				ACTIVITY CODE	HOURS
TECHNICIAN (Print) <i>FRED SMITH</i>				RECEIVED BY (Print) <i>[Signature]</i>	
TECHNICIAN (Signature) <i>[Signature]</i>				RECEIVED BY (Signature) <i>[Signature]</i>	
DISTRIBUTION				TOTAL	



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 2/1/17		
LOCATION/TRACT 27742 FORBES RD LAGUNA NIQUEL	PROJECT ENG./GEOL DA MS.	YARDAGE TODAY			
CONTRACTOR MAINTENANCE FOREMAN LANDSCAPE LOSS MASONRY NICK/JOE/CARLOS/FELEZE	WEATHER CLEAR	YARDAGE TO DATE			
EQUIPMENT (1) BACKHOE W/COMPACTION WHEEL (1) WHACKER (1) MINE EXCAVATOR (1) BACKHOE (1) BOBCAT (1) MINE EXCAVATOR (1) MINE EXCAVATOR					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES        KANA TODAY DUG (3) WATER LATERALS (1) BEING AIR VAC ASSEMBLY        (2) WITH (2) WATER SERVICE'S IN EACH. AT STA 22+82 CONTRACTOR        OPERATOR BUSIATED AT IT LINE. AT IT ON SITE TO REPAIR. AT STA 22+25        TRENCH FOR AIR VAC ASSEMBLY 2' LINE INSTALLED TO BACK OF CURB.        BASED ON PROBING BOTTOM OF TRENCH EXCAVATION THE SOILS APPEAR TO BE        FIRM + UNYIELDING AND SUITABLE FOR THEIR INTENDED USE. EXPORT SAND        PLACED FOR BEDDING, PIPE INSTALLED AND MOUTON NIQUEL WATER DISTRICT        INSPECTOR ON SITE PASSED INSTALLATION AND OK'D PLACING SHADING        WHERE WATER LINE CAN UNDER CURB + CUTTER INSPECTOR SAID HE IS        EXCEPTING SUB CONTRACTOR'S METHOD OF HAND COMPACTING BY USING        2x4 TO COMPACT THE VOID UNDER CURB + CUTTER. DEPTH OF CURB.        MATERIALS ABOVE SHADING APPROX 2 FEET. MECHANICAL EFFORT        APPLIED BY BACKHOE WITH COMPACTION WHEEL AND WHEEL ROLLING        WITH FULL BUCKET UPPER 4-6 INCHES AND SEALED TRENCH WITH        COLD PATCH ASPHALT.</p> <p>AM PAM MINE EXCAVATOR TRENCHED APPROX 100 FEET 2 FEET OFF        SLAB ADJACENT WEST SIDE OF RETAIL BUILDING. 3/4" ROCK USED FOR BEDDING        BOTH SEWER + GREASE LINE PLACED IN SAME TRENCH BOTH ARE 4" SDP        35 PIPE GREASE LINE IS ON THE INSIDE HALF OF THE TRENCH AND        MARKED WITH A YELLOW LETTER (G). PHOTO'S TAKEN. CITY        INSPECTOR ON SITE OBSERVE INSTALLATION AND        FLOW LINE. OK'D TO COVER PIPES WERE SHADED        WITH 3/4 ROCK TO A MINIMUM 12" ABOVE AND</p>					
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) 		ACTIVITY CODE	HOURS
TECHNICIAN (Signature) 		RECEIVED BY (Signature) 		576.2	3.0
DISTRIBUTION				576.1	2.0
				02376.1	1.5
				576.3	1.5
				580	1.0
				TOTAL	9.5



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MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	<input type="checkbox"/>
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176 01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 1/31/17		
LOCATION/TRACT 27742 FORBES RD	LAGUNA NICHOL	PROJECT ENG./GEOL D.A. MS.	YARDAGE TODAY		
CONTRACTOR KANA AM PAM / ROSS MASONRY	FOREMAN NICK / JOE / FELIX	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ② BACKHOES ① WHACKER / ① BACKHOE					
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES					
KANA'S OPERATION CONSISTED OF POURING CONCRETE KICKER. GOT CITY INSPECTION AND BACK FILLED. FIRST 12" MINIMUM OF SAND FILLING PER MULLEN WATER DISTRICT INSPECTED AND OK'D REPEZONE. FILL PLACEMENT OF C.A.B. PLACED IN APPROX 12" LIFTS COMPACTED BY BACKHOE WITH COMPACTATION WHEEL AND BY WHACKER WHERE BACKHOE COULD NOT. DEPTH OF FILL 2-3 BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING, MEETING 95% OR GREATER RELATIVE COMPACTATION IN UPPER 2 FEET.					
AM PAM'S OPERATION CONSISTED OF EXCAVATING SOUTH OF RETAIL BUILDING TO EXPOSE MAIN SEWER LINE. END OF SEWER LINE EXPOSED AND WILL CONTINUE WEST ANGLE TO CORNER OF BUILDING WHERE NEW TRENCH TO BE DUG APPROX 2' W FOR 100 FEET NORTH 2 FEET OFF BUILDING THIS TRENCH TO BE DUG TOMORROW.					
ROSS MASONRY PLACING STEEL AND DIGGING ANOTHER PLANTER BOX IN COURT YARD (B) LOCATION SOUTHEAST CORNER					
				ACTIVITY CODE	HOURS
				576.2	4.5
				576.1	1.5
				580	1.0
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print) [Signature]	
TECHNICIAN (Signature) [Signature]				RECEIVED BY (Signature) [Signature]	
DISTRIBUTION				TOTAL	7.0



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 11/30/17		
LOCATION/TRACT 27742 FORBES RD	LAGUNA NICHOL	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR KANVA ATTN PAM/ROSS MASONRY	FOREMAN NICK/JOE/FELIPE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT (1) BACKHOE (1) BOBCAT (1) WHACKER // (1) BACKHOE // (1) MINI EXCAVATOR					
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES.					
KANVA'S OPERATIONS TODAY CONSISTED OF TRENCHING IN FORBES RD THE LAST 25 FEET TO INSTALL 3 WAY VALVE ASSEMBLY AT INTERSECTION OF FORBES + CAPE DR. DEPTH OF EXCAVATION APPROX 6 FEET APPROX 12" OF CAB MATERIALS PLACED IN BOTTOM AND COMPACTED TO FIRM UP BOTTOM 4'-6 INCH PLACED FOR BEDDING. WILL BACKFILL TOMORROW AFTER INSPECTION.					
2ND OPERATION IS IN PARKING LOT FOR LEASING OFFICES 8" PIPE INSTALLED TYING MANHOLE TO 10' TANK (C). BOBCAT FEEDING MATERIALS THATS SPREAD OUT AND COMPACTED BY WHACKER DEPTH OF NATIVE FILL MATERIALS 2 1/2 - 3 FEET. UPPER 6" COMPACTED BY BOBCAT WITH FULL BUCKET TRACKING TO SEAL TOP SURFACE BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.					
AMPAM IS TRENCHING AT SOUTH END OF RETAIL BUILDING STARTING AT GREASE INTERSEPTOR. DUG APPROX 20' DEPTH 5-7 FEET HAD TO STOP DUE TO STORM DRAIN PIPES IN THE WAY SUB TO MET WITH SUPERINTENDANT. TO RELOCATE.					
ROSS MASONRY EXCAVATING ANOTHER FLOW THROUGH PLANTER BOX IN COURT YARD (B) EXCAVATION EXPOSED SEWER LINE IN NORTHEAST CORNER SUB CONTRACTOR SAID HE'LL WRAP ANY PART OF PIPE THAT COMES IN CONTACT WITH CONCRETE. BASED ON OBSERVATION + PROBING BOTTOM OF EXCAVATION MATERIALS APPEAR TO BE FIRM + UNYIELDING AND IS CONSIDERED FOR THEIR INTENDED USE.					
				ACTIVITY CODE	HOURS
				576.2	2.0
				576.1	1.5
				576.3	3.0
				550	1.5
				TOTAL	8.0
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) 				
TECHNICIAN (Signature) 	RECEIVED BY (Signature) 				
DISTRIBUTION					



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING POST-GRADING <input checked="" type="checkbox"/>	
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 1/3/17		
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL O.A. M.S.	YARDAGE TODAY			
CONTRACTOR KANA AM PAM / ROSS MASON	FOREMAN NICK / JOE / FELIPE	WEATHER CLOUDY	YARDAGE TO DATE		
EQUIPMENT ① BACKHOE / ① BACKHOE ① BOBCAT					
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES.					
KANA'S OPERATIONS CONSIST OF RETRENCHING IN FORBES RD FOR REMOVAL OF ASBESTOS WATER LINE. THEY OPEN APPROX 25' OPENED WATER LINE TO DRAIN IT AND HAD SUMP PUMPS PUMPING OUT WATER.					
IN PARKING LOT OF THE LEASING OFFICE EXCAVATION FOR MANHOLE WITH WEIR PLATE WAS DUG. EXCAVATION IS APPROX 7'x6'x5' D BASED ON PROBING BOTTOM OF EXCAVATION MATERIALS APPEAR TO BE FIRM AND UNYIELDING AND ARE SUITABLE FOR THEIR INTENDED USE. APPROX 6" LAYER OF 3/4" CRUSH ROCK PLACED FOR BEDDING AND LEVELING OF BOX. MANHOLE TO BE SET TOMORROW.					
AMPAM'S OPERATION CONSISTED OF EXCAVATING FOR GREASE INTERCEPTOR BOTTOM OF EXCAVATION TO BE APPROX ELEVATION (253). SPOKE WITH PROJECT GEOLOGIST MIKE SPIRA ABOUT THE DEPTH OF EXCAVATION GOING INTO THE WATER TABLE. MRSPIRA SAID HE'D TALK TO MR ALBUS. TODAY OBSERVED AND AREA APPROX 11'x12'x13' D. CONTRACTOR TO HAVE SHORING ON SITE TOMORROW JUST OBSERVATION ONLY TODAY. BOBCAT HAULING SOILS TO STOCK PILE.					
ROSS MASONRY OBSERVED WALL FOOTING FOR SPA IN COURT YARD (B) OBSERVED FLOW THROUGH PLANTER BOX FOUNDATION IN COURT YARD (A) BOTH HAVE SATURATED SOIL 8-12 INCHES DEEP. CONTRACTOR ASKED IF HE WAS TO MOCK OUT THOSE SATURATED SOILS COULD HE REPLACE THEM WITH 3/4" ROCK. PER MY CONVERSATION (PHONE) WITH MR ALBUS WITH A.K.A. MR ALBUS SAID THAT WAS OK.					
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print)		ACTIVITY CODE	HOURS
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature)		576.3	3.0
DISTRIBUTION				576.1	3.0
				550	1.0
				576.2	1.0
				TOTAL	8.0





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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING	<input type="checkbox"/>
		POST-GRADING	<input checked="" type="checkbox"/>

JOB NO. <b>217601</b>	CLIENT/PROJECT <b>ALLIANCE RES</b>	DAY <b>FRI</b>	DATE <b>12/30/16</b>
LOCATION/TRACT <b>27742 FORBES RD</b>	PROJECT ENG/GEOL <b>DA MS</b>	YARDAGE TODAY	
CONTRACTOR <b>ROSS MASONARY</b>	FOREMAN <b>FELIPE</b>	WEATHER	YARDAGE TO DATE

EQUIPMENT

ON SITE AS REQUESTED TO OBSERVED THE ~~FOOTING~~  
 FOOTING EXCAVATIONS FOR PLANTER BOX IN COURTYARD (A) AND  
 WALL FOOTING IN COURTYARD (B). IN COURTYARD (B) SUB IS  
 MUCKING OUT MUD. ABOUT 8:30 IT STARTED RAINING  
 OPERATIONS STOPPED AND COVERED FOOTING. SUB SAYS WE'D  
 CONTINUE NEXT WEEK.

		ACTIVITY CODE	HOURS
		550	2.5
TECHNICIAN (Print) <b>FRED SMITH</b>			
TECHNICIAN (Signature) <i>[Signature]</i>			
RECEIVED BY (Print)			
RECEIVED BY (Signature)			
DISTRIBUTION		TOTAL	2.5



**ALBUS-KEEFE & ASSOCIATES, INC.**

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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>		GRADING	
			POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 12/29/12	
LOCATION/TRACT 27742 FORBES RD	LAGUNA NIGUEL	PROJECT ENG./GEOL. D.A. M.S.	YARDAGE TODAY	
CONTRACTOR ROSS MASONRY/AMAR	FOREMAN NICK / FELIPE / JOE	WEATHER CLOUDY	YARDAGE TO DATE	
EQUIPMENT ① BACKHOE ① WHACKER / ① WHACKER				
<p>ON SITE AS REQUESTED FOR OBSERVATION &amp; TESTING SERVICES KAWA'S OPERATION CONSISTS OF FINISH TRENCHING &amp; LOCATING STUB OUTS FOR ROOF DRAIN SYSTEMS THAT DRAIN INTO FILTERATION SYSTEM. BOTTOM OF TRENCH WAS FOUND LOSE SUB-CONTRACTOR USED WHACKER TO TIGHTEN UP TRENCH &amp; BASED ON PROBING OF BOTTOM OF TRENCH, PROBING INDICATED FIRM &amp; UNYIELDING CONDITIONS APPROX 6" OF 3/4 IN. ROCK WAS PLACED FOR BEDDING FOR FILTERRA BOX BEDDING &amp; LEVELING &amp; BEDDING FOR 15" STORM DRAIN PIPE. FLOW LINE SET &amp; ESTABLISHED BY SUB-CONTRACTOR. SUB CONTRACTOR WILL WAIT TILL NEXT WEEK FOR INSPECTION FROM CITY.</p> <p>ROSS MASONRY CONTINUING TO MUCK OUT MUD FROM FOOTING FOR SPA WALK &amp; COURTYARD B. ALSO MUCKING MUD OUT IN COURTYARD A. CONTRACTOR STOPPED &amp; WENT TO POUR WALK FOOTING FOR THE RAMP, WILL CONTINUE NEXT WEEK CONTRACTOR INFORMED THAT HE SHOULD PROTECT EXCAVATIONS DUE TO RAIN COMING THIS WEEKEND. CONTRACTOR PLANS ON WORKING TOMORROW. &amp; POSSIBLY POUR CONCRETE.</p> <p>SEWER CONTRACTOR PLACING NATIVE MATERIALS IN SEWER LINE TRENCH MATERIALS PLACED IN APPROX 6" LIFTS &amp; ARE MECHANICAL COMPACTED BY WHACKER DEPTH OF FILL APPROX 4 FT DENSITY TEST TAKEN INDICATING FIRM &amp; UNYIELDING CONDITION MEETING 90% OR GREATER RELATIVE COMPACTION</p>				
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)	ACTIVITY CODE	HOURS	
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature)	576.3	4	
		550	2	
		576.1	2	
DISTRIBUTION			TOTAL	



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MEMO NO.	DAILY FIELD REPORT/MEMO		GRADING	<input type="checkbox"/>
			POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 12/20/16	
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG/GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR KAMA	FOREMAN MICK (FELIPE) JOE	WEATHER CLOUDY		
EQUIPMENT ① BACKHOE / ① WHACKER / ① BACKHOE ① WHACKER		YARDAGE TO DATE		

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES FOR STORM DRAIN, FOOTINGS AND SEWER KAMA OPERATION CONSISTED OF TRENCHING FOR ANOTHER FILTERRA BOX IN COURTYARD (A) EXCAVATION CONSISTED OF DIGGING FOR PIPE PREVIOUSLY INSTALLED BY ALCO. 15" PIPE WAS NOT INSTALLED EXCAVATION FOR BOX WAS 7' x 6' x 4 1/2' FROM EXISTING GRADE. BASED ON PROBING BOTTOM OF EXCAVATION MATERIALS APPEAR TO BE FIRM + UNYIELDING AND IS CONSIDERED SUITABLE FOR THEIR INTENDED USE CONTRACTOR WHILE DIGGING TRENCH TO INSTALL 15" PIPE DAMAGE ELECTRICAL CONDUIT. ELECTRICAL CONTRACTOR CAME FIXED BROKEN TUBE AND LOWERED THEM BECAUSE THEY WERE TOO HIGH CAUSING REAR FLOW FOR DRAIN SYSTEM. OBSERVE FOOTINGS AGAIN CONTRACTOR MOUND MUD FOR RAMP WALL FOOTING BASED ON PROBING OF FOOTING PROBING INDICATED FIRM + UNYIELDING CONDITION AND MATERIALS ARE SUITABLE FOR THEIR INTENDED USE SEWER CONTRACTOR HAD KAMA TAP INTO SEWER LINE AND PLUG STORM DRAIN LATERAL PIPE INSTALLED CONTRACTOR VERIFYING FLOW LINE BACK FILLING SEWER LINE AND STORM DRAIN. PER PHONE CALL WITH PAT KEEFE AFTER HE HAD REVIEWED PHOTO. 3/4" ROCK WAS OK TO PLACE UP TO WITHIN 4' FOOT OF PAD SUBGRADE. ROCK WAS COMPACTED IN 2' LIFTS BY WHACKER. CONTRACTOR TO PLACE NATIVE FILL MATERIALS TOMORROW.

		ACTIVITY CODE	HOURS
		576.3	3.0
		550	1.0
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)	576.1	4.0
TECHNICIAN (Signature)	RECEIVED BY (Signature)		
DISTRIBUTION		TOTAL	8.0



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>		GRADING	
			POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 12/27/16	
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL. LAQUA NIQUEL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR ROSS MASON / ANAM	FOREMAN NICK / FELIPE / JOE	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① BACKHOE ① WHACKER				
<p align="center">ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE BACKFILL OPERATION IN COURT YARD (C) AROUND FILTERRA BIOTENTION ROOF DRAIN SYSTEM BOX. DUE TO PREVIOUS RAINS THE VERTICALS AROUND BOX CAVED IN. CONTRACTOR HAVING TO HAVING SHOVEL ALL THE MUD OUT. ONCE THE MUD WAS CLEARED. THE TILES WERE SHAVED WITH 3/4" CRUSHED ROCK TO A MINIMUM 12" ABOVE CONTRACTOR USED BACKHOE TO Haul DRIER NATIVE MATERIALS. DEPTH OF FILL APPROX 2 1/2 FEET. PLACEMENT OF FILL MATERIALS WAS IN APPROX 6 INCH LIFTS AND MECHANICALLY COMPACTED BY WHACKER BASED ON OBSERVATION, PROBING AND DENSITY TEST TAKEN MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p> <p>FOOTING OBSERVATIONS (3) ① IN COURT YARD A HAS STANDING WATER ② IN COURT YARD (B) STANDING WATER AND (1) FOR RAMP WALL NORTHSIDE OF BUILDING ADJACENT CITY OR SOUTH SIDE OF THE STREET HAS SOME LOCALIZED WET SPOTS WHERE VISQUEEN LEAKED. CONTRACTOR SAID HE WILL MOCK OUT AND FILL WITH DRY MATERIALS. OTHERS WILL WAIT UNTIL TOMORROW AND RECHECK FOR COMPACTION FOR RAMP WALL.</p> <p>SEWER LINE TRENCH FOR LATERAL RE EXPOSED ALL MUD REMOVE AND SEWER LINE READY FOR KAVA TO TAP INTO AND RUN APPROX 12 FOOT STICK OF 6 INCH PIPE.</p>				
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) BOB RENEZ	ACTIVITY CODE	HOURS
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i>	576.3	4.0
DISTRIBUTION			550	2.0
			576.1	3.0
			TOTAL	8.0



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MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 12/20/16		
LOCATION/TRACT 2742 FORBES RD	LAGUNA NIGUEL	PROJECT ENG/GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR MASONRY/TRENCHES WEST	FOREMAN NICK FELIPE/JOSS	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① BACKHOE / ① BACKHOE ① WHACKER / ① BACKHOE ① WHACKER					
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR WATERLINE, FOOTING FOUNDATION, PLACEMENT OF WALL DRAIN AND UTILITY TRENCH OPERATIONS.					
MANA DIGGING WATERLINE IN FORBES RD APPROX 100' WAS EXCAVATED TO REMOVE THE OLD ASBESTOS PIPE. CONTRACTOR TO JOST PLATE TRENCH UNTIL PIPE IS REMOVED.					
ROSS MASONRY CONTINUING TO BACKFILL PLANTER BOX THAT THEY OVER DUG YESTERDAY TO REMOVE SATURATED SOILS. PLACING WITH DRY MATERIALS AND COMPACTING WITH WHACKER. MATERIALS PLACED IN APPROX 6 INCH LIFTS.					
WALL DRAIN WAS OBSERVED BEING INSTALLED SOUTH OF POBIUM. A MESH FABRIC LAYED DOWN APPROX 4-6 INCHS OF 3/4" ROCK PLACED AND THEN A 4" PREFORMED PIPE LAYED WITH HOLES DOWN. RAN OUT OF ROCK TO FINISH TOMORROW MORNING. SPOKE WITH MR ALBUS ABOUT DRAIN COMING THROUGH SLOPE FACES. HE SUGGESTED PIPES SHOULD RUN THROUGH CURB FACES.					
TRENCHES WEST EXCAVATED APPROX 60' OF COMMON UTILITY TRENCH COMING OUT NORTH END OF RETAIL BUILDING DEPTH APPROX 4 1/2 FEET. PROBING BOTTOM OF TRENCH INDICATED FIRM + UNYIELDING CONDITIONS. 4" OF SAND SAND PLACED, PIPE LAYED, AND SHAVED TO MINIMUM 12" ABOVE PIPE. NATIVE MATERIALS BEING PLACED. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION					
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print)	ACTIVITY CODE
TECHNICIAN (Signature)				RECEIVED BY (Signature)	HOURS
DISTRIBUTION					
				576.3	2.0
				550	1.5
				576.2	1.0
				576.4	3.5
				TOTAL	8.0



**ALBUS-KEEFE & ASSOCIATES, INC.**  
**GEOTECHNICAL CONSULTANTS**

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>		GRADING
			POST-GRADING
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 12/19/16
LOCATION/TRACT 2774d Forbes Rd LAGUNA NIGUEL	PROJECT ENG/GEOL DA. M.S	YARDAGE TODAY	
CONTRACTOR ROSS MASONARY	FOREMAN NICK - FELIPE	WEATHER CLEAR	YARDAGE TO DATE
EQUIPMENT ② BACKHOES / ① BACKHOE ① WHACKER			
ON SITE AS REQUESTED FOR OBSERVATION + TESTING SERVICE FOR WATER LINE + FOOTING FOUNDATION OBSERVATION.			
KANA HAS 2 OPERATIONS, 1 STARTING EXCAVATION OF WATER LINE IN FORBES RD STARTING AT GETTY DR. WORKING SOUTHWARD. DUG APPROX 100 FT DEPTH 4 TO 5 FT. 2 FT WIDE. TRENCH TO BE PLACED UNTIL PIPE REMOVED 2ND OPERATION IN COURTYARD C. PRIOR TO PLACEMENT OF FILTRATION BOX BOTTOM OF EXCAVATION HAD TO BE CLEANED OF SOILS CAUSING FROM WEEKEND RAIN. BOX INSTALLED + DRAIN PIPES PLACED, ATTACHED + CEMENTED. CITY INSPECTOR ON SITE TOMORROW FOR FINAL INSPECTION			
ROSS MASONARY CONTRACTOR EXCAVATING SATURATED SOILS DOWN TO A FIRM + UNYIELDING CONDITION. WENT TO CHECK ON OTHER CONTRACTOR, WHEN RETURNED OBSERVED CONTRACTOR HAD REMOVED 2 1/2 FT OF SATURATED SOILS, MATERIAL STILL WET AT BOTTOM, PER PHONE CONVERSATION WITH DAVE ALBUS, RECOMMENDED PLACING APPROX 6-8 IN LIFT OF 3/4 ROCK + COMPACTING ROCK WITH WACKER, USED NATIVE MATERIAL TO BACKFILL ABOVE ROCK + COMPACT TO A MINIMUM OF 90% OR GREATER. CONTRACTOR TO START COMPACT EFFORTS TOMORROW MORN.			
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)	ACTIVITY CODE 576.3	HOURS 3.5
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature)	580	2.5
DISTRIBUTION		576.2	2.0
		TOTAL	8.0



**ALBUS-KEEFE & ASSOCIATES, INC.**  
**GEOTECHNICAL CONSULTANTS**

<b>MEMO NO.</b>	<b>DAILY FIELD REPORT/MEMO</b>			<b>GRADING</b>	
				<b>POST-GRADING</b>	<input checked="" type="checkbox"/>
<b>JOB NO.</b> 2176.01	<b>CLIENT/PROJECT</b> ALLIANCE RES	<b>DAY</b> FRI	<b>DATE</b> 12/16/16		
<b>LOCATION/TRACT</b> 27742 FORBES RD	<b>PROJECT ENG/GEOL</b> LAQUANA NIQUEL D. A. M. S.	<b>WEATHER</b> MISTY CLOUDY		<b>YARDAGE TODAY</b>	
<b>CONTRACTOR</b> ROSS MASONRY	<b>FOREMAN</b> FELDER	<b>WEATHER</b> MISTY CLOUDY		<b>YARDAGE TO DATE</b>	
<b>EQUIPMENT</b> ① MINI EXCAVATOR					
<p>ON SITE AS REQUESTED BY CLIENT FOR ON SITE MEETING TO GO OVER PLANS AND DETAIL SENT OVER BY MR ALBUS ON 12/15/16. GRADING FOREMAN WILL CUT SUB GRADE FOR PAVERS AROUND SWIMMING POOL AND SPA PER THIS DETAIL WHERE PAVERS ARE LOCATED ONLY</p> <p>ROSS MASONRY EXCAVATED ANOTHER FLOW THROUGH PLANTER BOX IN COURTYARD (A) EXCAVATION APPROX 15' L X 7' W DOWN IN STEPS APPROX 5 1/2 - 6 FEET BELOW EXISTING SURFACE BASED ON OBSERVATION + PROBING MATERIALS IN STEP DOWN AND BOTTOM ARE VERY SATURATED AND UNSUSTAINABLE CONTRACTOR SAID HE'D LET STAND UNTIL NEXT WEEK AND HAVE EXCAVATION RE-EVALUATED.</p>					
				<b>ACTIVITY CODE</b>	<b>HOURS</b>
				505	2.0
				530	3.0
<b>TECHNICIAN (Print)</b> FRED SMITH					
<b>TECHNICIAN (Signature)</b> <i>[Signature]</i>					
<b>DISTRIBUTION</b>				<b>TOTAL</b>	5.0



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING POST-GRADING <input checked="" type="checkbox"/>		
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 12/14/16	YARDAGE TODAY		
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG/GEOL LAQUINA NIGUEL D.A. M.S.	WEATHER CLEAR		YARDAGE TO DATE		
CONTRACTOR KANA PIPELINE	FOREMAN NICK FELTZEE	EQUIPMENT ① EXCAVATOR ① BACKHOE ① WHACKER / ① MINI EXCAVATOR ① WHACKER // ① BACKHOE				
<p>ON SITE AS REQUESTED FOR OBSERVATION FOR THE INSTALLATION OF MANHOLE WITH WYER PLATE THAT IS ALSO PART OF THE FLOTATION SYSTEM THE (3) ON SITE LINE (1) 15" (1) 12" AND (1) 8" WERE CEMENTED IN PLACE TO MANHOLE. THE (1) 18" GOING OFF SITE STILL TO BE INSTALLED. SUB APPEARS TO HAVE INSTALLED MANHOLE PER PLAN. VERIFICATION SHOULD BE BY GOVERNING AGENCY</p> <p>OBSERVED THE EXCAVATION FOR THE WALL <sup>FOOTING</sup> GOING AROUND SPA IN COURT YARD (3) THE FOOTING EXCAVATION WAS 3' W X 35' L X 2 1/2' BELOW EXISTING GROUND SURFACE. A AREA APPROX 18' LONG WAS FOUND TO BE LOOSE + YIELDING SUB CONTRACTOR USE WHACKER TO COMPACT AREA OF CONCERN BASE ON OBSERVATION, PROBING AND DENSITY TEST TAKEN MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION. INSITU MOISTURE CONTENT 3% OVER OPTIMUM. SUBS FOREMAN INFORMED THAT HE MAY WANT TO PROTECT FOOTING DO TO RAIN COMING BEFORE HE CAN POUR CONCRETE.</p> <p>SEWER LINE LATERAL FOR GREASE TANK WAS SHADED WITH ROCK AND BACKFILLED WITH NATIVE MATERIALS. MATERIALS ARE MOISTURE CONDENSED AS NEEDED AND PROCESSED BY BACKHOE WITH COMPACTION WHEEL BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p>						
TECHNICIAN (Print) FRED SWITH				RECEIVED BY (Print) HANNA BOWMAN	ACTIVITY CODE	HOURS
TECHNICIAN (Signature)				RECEIVED BY (Signature)	576.3	3.0
DISTRIBUTION				12/15/16	576.1	2.5
				TOTAL	8	





**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>		GRADING	
			POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLEANCE RES	DAY TUE	DATE 12/13/16	
LOCATION/TRACT 29742 FORBES RD	LAGUNA NIGUEL	PROJECT ENG/GEOL D.A. M.S.	YARDAGE TODAY	
CONTRACTOR POBS MASONRY/HAND/AMIAN	FOREMAN FELIPE/NICK/JOE	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① MINI EXCAVATOR ① WHACKER / ① BACKHOE ① WHACKER / ① BACKHOE				
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR <del>WALL</del> FOOTING, FILTERA MANHOLE BOX AND SEWER LINE EXCAVATIONS.</p> <p>OBSERVED THE EXCAVATION ON GETTY DR BEHIND SOUTH CURB &amp; CUTTER ADJACENT THE BUILDING. THE FOOTING FOUNDATION EXCAVATION IS APPROX 6.5' LX 4' W X 2 1/2' BELOW EXISTING GROUND SURFACE A SECTION OF WALL FOOTING APPROX 30' LONG WAS OF SATURATED YIELDING MATERIALS DOWN 6-8 INCHES THIS AREA WAS REMOVED AND BACKFILLED WITH DRIER MATERIALS AND MECHANICALLY COMPACTED BY WHACKER BASED ON OBSERVATION/PROBING BOTTOM OF EXCAVATION APPEARS TO BE FIRM + UNYIELDING AND CONSIDERED SUITABLE FOR ITS INTENDED USE.</p> <p>STORM DRAIN OBSERVED THE EXCAVATION FOR FILTERA BIOTEN-ION ROOF DRAIN SYSTEM IN COURT YARD (C) THE EXCAVATION IS 5' X 5' X 5 1/2' BASED ON OBSERVATION AND PROBING BOTTOM OF REMOVAL MATERIALS APPEAR TO BE FIRM + UNYIELDING AND IS CONSIDERED SUITABLE FOR ITS INTENDED USE.</p> <p>SEWER LINE ASSISTED SUB CONTRACTOR IN FINING END OF MAIN SEWER LINE &amp; CLEAN OUT SUB WILL BE TYPING INTO MAIN AND TRENCHING WEST THEN NORTH TO NEW SEWER TEE IN LOCATION FOR <del>RETAIL</del> RETAIL</p>				
			ACTIVITY CODE	HOURS
			550	4.5
			576.3	2.5
			576.1	1.0
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Harsha Somnu			
TECHNICIAN (Signature) 	RECEIVED BY (Signature) 			
DISTRIBUTION			TOTAL	8.0



**ALBUS-KEEFE & ASSOCIATES, INC.**  
GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>		GRADING	
			POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 12/6/16	
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG/GEOL LAQUA NIEGUEL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR ROSS MASONARY	FOREMAN FERRER	WEATHER CLOUDY	YARDAGE TO DATE	
EQUIPMENT ① MINI EXCAVATOR ① WHACKER				
<p>ON SITE AS REQUESTED FOR OBSERATION OF FOOTING EXCAVATION FOR PLANTER BOX ADJACT NORTH SIDE RESIDENTIAL SOUTH SIDE OF GETTY DR.</p> <p>OBSERVED SUB CONTRACTOR BAILING OUT WATER THAT HAD POUNDED FROM THE REMOVAL OF THE TEMPORARY FIRE LINE AS WELL AS TRASH + DEBRIS LEFT FROM OTHER SUB'S. SUPERINTENDANT SAID TO STAND BY OBSERVED THE EXCAVATION FOOTING FOUNDATION FOR THE FLOW THROUGH PLANTER BOX. FOOTING EXCAVATION WAS APPROX 24' X 7' X 2 1/2' BOTTOM OF EXCAVATION WAS FOUND TO HAVE SOME LOCALIZED AREA'S OF SATURATED SOIL'S THAT WAS REMOVED APPROX 6" TO FIRM + UNYIELDING CONDITIONS. THESE AREA'S WERE BACKFILL WITH DRIER NATIVE MATERIALS AND COMPACTED BY WHACKER. BASED ON OBSERVATION AND PROBING FOOTING FOUNDATION MATERIALS APPEAR TO BE FIRM + UNYIELDING AND ARE CONSIDERED SUITABLE FOR THEIR INTENDED USE. CONTRACTOR SAID SECOND EXCAVATION WILL NOT BE DONE TODAY DO TO AREA OF PLANTER BOX NEED TO BE CLEARED OF ALL TRASH AND DEBRIS. ALSO THIS AREA IS LOW NEED'S TO BE GRADED.</p>				
			ACTIVITY CODE	HOURS
			530	8
TECHNICIAN (Print) FRED SMITH			RECEIVED BY (Print)	
TECHNICIAN (Signature)			RECEIVED BY (Signature)	
DISTRIBUTION			TOTAL	8



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>		GRADING	<input type="checkbox"/>
			POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 12/5/10	
LOCATION/TRACT 27742 FORBES RD	LAQUINA NIQUEL	PROJECT ENG/GEOL DA. MS.	YARDAGE TODAY	
CONTRACTOR D&S MASONRY//KANA	FOREMAN FELIPE // NICK	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① MINI EXCAVATOR ① WILACKER ① BACKHOE				

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR BACKFILL FILLING PLANTER BOX IN COURTYARD (A) THAT WAS OK DO TO SATURATED MATERIALS FROM OTHER SUB'S DUMPING WATER OVER RAILS FROM HIGHER FLOORS FOR CLEANING, STOOD SIDING ~~AND~~ ROOF DRAINS AND WINDOW SEAL TESTING. ORDER MATERIALS PLACED BY MINI EXCAVATOR SPREAD OUT AND COMPACTED BY WILACKER. ~~THE~~ SUB MOVED TO NORTHSIDE OF BUILDING CLEANING ANOTHER SATURATED AREA FOR ANOTHER PLANTER BOX. BASED ON OBSERVATION AND PROBING SUB GRADE FOR PLANTER BOX IN COURT YARD (A) MATERIALS APPEAR TO BE FIRM AND UNYIELDING. THESE CONSIDERED SUITABLE FOR THEIR INTENDED USE.

KANA IS REMOVING THE TEMPORARY WATER LINE RUNNING EAST TO WEST ADJACENT NORTHSIDE OF BUILDING. APPROX 45' STILL TO BE REMOVED ITS UNDER SCAFFOLD. ALSO IN FORBES RD PREPARING TO EXCAVATED FOR (2) NEW SHUT OFF VALVES. LOCATIONS PLOTTED ON TO FIELD PLANS.

		ACTIVITY CODE	HOURS
		550	4.5
		576.2	3.5
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) [Signature]		
TECHNICIAN (Signature) [Signature]	RECEIVED BY (Signature) [Signature]		
DISTRIBUTION		TOTAL	8



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>		GRADING	
			POST-GRADING	
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 12/2/16	
LOCATION/TRACT 27772 FORBES RD	PROJECT ENG./GEOL. LAGUNA NICHOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR ROSS MASONRY	FOREMAN FELTDE	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① Bobcat ① Whacker				
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR REGRADING PAD GRADE UNDER PLANTER BOX COURTYARD (A) NORTHWEST CORNER. AREA TO BE BACKFILLED IS APPROX 55' X 9'-14" W X 12"-15" D. DRYER NATIVE MATERIALS HAULED AND PLACED IN APPROX 6 INCH LIFTS AND MECHANICALLY COMPACTED BY WHACKER. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION</p>				
<p>PER THE REQUEST OF CITY INSPECTOR MR BOB HE'S REQUESTING THE REVIEW OF DRY WELLS FOR THE DRAINING OF CONDENSATION FROM AC UNITS IN LEASING OFFICE. A MANUFACTURE DETAIL <del>SENT</del> SENT TO MR WAVE ALBUS OF AKA TO REVIEW. PER CONVERSATION WITH MR ALBUS, SUPERINTENDANT MR GARY LOVE, THE DETAIL SHOWN TO CITY INSPECTOR THIS DRYWELL DETAIL IS SATISFACTORY. CITY INSPECTOR WANT OBSERVATION AND REPORT WHEN DRY WELLS ARE INSTALLED.</p>				
			ACTIVITY CODE	HOURS
			550	8
			TOTAL	8
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) <i>[Signature]</i>			
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING	<input type="checkbox"/>
		POST-GRADING	<input checked="" type="checkbox"/>

JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 12/1/16
LOCATION/TRACT 27747 FORBES RD	LAGUNA NIQUEL	PROJECT ENG/GEOL D.A. M.S.	YARDAGE TODAY
CONTRACTOR ROSS MASQUARY // KANA	FOREMAN FELEPE // NICK	WEATHER CLEAR	YARDAGE TO DATE

EQUIPMENT  
 ① MINI EXCAVATOR ① WHACKER // ① AC GRINDER ① ROBCAT W/ SWEEPER

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR BACKFILL MATERIALS PLACED TO A PAD GRADE SURFACE UNDER PLANTED BOXES IN COURTYARD (A). AGAIN SUB CONTRACTOR HAD TO GO TO SUPERINTENDANT ABOUT OTHER SUB'S DUMPING WATER OVER RAILING AND WATER COMING FROM ROOF DRAINS. WATER WAS REMOVED BOTTOM WAS SCARIFIED COMPACTED BY WHACKER AND DRIER NATIVE MATERIALS PLACED AND BEING MECHANICALLY COMPACTED SLOW OPERATION MATERIALS PLACED IN APPROX LUNCH LIFTS. DEPTH OF FILL PLACED 12-15 INCHES. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.

KANA OBSERVED SUB GRINDING ASPHALT ON FORBES RD IN WATER LINE TRENCH ZONE AND COVERING WITH STEEL PLATES.

ON CAPE DR STORM DRAIN TRENCH + UTILITY CROSSING APPROX 3-4 INCHES CURB REMOVED AND REPLACED WITH COLD PATCH ASPHALT.

	ACTIVITY CODE	HOURS
	550	6
	576.2	1
	576.3	1
<b>TECHNICIAN (Print)</b> FRED SMITH		
<b>RECEIVED BY (Print)</b> [Signature]		
<b>TECHNICIAN (Signature)</b> [Signature]		
<b>RECEIVED BY (Signature)</b> [Signature]		
<b>DISTRIBUTION</b>	<b>TOTAL</b>	<b>8</b>



**ALBUS-KEEFE & ASSOCIATES, INC.**  
GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING POST-GRADING <input checked="" type="checkbox"/>
JOB NO. 217601	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 11/30/16	
LOCATION/TRACT 27742 FORBES RD	LAG	PROJECT ENG./GEOL DA. M.S.	YARDAGE TODAY	
CONTRACTOR ROSS MASONRY/KAWA	FOREMAN FELIPE II NECK	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① MINI EXCAVATOR ① W/RAKER				
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING				
SERVICE FOOTING FOUNDATION FOR PLANTER BOX COURTYARD (A)				
FOOTING OBSERVATION THIS MORNING OBSERVED TO HAVE STANDING WATER AGAIN. WATER COMING FROM ROOF DRAINS AND OTHER SUB'S DUMPING BUCKETS OF WATER FROM ABOVE. ROSS'S FOREMAN HAS LABOREE REMOVING WATER AND MUCKING ANY MUD GOING TO LET STAND FOR REST OF TODAY AND TOMORROW BACK FILL BACK UP TO A SUB GRADE ELEVATION FOR BOTTOM OF CONCRETE POUR				
KAWA MET WITH FOREMAN TODAY MARKING FORBES RD FOR WATER LINE AND SAW CUTTING				
			ACTIVITY CODE	HOURS
			580	3.0
			576.2	1.0
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) [Signature]			
TECHNICIAN (Signature) [Signature]	RECEIVED BY (Signature) [Signature]			
DISTRIBUTION			TOTAL	4.0



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING	
		POST-GRADING	L

JOB NO. 217601	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 11/29/16
LOCATION/TRACT 27742 FORBES RD LAGUNA BEACH	PROJECT ENG/GEOL AA MS.	YARDAGE TODAY	
CONTRACTOR ROSS MASONRY/KANA	FOREMAN FELIPE/NECK	WEATHER CLEAR	YARDAGE TO DATE

EQUIPMENT  
 (1) BACKHOE (1) WHACKER

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR FOOTING EXCAVATIONS IN COURT YARD (A) AND STORM DRAIN TRENCH BACKFILL ON CAPE DR.

FOOTING OBSERVATIONS LABORER CONTINUING DIG MUD BY HAND BASED ON OBSERVATION AND PROBING AREA OF REMOVAL OF MUD APPEARS TO BE FIRM + UNYIELDING DEPTH OF REMOVED MUD 8-12 INCHES. FOREMAN SAID MAY BACKFILL WITH DRIER MATERIALS TOMORROW.

MAKING BACKFILLING STORM DRAIN AND UTILITY TRENCH ACROSS CAPE DR. STORM DRAIN + UTILITY PIPES SHAVED WITH IMPACT SAND THEN UPPER 2 FEET BACKFILLED WITH CMB MATERIALS. SAND AND CMB MATERIALS MOISTURE CONDITIONED ON SITE AS NEEDED HAULED PLACED IN LIFTS AND MECHANICALLY COMPACTED BY WHACKER. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 95% OR GREATER RELATIVE COMPACTION PER CITY STANDARD.

	ACTIVITY CODE	HOURS
	550	2.5
	576.3	5.5
	TOTAL	8.0

TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) [Signature]
TECHNICIAN (Signature) [Signature]	RECEIVED BY (Signature) [Signature]



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 11/28/16		
LOCATION/TRACT 27742 FORBES RD	LAPUNA NEQUEL	PROJECT ENG./GEOL. D.A. M.S.	YARDAGE TODAY		
CONTRACTOR/RES KANA	FOREMAN FELPE/NECK	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① MINI EXCAVATOR ① WHACKER // ① EXCAVATOR ① BACKHOE w/ COMPACTION WHEEL					
<p align="center">ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR OBSERVATION OF FOOTING FOUNDATION FOR PLANTER BOXES IN COURT YARD (A), WATER LEAK BACKFILL ON FORBES RD AND STORM DRAIN ON CORP DR.</p> <p>FOOTING FOR PLANTERS COURTYARD (A) OBSERVED STANDING WATER. FOREMAN SAID THEY WILL PUMP OR USE BUCKET TO REMOVE WATER. AFTER WATER WAS REMOVED BOTTOM OF EXCAVATION 6-12 INCHES WAS SATURATED SOIL USING LABORERS TO CLEAR MUD OUT DOWN TO FIRM + UNYIELDING CONDITIONS THEN WILL PLACE DRIER MATERIALS AND COMPACT.</p> <p>KANA IN STREET ON FORBES RD PUMPING OUT WATER AND BACKFILL WITH SAND TO SHADE PIPE AND CAB MATERIALS ABOVE SHADING. ALL MATERIALS ARE MOISTURE CONDITIONED AS NEEDED AT ON SITE STOCK PILE, PLACED IN LIFTS AND MECHANICALLY COMPACTED. SAND SHADING PROBES FIRM + UNYIELDING CAB MATERIALS COMPACTED TO 95% OR GREATER RELATIVE COMPACTION.</p> <p>STORM DRAIN ON CORP DR WHERE SIDING PLACED THREE CONDUIT DEEPER TO CROSS UNDER STORM DRAIN. KANA IS CONNECTING THE CONCRETE PIPE WITH A JOINT IN PLACE. PLAN TO BACKFILL TOMORROW.</p>					
				ACTIVITY CODE	HOURS
				550	1.5
				576.2	3.5
				576.3	1.5
				TOTAL	6.5
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) <i>[Signature]</i>				
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>				
DISTRIBUTION					





**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING POST-GRADING <input checked="" type="checkbox"/>
JOB NO. 2174.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 11/23/14	
LOCATION/TRACT 27742 FORBES RD	LAGUNA NIGUEL	PROJECT ENG/GEOL D.A. M.S.	YARDAGE TODAY	
CONTRACTOR BOSS MASONRY	FOREMAN	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① MINI EXCAVATOR				
<p>ON SITE AS REQUESTED TO OBSERVE THE EXCAVATION FOR THE FLOW THROUGH PLANTED BOX FOOTING FOUNDATIONS. EXCAVATIONS ARE IN COURTYARD (A) NORTHEAST CORNER PLANTED EXCAVATION IS APPROX 38' X 6' X 3 1/2' DEEP FROM EXISTING GROUND SURFACE. SECOND PLANTED BOX IN NORTHWEST CORNER OF COURTYARD (A) IS APPROX 54' L X 9'-14' W X 3 1/2' DEEP FROM EXISTING GROUND SURFACE. FOOTINGS ARE EXCAVATED INTO PREVIOUSLY COMPACTED FILL WHICH IS CONSIDERED SUITABLE FOR ITS INTENDED USE BASE ON OBSERVATIONS AND PROBING MATERIALS THAT APPEAR TO BE FIRM + UNYIELDING.</p> <p>CONTRACTOR AND ACTING SUPERINTENDANTS INFORM THAT THESE FOOTING SHOULD BE PROTECTED IN SOME MANNER DO TO THE RAIN PROTECTED OVER THE LONG HOLIDAY WEEKEND. SUPERINTENDANT MR ERIC SAEB CAME BACK MONDAY 11/23/14 AND OBSERVE THE CONDITIONS</p>				
			ACTIVITY CODE	HOURS
			530	6
			TOTAL	6
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)			
TECHNICIAN (Signature)	RECEIVED BY (Signature)			
DISTRIBUTION				



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<b>MEMO NO.</b>	<b>DAILY FIELD REPORT/MEMO</b>	<b>GRADING</b>	<input type="checkbox"/>
		<b>POST-GRADING</b>	<input checked="" type="checkbox"/>

JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 11/18/16
LOCATION/TRACT 27742	PROJECT ENG/GEOL D.A. MS	YARDAGE TODAY	
CONTRACTOR KANA TRENCHERS WEST/ROSS MASONRY	FOREMAN NICK/JESUS/FELTPE	WEATHER CLEAR	YARDAGE TO DATE

**EQUIPMENT**  
 (1) BACKHOE // (1) BACKHOE w/COMPACTION WHEEL (1) WHACKER //  
 (1) MINI EXCAVATOR

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR WATER LINE EXCAVATIONS, COMMON UTILITY TRENCH BACKFILL AND PLANTER BOX FOOTING FOUNDATION EXCAVATION.

KANA BACKFILLING TEMPORARY WATER AT SOUTH CORNER OF GETTY DR. CITY INSPECTOR WANT NO OPEN CURB LINE DUE TO POSSIBLE RAIN AND SAFETY ISSUES FOR THE WEEKEND INTO MONDAY.

TRENCHERS WEST FINISHED BACKFILLING UTILITY TRENCH ON SOUTH SIDE GETTY DR. DEPTH OF TRENCH APPROX 30" 12" SAND SHALING AND APPROX 18' NATIVE FILL MATERIALS. MATERIALS ARE MOISTURE CONDITIONED BY HOSE FROM WATER TANK PROCESSED BY BACKHOE AND MECHANICALLY COMPACTED BY BACKHOE WITH COMPACTION WHEEL AND WHACKER. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.

ROSS MASONRY I OBSERVED ANOTHER PLANTER FOOTING FOUNDATION EXCAVATION. EXCAVATION RELATIVE SQUARE AND CLEAN OF ALL SLOUGH DEPTH APPROX 5' BELOW FINISH SURFACE. BASED ON OBSERVATION AND PROBING FOOTING EXCAVATION MATERIALS APPEAR TO BE FIRM + UNYIELDING AND SUITABLE FOR ITS INTENDED USE. IF FOOTING GET'S SATURATED DUE TO POSSIBLE RAIN THIS WEEKEND + MONDAY CLIENT MAY WANT FOOTING RE OBSERVED PRIOR TO CONCRETE POUR.

	ACTIVITY CODE	HOURS
	576.2	2.5
	576.4	3.5
TECHNICIAN (Print) FRED SMITH	550	2.0
TECHNICIAN (Signature)		
DISTRIBUTION	TOTAL	8.0

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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING POST-GRADING <input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 11/17/16	
LOCATION/TRACT 27742 FORBES RD	LAQUINA NIQUEL	PROJECT ENG/GEOL D.A. MS	YARDAGE TODAY	
CONTRACTOR TRENCHERS WEST/ROSS MASONARY	FOREMAN JESUS // FELIPE	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT (1) BACKHOE w/ COMPACTION WHEEL // (1) MINI EXCAVATOR (1) WATER TANK				
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR UTILITY TRENCH BACKFILL AND WALL FOOTING EXCAVATION. TRENCHERS WEST CONTINUED WITH PLACEMENT OF NATIVE FILL MATERIALS ABOVE PIPE ZONE IN UTILITY TRENCH. DEPTH OF FILL PLACED 2 1/2 - 4 FEET. MATERIALS ARE MOISTURE CONDITION BY HOSE FROM WATER TANK AND PROCESSED BY BACKHOE PLACED IN APPROX 12-18 INCH LOOSE LIFTS AND COMPACTED BY BACKHOE WITH COMPACTION WHEEL. AREAS WHERE STORM DRAIN WAS EXPOSED BECAUSE THE (2) TRENCHES ARE CLOSE NATIVE MATERIALS PLACED AND COMPACTED ALONG SIDE AND THEN CLEANED AWAY IN ORDER TO RESHAPE STORM DRAIN WITH 3/4 ROCK AS BEFORE. MINIMUM 12" PLACED OVER AND AROUND EXPOSED SIDES. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p> <p>OBSERVED ROSS MASONARY EXCAVATING 45' OF RETAINING WALL FOOTING SOUTH OF PODIUM <del>EXCAVATION</del> EXCAVATION WAS 45' LONG 46" WIDE RELATIVELY SQUARE &amp; CLEAN OF ALL SLOUGH. DEPTH 2 1/2 - 4 FEET BELOW EXISTING SURFACE. FOOTING EXCAVATION WAS IN AND EXPOSED PREVIOUSLY COMPACTED FILL MATERIALS. BASED ON OBSERVATION AND PROBING FOOTING EXCAVATION MATERIALS APPEAR TO BE FIRM + UNYIELDING AND SUITABLE FOR IT'S INTENDED USE.</p>				
			ACTIVITY CODE	HOURS
			576.4	6
			550	2
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Blake Colburn			
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION			TOTAL	8



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING POST-GRADING <input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 11/15/16	
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL LAOUNA NIQUEL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR TRENCHERS WEST	FOREMAN JESUS	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① BACKHOE W/COMPACTION WHEEL ① WHACKER ① WATER TANK // ① MINI EXCAVATOR ① WHACKER				
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICES FOR TODAY'S TRENCH BACKFILL OPERATIONS FOR COMMON UTILITY TRENCH ADJACENT SOUTH SIDE OF GETTY DR. OBSERVED CONTRACTOR RAISING PIPE PLACING 3-4 INCHES OF IMPORT SAND FOR BEDDING AND TAMPING. PIPE ROLLED AND SHADED. IMPORT SAND WAS MOISTURE CONDITION AND PROCESSED AT THE STOCK PILE. IMPORT SAND PLACED IN APPROX 15-18 INCH LIFT AND MECHANICALLY COMPACTED BY WHACKER MAKING 4-5 PASSES. BASED ON OBSERVATION AND PROBING IMPORT MATERIALS APPEAR TO BE FIRM + UNYIELDING READY FOR NATIVE FILL PLACEMENT. CONTRACTOR SAID HE'LL START TOMORROW WITH NATIVE MATERIALS.</p> <p>IN COURT YARD (B)</p> <p>OBSERVE ③ PLANTER EXCAVATIONS IN NORTHWEST CORNER OF COURT YARD (B) BOTTOM OF EXCAVATION WAS VERY LOOSE SLUFFY MATERIALS CONTRACTOR USED WHACKER TO COMPACT BOTTOM BASED ON MY OBSERVATION AND PROBING OF PLANTER FOUNDATION EXCAVATIONS MATERIALS APPEAR TO BE FIRM + UNYIELDING AND SUITABLE FOR THEIR INTENDED USE.</p>				
			ACTIVITY CODE	HOURS
			576.4	06
			550	2
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) BOB PEREZ			
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION			TOTAL	8



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 11/7/16		
LOCATION/TRACT 27742 FORBES RD	LAGUNA NIQUEL	PROJECT ENG/GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR ROSS MASONRY ADQUATIC	FOREMAN NICK/JESUS/FESE/MATT	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT (1) BACKHOE w/ COMPACTION WHEEL / (1) MINI EXCAVATOR (2) WHACKERS / (1) BACKHOE / (1) BACKHOE					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR WATER LINE, TRENCH BOTTOMS AND WALL FOOTING.</p> <p>KANA IS PREPARING FORBES RD TO INSTALL TEMPORARY WATER LINE TRENCHES WEST SAW CUTTING AND STARTING TRENCH FOR COMMON UTILITY TRENCH ON SOUTH SIDE OF GETTY DR. UTILITY TRENCH IS APPROX 8' BEHIND CURB LINE AND 5 FEET IN DEPTH CONTRACTOR'S FOREMAN WAS SHOWN APPROX WHERE STORM DRAIN WAS INSTALLED UTILITY TRENCH IN SOME AREAS JUST CATCHING STORM DRAIN TRENCH. OBSERVATION AND PROBING BOTTOM OF EXCAVATION SOILS APPEAR TO BE FIRM + UNYIELDING AND VERY MOIST.</p> <p>ROSS MASONRY CONTINUING TO EXCAVATE WALL FOOTING RUNNING ALONG P.L. SOUTH + WEST OF COURTYARD (B). OBSERVE APPROX 35' OF FOOTING EXCAVATION THATS 46" WIDE 30" DEEP RELATIVELY SQUARE AND CLEANED OF ALL SLOUGH. BASED ON OBSERVATION AND PROBING SOILS EXPOSED PREVIOUSLY COMPACTED FILL MATERIALS AND ARE CONSIDERED SUITABLE FOR THEIR INTENDED USE.</p> <p>POOL SUB CONTRACTOR ADQUATIC TECHNOLOGIES ON SITE MEET WITH FOREMAN MR MATT JAGLOWSKI. HE SAID TODAY HE WILL HAVE (2) TRUCKS OF SUREY TO START WITH COVERING POOL CONDUIT AS RECOMMENDED BY MR ALBUS OF A.K.A. SAND SHADED PIPES IN OTHER TRENCHES AND COMPACT. STARTED NATIVE FILL PLACEMENT. MATERIALS PLACED IN APPROX 6-8 INCH LIFTS. CONTRACTOR SAID HE'D BE READY TOMORROW FOR TESTING GOING TO WORK UNTIL 4-5 PM.</p>					
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) Hansha Roman		ACTIVITY CODE	HOURS
TECHNICIAN (Signature) <i>[Signature]</i>		RECEIVED BY (Signature) <i>[Signature]</i>		576.2	5
DISTRIBUTION				576.4	2
				550	1
				TOTAL	8



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MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	<input type="checkbox"/>
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 11/4/16		
LOCATION/TRACT	PROJECT ENG/GEOL		YARDAGE TODAY		
CONTRACTOR	FOREMAN	WEATHER	YARDAGE TO DATE		
EQUIPMENT SAME AS PAGE 1					
<p>EXCAVATION EXPOSED COMPETANT FILL MATERIALS THESE MATERIALS APPEAR TO BE CONSISTANT WITH MATERIALS OBSERVED DURING GRADING AND ARE SUITABLE FOR THEIR INTENDED USE. FOOTING SHOULD BE KEPTED MOISTURE CONDITIONED AND FREE OF ALL SLIGHT DEBRIS UNTEL CONCRETE POUR. LOCATION OF FOOTING OBSERVED IS PLOTTED ON FIELD PLANS.</p> <p>POOL PLUMBING TRENCHES.</p> <p>MEET WITH MAT FOREMAN FOR POOL CONTRACTOR HE WAS INFORMED PHOTOS TAKEN AND SENT TO MR DAVE ALBUS ENGINEER TO OBSERVE AND MAKE RECOMMENDATION FOR BACKFILLING AROUND PEPES THAT ARE HARD TO ACHIEVE COMPACTION. MR ALBUS SAID IMPORT SAND WOULD NOT BE ADEQUATE PIPE'S SHOULD BE COVERED WITH SLURRY.</p>					
				ACTIVITY CODE	HOURS
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) <u>[Signature]</u>				
TECHNICIAN (Signature) <u>[Signature]</u>	RECEIVED BY (Signature) <u>[Signature]</u>				
DISTRIBUTION				TOTAL	



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MEMO NO.	DAILY FIELD REPORT/MEMO		GRADING	
			POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES.	DAY FRI	DATE 11/4/16	
LOCATION/TRACT 27742 FORBES RD	LAGUNA NIQUEL	PROJECT ENG./GEOL D.A. MS	YARDAGE TODAY	
CONTRACTOR KANA / ADARTE	FOREMAN NICK / FRIS / MATT	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① BACKHOE w/ COMPACTION WHEEL.				
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR FIRE LINE, ABANDON GAS LINE TRENCH BACKFILL AND FOOTING EXCAVATIONS. OBSERVE KANA PLACING IMPORT SAND AROUND FIRELINE AND COMPACTING DOWN AROUND UNDER HAUNCHES OF PIPE WITH 12-18 INCHES PLACED ABOVE PIPE ALSO COMPACTED THEN C.A.B. MATERIALS PLACED IN APPROX 12-18 INCH LIFTS AND MECHANICALLY COMPACTED BY BACKHOE WITH COMPACTION WHEEL BOTH MATERIALS SAND AND C.A.B. WERE MOISTURE CONDITION AND PROCESSED AT STOCK PILE. TRENCH WAS BACKFILLED FROM MAIN TO CURB ONLY. VALVE ASSEMBLY IS WRONG AND WILL NOT HAVE RIGHT ONE UNTIL NEXT WEEK. ② ABANDON GAS SERVICES LOCATED ON NORTH SIDE OF GETTY DR AND PLOTTED ON FIELD PLANS WAS BACKFILL APPROX 12" OF IMPORT SAND PLACED ABOVE THE PIPE AND APPROX (2) FEET OF C.A.B. MATERIALS PLACED AND COMPACTED IN TWO LIFTS BY BACKHOE WITH COMPACTION WHEEL. BACKHOE WHEEL ROLLED SURFACE. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR 95% OR GREATER RELATIVE COMPACTION.</p>				
WALL FOOTING P.L.				
OBSERVED THE EXCAVATION OF 110 FEET OF RETAINING WALL FOOTING RUNNING ALONG WESTERN P.L. CONTINUING FROM STA 0+70 TO 1+45 AND ANOTHER 35 FEET RUNNING WEST ADJACENT EXISTING PARKING LOT. EXCAVATION GO'S FROM 32" WIDE TO 46" W X 30" BELOW ADJACENT GRADE				
BASED ON OBSERVATION PROBING BOTTOM OF FOOTING			ACTIVITY CODE	HOURS
MATERIALS APPEAR TO BE FIRM + UNYIELDING			576.2	5
			550	3
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) [Signature]			
TECHNICIAN (Signature) [Signature]	RECEIVED BY (Signature) [Signature]			
DISTRIBUTION			TOTAL	



Copy

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING	POST-GRADING
JOB NO. 2776.01		CLIENT/PROJECT ALLIANCE RES		DAY Tue	DATE 10/11/16
LOCATION/TRACT 27792 FORBES RD		PROJECT ENG/GEOL DA MS		YARDAGE TODAY	
CONTRACTOR KANA PIPELINE		FOREMAN NICK		WEATHER CLEAR	
EQUIPMENT		① EXCAVATOR ① BACKHOE ① WHACKER			
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR 12" MAIN WATER LINE (DOMESTIC) TRENCH BACKFILL. CONTRACTOR HAS DUG ANOTHER 100 FEET OF TRENCH 30" WIDE 5 FEET DEEP. OBSERVATION + PROBING BOTTOM OF EXCAVATION INDICATED MATERIALS APPEAR TO BE FIRM + UNYIELDING. BEDDING PLACED IMPORT SAND APPROX 6" SAND WAS MOISTURE CONDITIONED AT STOCKPILE. PIPE INSTALLED INSPECTED BY CITY INSPECTOR. IMPORT SAND PLACED UP TO STRING LINE AND TAMPED DOWN SAND PLACED TO 12" ABOVE PIPE AND COMPACTED BY WHACKER. AT STA 1+27 TO 1+87 60 FEET OF TRENCH DOSE NOT HAVE THE COVERAGE REQUIRED CITY WATER INSPECTOR SAID REMOVE 6 INCHES OF IMPORT SAND AND POUR 3250 CONCRETE FOR THIS AREA WERE PIPE WATER LINE WAS RAISED. CAB MATERIAL WERE PLACED IN APPROX 12 INCH LIFT AND COMPACTED BY EXCAVATOR WITH COMPACTION WHEEL THEN WHEEL ROLLED BY BACKHOE WITH FULL BUCKET. COMPACTING CAB. TO TOP OF SUBGRADE TO 90% PER CITY INSPECTOR. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS (CAB.) APPEARS TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p> <p>IN COURT YARD (3) OBSERVED (8) COLUMN FOOTING EXCAVATIONS ARE 42" x 42" x 24" FOOTINGS ARE EXCAVATED INTO PREVIOUSLY COMPACTED FILL BASED ON OBSERVATIONS + PROBING BOTTOM OF FOOTING EXCAVATION MATERIALS APPEAR TO BE FIRM + UNYIELDING AND ARE CONSIDERED SUITABLE FOR THEIR INTENDED USE. FOOTING LOCATED ON NORTH SIDE OF POOL FOR CANOPY</p>					
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print)	
TECHNICIAN (Signature)				RECEIVED BY (Signature)	
DISTRIBUTION				TOTAL	30
				ACTIVITY CODE	HOURS
				576.2	2.5
				530	.5





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<b>MEMO NO.</b>	<b>DAILY FIELD REPORT/MEMO</b>			<b>GRADING</b>	
				<b>POST-GRADING</b>	<input checked="" type="checkbox"/>
<b>JOB NO.</b> 2176.01	<b>CLIENT/PROJECT</b> ALTANCE RES	<b>DAY</b> THUR	<b>DATE</b> 11/3/16		
<b>LOCATION/TRACT</b> 21742 FORBES RD	<b>LAGUNA NIGUEL</b>	<b>PROJECT ENG/GEOL</b> D.A. M.S.	<b>YARDAGE TODAY</b>		
<b>CONTRACTOR</b> KANALROSS MASONRY	<b>FOREMAN</b> NICK FELTAE	<b>WEATHER</b> CLEAR	<b>YARDAGE TO DATE</b>		
<b>EQUIPMENT</b> ① BACKHOE					

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR FIRE LINE EXCAVATION AND WALL FOOTING EXCAVATION. ON CITY DRIVE SUB CONTRACTOR KANA TRENCHING LATERAL FROM MAIN TO TIE INTO BUILDING. DEPTH IN STREET GOING UNDER CURB + CUTTER 7 FEET. BASED ON PROBING BOTTOM OF EXCAVATION APPEARS TO BE FIRM + UNYIELDING AND MOSTLY APPROX 11" LAYER OF IMPORT SAND FOR BEDDING PLACED AND TAMPED DOWN FOR COMPACTION. FOREMAN SAID HE'LL INSTALL HIS PIPE AND VALUES GET INSPECTION LATE TODAY OR IN THE MORNING.

**WALL FOOTING EXCAVATION**

OBSERVED THE WALL FOOTING EXCAVATION NORTH OF CAPED R RUNNING ALONG WESTERN P.L. FOOTING EXCAVATION IS IN GENERAL 32" WIDE AND 30" BELOW ADJACENT GRADE AND RELATIVELY SQUARE + FREE OF SLUGH AND DEBRIS. FOOTING EXCAVATION EXPOSED COMPETANT FILL MATERIALS THESE MATERIALS APPEAR CONSISTANT WITH MATERIAL OBSERVED DURING GRADING AND ARE SUITABLE FOR THEIR INTENDED USE. FROM STA 0+00 TO 0+70 APPROVED SO CONTRACTOR CAN START PLACING RE-BAR

		ACTIVITY CODE	HOURS
		576.2	4.0
		530	3.0
		<b>TOTAL</b>	<b>7.0</b>

<b>TECHNICIAN (Print)</b> FRED SMITH	<b>RECEIVED BY (Print)</b> [Signature]
<b>TECHNICIAN (Signature)</b> [Signature]	<b>RECEIVED BY (Signature)</b> [Signature]
<b>DISTRIBUTION</b>	



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING POST-GRADING <input checked="" type="checkbox"/>
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JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 11/2/16
LOCATION/TRACT 27242 FORBES RD	PROJECT ENG/GEOL LACINA NEGUEL	YARDAGE TODAY	
CONTRACTOR KANA I/PBC	FOREMAN NICK / DAVE	WEATHER CLEAR	YARDAGE TO DATE

EQUIPMENT  
 ① BACKHOE w/ COMPACTION WHEEL

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR DOMESTIC WATER BACKFILL, COLUMN FOOTINGS AND POOL PLUMBING TRENCHES.

OBSERVED THE BACKFILL OPERATION OF DOMESTIC WATER LINE TRENCH TYING INTO THE NORTHEAST CORNER OF THE PARKING STRUCTURE APPROX 40 FEET OF WATERLINE WAS SHADED WITH IMPACT SAND SE30 OR GREATER AND MECHANICALLY COMPACTED. A OBSERVATION HOLE DUG TO VERIFY COMPACTON UNDER HAUNCHES OF PIPE. MINIMUM SHADING ABOVE PIPE 12" INCHES. DEPTH OF NATIVE FILL MATERIALS ABOVE PIPE ZONE APPROX 2' FEET. MATERIALS ARE MOISTURE CONDITIONED AT STOCK PILE AND PROCESSED BY BACKHOE. HAULED AND PLACED IN TRENCH IN APPROX 12" INCH LIFTS AND MECHANICALLY COMPACTED BY BACKHOE WITH COMPACTION WHEEL. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.

COLUMN FOOTING EXCAVATIONS

OBSERVED (3) COLUMN FOOTINGS BEING EXCAVATED IN COURTYARD (13) IN NORTHEAST CORNER EAST OF POOL. FOOTING EXCAVATIONS ARE 42" X 42" X 36" EXCAVATIONS ARE IN PREVIOUSLY COMPACTED FILL BASED ON OBSERVATIONS + PROBING OF THE BOTTOMS SOILS APPEAR TO BE FIRM + UNYIELDING AND ARE CONSIDERED SUITABLE FOR THEIR INTENDED USE.

LOCATION OF FOOTING EXCAVATION ARE PLOTTED ON TO FIELD PLANS.

TECHNICIAN (Print) FRED SWITH	RECEIVED BY (Print) <i>[Signature]</i>	ACTIVITY CODE	HOURS
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>	576.2	4.0
DISTRIBUTION		580	2.0
		TOTAL	6.0



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2776.04	CLIENT/PROJECT ALLIANCE RES	DAY Tue	DATE 10/11/16		
LOCATION/TRACT 27742 FORBES RD	LACUNA NICHOL	PROJECT ENG/GEOL DA MS	YARDAGE TODAY		
CONTRACTOR KAWA PIPELINE	FOREMAN NICK	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR    ① BACKHOE    ① WHACKER					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR 12" MAIN WATER LINE (DOMESTIC) TRENCH BACKFILL. CONTRACTOR HAS DUG ANOTHER 100 FEET OF TRENCH 30" WIDE 5 FEET DEEP. OBSERVATION + PROBING BOTTOM OF EXCAVATION INDICATED MATERIALS APPEAR TO BE FIRM + UNYIELDING. BEDDING PLACED IMPORT SAND APPROX 6" SAND WAS MOISTURE CONDITIONED AT STOCKPILE. PIPE INSTALLED INSPECTED BY CITY INSPECTOR. IMPORT SAND PLACED UP TO STRING LINE AND TAMPED DOWN SAND PLACED TO 12" ABOVE PIPE AND COMPACTED BY WHACKER. AT STA 1+27 TO 1+87 60 FEET OF TRENCH DOSE NOT HAVE THE COVERAGE REQUIRED CITY WATER INSPECTOR SAID REMOVE LINES OF IMPORT SAND AND POUR 3250 CONCRETE FOR THIS AREA WHERE PIPE WATER LINE WAS RAISED. CAB MATERIAL WERE PLACED IN APPROX 12 INCH LIFT AND COMPACTED BY EXCAVATOR WITH COMPACTION WHEEL THEN WHEEL ROLLED BY BACKHOE WITH FULL BUCKET. COMPACTING CAB TO TOP OF SUBGRADE TO 90% PER CITY INSPECTOR. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS (CAB.) APPEARS TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p> <p>IN COURT YARD (B) OBSERVED (8) COLUMN FOOTING EXCAVATIONS ARE 42" x 42" x 24" D FOOTING'S ARE EXCAVATED INTO PREVIOUSLY COMPACTED FILL BASED ON OBSERVATIONS + PROBING BOTTOM OF FOOTING EXCAVATION MATERIALS APPEAR TO BE FIRM + UNYIELDING AND ARE CONSIDERED SUITABLE FOR THEIR INTENDED USE. FOOTING LOCATED ON NORTHSIDE OF POOL FOR CANOPY</p>					
				ACTIVITY CODE	HOURS
				576.2	2.5
				550	.5
				TOTAL	3.0
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Haisha Bonmu				
TECHNICIAN (Signature) 	RECEIVED BY (Signature) 				
DISTRIBUTION					

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MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING	
				POST-GRADING <input checked="" type="checkbox"/>	
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 9/27/16		
LOCATION/TRACT 27742 FORBES RD	LAGUNA NIGUEL	PROJECT ENG/GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR KANA // AQUATIC TECH.	FOREMAN NICK // CENTENO	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① BACKHOE W/ COMPACTION WHEEL // ① BOBCAT					
<p>ON SITE AS REQUEST FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN EXCAVATION FOR MANHOLE THAT TIES INTO TANK (D) AND PUMP STATION BASED ON OBSERVATION + PROBING BOTTOM OF EXCAVATION WAS LOOSE. BACKHOE WITH COMPACTION WHEEL COMPACTED BOTTOM OF EXCAVATION PROBING BOTTOM INDICATED FIRM + UNYIELDING CONDITION AND CONSIDERED SUITABLE FOR ITS INTENDED USE.</p>					
<p>POOL EXCAVATIONS COURTYARD (B)</p> <p>ON SITE TO OBSERVE FOUNDATION EXCAVATIONS FOR SWIMMING POOL SPA AND WADING POOL IN COURTYARD (B) BASED ON OBSERVATIONS AND PROBING THE FOUNDATIONS EXCAVATIONS APPEAR TO BE FIRM + UNYIELDING EARTH MATERIALS ENCOUNTERED ARE COMPRISED OF COMPACTED FILL WHICH IS SUITABLE FOR THE SUPPORT OF THE PROPOSED STRUCTURES. EXCAVATIONS SHOULD BE KEPT FREE OF ALL SLOUGH + DEBRIS PRIOR TO PLACEMENT OF CONCRETE. CONTRACTOR OR SUPERINTENDANT SHOULD MAINTAIN 120-130 OPTIMUM MOISTURE CONTENT.</p>					
				ACTIVITY CODE	HOURS
				576.3	2
				550	1
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print)			
TECHNICIAN (Signature) <i>Fred Smith</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	3



**ALBUS-KEEFE & ASSOCIATES, INC.**  
GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING POST-GRADING <input checked="" type="checkbox"/>
JOB NO. <b>2176.01</b>	CLIENT/PROJECT <b>ALLIANCE RES</b>	DAY <b>TUE</b>	DATE <b>8/19/10</b>	
LOCATION/TRACT <b>27742 FORBES RD</b>	<b>LAGUNA NIEGUEL</b>	PROJECT ENG/GEOL <b>D.A. MS</b>	YARDAGE TODAY	
CONTRACTOR <b>AMPAM</b>	FOREMAN <b>JOE</b>	WEATHER <b>CLEAR</b>	YARDAGE TO DATE	
EQUIPMENT <b>① BOBCAT ① WHACKER ① MINI EXCAVATOR</b>				
<p><b>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR BACKFILL OPERATIONS FOR INTERIOR PLUMBING TRENCHES IN PHASE II'S (PHASE 10) OBSERVE CONTRACTOR CONTINUING TO PLACE IMPORT SAND TO A MINIMUM 12" ABOVE SEWER LINES. IMPORT SAND WAS MOISTURE CONDITIONED AT STOCKPILE PLACED AND COMPACTED BY WHACKER. NATIVE MATERIALS TO BE PLACED ABOVE PIPE ZONE BASED ON PROBING OF THE PIPE ZONE MATERIALS APPEAR TO BE FIRM UNYIELDING. NATIVE MATERIALS PLACED IN APPROX 4-6 INCH LIFT AND BEING COMPACTED BY WHACKER SLOW OPERATION. CONTRACTOR SAID HE'LL CONTINUE WITH FILL TOMORROW. NOT READY FOR TESTING TODAY.</b></p>				
			ACTIVITY CODE	HOURS
			<b>576.1</b>	<b>4.5</b>
TECHNICIAN (Print) <b>FRED SMITH</b>			RECEIVED BY (Print)	
TECHNICIAN (Signature) <i>[Signature]</i>			RECEIVED BY (Signature)	
DISTRIBUTION			TOTAL	<b>4.5</b>



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING POST-GRADING <input checked="" type="checkbox"/>
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JOB NO. 217601	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 8/10/16
LOCATION/TRACT 27742 FORBES RD	LAGUNA NIQUEL	PROJECT ENG/GEOL D.A. M.S.	YARDAGE TODAY
CONTRACTOR KAVA AMBAM II STEV BETA	FOREMAN MAX JOE AUGIE	WEATHER CLEAR	YARDAGE TO DATE

EQUIPMENT  
 ① EXCAVATOR W/COMPACTION WHEEL ① BOBCAT II ① BOBCAT ① WHACKER II  
 ① SKID/LOADER ① VIBRATORY PLATE

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE'S FOR WATER LINE TRENCH, INTERIOR PLUMBING TRENCHES AND PRESATURATION TESTING.

KAVA WATER LINE TRENCH BACKFILL. AT SOUTHEAST CORNER OF SITE APPROX 3 FT OF FILL MATERIALS PLACED ABOVE PIPE ZONE. FILL MATERIALS WERE MOISTURE CONDITIONED AS NEEDED AS EXCAVATORS WITH COMPACTION WHEEL COMPACTED. CONTRACTOR ALSO FINISHING WATER LINE.

INTERIOR PLUMBING CONTRACTOR CONTINUING TO PLACE FILL MATERIALS DEPTH OF FILL 2-2 1/2 FEET NATIVE FILL MATERIALS MOISTURE CONDITION AS BOBCAT PROCESSING MATERIALS PLACED IN APPROX 6 INCH LIFTS AND MECHANICALLY COMPACTED BY WHACKER.

BASED ON OBSERVATIONS, PROBING AND RANDOM DENSITY TEST FOR WATER + PLUMBING APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.

PRESATURATION TEST INDICATED PADS UPPER 12" ARE UNDER OPTIMUM CONDITIONS. SUPERINTENDANT + SUB CONTRACTOR INFORMED SUPER SAID THEY WOULD CONTINUE TO MOISTURE CONDITION.

	ACTIVITY CODE	HOURS
	576.2	1.5
	576.1	2.5
	570	1.5
	<b>TOTAL</b>	<b>5.5</b>

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 TECHNICIAN (Signature) *[Signature]*

RECEIVED BY (Print)  
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MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING POST-GRADING <input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 8/11/10	
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG/GEOL LORNA NIGUEL D.A. M.S.	WEATHER CLEAR		YARDAGE TODAY
CONTRACTOR AMPAM/LETI VISTA	FOREMAN JOE HAVAZIE	YARDAGE TO DATE		
EQUIPMENT ① BOBCAT ① WHACKER // ① SKIDLOADER				
<p>ONSITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR INTERIOR PLUMBING + PERSATURATIONS.</p> <p>INTERIOR PLUMBING AT SOUTHEND OF PHASE II'S PHASE 10 CONTRACTOR CONTINUING TO BACK FILL TRENCH DEPTH OF FILL 2-3 FEET ABOVE PIPEZONE. FILL MATERIALS ARE HAULED FROM ON SITE STOCK PILE OF NATIVE MATERIALS THAT WERE SPOILS FROM TRENCH EXCAVATIONS. FILL MATERIALS ARE MOISTURE CONDITIONED AS NEEDED PLACED IN APPROX 6 INCH LIFTS AND COMPACTED BY WHACKER. CONTRACTOR INFORMED OF LOW DENSITY TEST RESULTS. AREA OF CONCERN WAS REWORKED AND RETESTED. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p> <p>PERSATURATION TEST FOR PHASE 10 OF PHASE II 3 RANDOM MOISTURE DENSITY TEST WERE TAKEN AT VARIOUS DEPTHS UPPER 3-6 INCHES AT OPTIMUM 6-12 STILL UNDER THE 120% OPTIMUM CONDITIONS. CONTRACTOR SAID HES GOING TO SATURATE AGAIN SUPERINTENDANT ALSO INFORMED SUPER SAID JUST CONTINUE OBSERVATIONS AND RUN PRE TEST AGAIN TOMORROW.</p>				
		ACTIVITY CODE	HOURS	
		5761	2.5	
		560	4.5	
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)			
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature)			
DISTRIBUTION		TOTAL	7.0	



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MEMO NO.	DAILY FIELD REPORT/MEMO			GRADING	
				POST-GRADING	
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 8/12/16		
LOCATION/TRACT 27742 Forbes Rd	LAGUNA NIGUEL	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR Am PAM HETEVISTA	FOREMAN JOE AUGIE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① Bobcat ① Whacker 11 ① Skiploader					
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR INTERIOR PLUMBING & PRESATURATIONS					
<p>Am PAM plumbing contractor operations today consist of digging utility trench in phase II of phase II. Depth of trench ranging in 12" to 18". Contractor was observed laying 4" PVC pipe &amp; using chunks of native clay material to either hold pipe off ground or keep centered in middle of trench. Contractor informed he needed to use import sand bedding not chunks. Informed all loose materials must be removed. After cleaning trench of all slough based on probing bottom of excavation. Materials appear to be firm &amp; unyielding. Contractor continued laying pipe prior to coverage, waiting city inspection.</p>					
<p>Persaturation test, ran 3 random moisture density the indicated materials are at optimum conditions. Still not needing 120% optimum condition as recommended Super + contractor said they would continue with saturation. requested for sat. testing</p>					
				ACTIVITY CODE	HOURS
				576.1	3.0
				560	3.0
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print)	
TECHNICIAN (Signature)				RECEIVED BY (Signature)	
DISTRIBUTION				TOTAL	6.0





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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING	
		POST-GRADING	

JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY SAT	DATE 8/13/16
LOCATION/TRACT 27742 Forbes Rd	LAGANA NIGUEL	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY
CONTRACTOR KONA II Am Pam	FOREMAN MAY II JOE	WEATHER CLEAR	YARDAGE TO DATE

EQUIPMENT  
 ① EXCAVATOR w/compaction wheel ① Bobcat 11 ① Bobcat 4 ① Wacker

ON SITE AS REQUESTED FOR MOISTURE DENSITY PRESAT<sup>TON</sup> test FOR PHASE 10 OF PHASE II. Random moisture density taken to the depth approx 12" indicated near 120% optimum or greater. PAD grade considered suitable for its intended use. Interior plumbing previously observed & tested.

	ACTIVITY CODE	HOURS
	D.T. 560	4.0
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)	
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature)	
DISTRIBUTION	TOTAL	4.0



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING POST-GRADING <input checked="" type="checkbox"/>
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JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 8/15/10
LOCATION/TRACT 27942 Forbes Rd LAGUNA NIGUEL	PROJECT ENG/GEOL D.A. M.S.	YARDAGE TODAY	
CONTRACTOR <del>ETI VISTA</del> 11 AM	FOREMAN <del>ETI VISTA</del> 11 JOE AUSIE	WEATHER CLEAR	YARDAGE TO DATE
EQUIPMENT EXCAVATOR w/compaction wheel @ Bobcat 11 @ Bobcat @ WHACKER			

ON SITE AS REQUESTED FOR OBSERVATION & TESTING SERVICES FOR INTERIOR PLUMBING IN PHASE II & N.E. PHASE OF 8 & PRELIMINARY PRESATURATION FOR EASTERN SECTION OF PHASE II.

INTERIOR PLUMBING TRENCHES IN WESTERN HALF OF PHASE II WAS OBSERVED THAT CONTRACTOR WAS PLACING NATIVE MATERIALS OVER PIPES. NO PREVIOUS SAND SHADING PRIOR TO NATIVE MATERIALS BEING PLACED. MET WITH SUPERINTENDENT & FOREMAN OF LABOR & INFORMED THEM OF NO IMPORT SAND PLACED ABOVE PIPES. SUPER REQUESTED OBSERVATION OF REMOVAL & IF PIPES ARE CLEARED OF NATIVE MATERIALS. CONTRACTOR IS TO PLACE 12" OF IMPORT SHADING PRIOR TO ANY PLACEMENT OF NATIVE MATERIALS.

PRESATURATION TO RANDOM MOISTURE DENSITY TAKEN INDICATED FROM 0" TO 12" MATERIALS ARE DRY. CONTRACTOR WILL CONTINUALLY MOISTURE CONDITION ASKED FOR RE-TEST THURS 8/18

	ACTIVITY CODE	HOURS
	5761	4.0
	560	2.0
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)	
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature)	
DISTRIBUTION	TOTAL	6.0



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING POST-GRADING
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 8/17/16	
LOCATION/TRACT 27742 FORBES RD.	PROJECT ENG./GEOL LAURA NICHOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR ROSS MASONRY	FOREMAN JESUS	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① MINI EXCAVATOR ① WHACKER				
<p>ON SITE AS REQUESTED TO OBSERVE RETAINING WALL FOOTING EXCAVATION ALONG SOUTHWEST P.L SOUTH OF CAPE. EXCAVATION OF APPROX 200 FEET WAS 2 - 2 1/2 FEET BELOW ADJACENT GRADE AND 4' WIDE AND RELATIVELY SQUARE. FOOTING EXCAVATION EXPOSED COMPETANT FILL MATERIALS BASED ON OBSERVATION + PROBING MATERIALS APPEAR TO BE FIRM + UNYIELDING. AND ARE CONSIDERED SUITABLE FOR THEIR INTENDED USE. FOOTING EXCAVATIONS SHOULD BE KEPT MOISTURE CONDITIONED AND FREE OF ALL SLOUGH + DEBRIS PRIOR TO CONCRETE POUR</p>				
			ACTIVITY CODE	HOURS
			550	3.0
TECHNICIAN (Print) FRED SMITH			RECEIVED BY (Print)	
TECHNICIAN (Signature) <i>[Signature]</i>			RECEIVED BY (Signature)	
DISTRIBUTION			TOTAL	3.0



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 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING	
		POST-GRADING	<input checked="" type="checkbox"/>

JOB NO. <del>2176.01</del> 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY Tue	DATE 8/23/16
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL LAGUNA NICHOL D A M S	YARDAGE TODAY	
CONTRACTOR AMPAM	FOREMAN JOE	WEATHER CLEAR	
EQUIPMENT		YARDAGE TO DATE	

ON SITE AS REQUESTED TO OBSERVE THE EXCAVATION OF (3) COLUMN PAD FOOTING WEST OF GRID LINE(L) + NORTH OF GRID LINE(13) RUNNING EAST TO WEST AT GARAGE ENTERANCE. EXCAVATIONS ARE APPROX 3 1/2 FEET DEEP FROM EXISTING GROUND SURFACE. EXCAVATIONS EXPOSE COMPETANT ENGINEER FILL AND ARE CONSIDERED SUITABLE FOR THEIR INTEND USE. ALSO OBSERVED WAS (2) GRADE BEAMS APPROX 25' LONG 3' W AND 3 1/2' DEEP.

**SEWER TIE IN**

OBSERVED SUB CONTRACTOR PLACING DRY GRANULAR IMPORT SAND FOR SHADING PIPES. FOREMAN WAS INFORMED THAT HIS LABORERS WAS PLACING DRY MATERIALS. FOREMAN HAD THEM REMOVE AND MOISTURE CONDITION OUT SIDE OF THE TRENCH, BOBCAT USED TO PROCESS. CONTRACTOR SAID HE WOULD NOT CONTINUE BACK FILL AFTER HE PLACED SHADING UNTIL TOMORROW. SUPERINTENDANT INFORMED I'LL BE BACK TOMORROW.

	ACTIVITY CODE	HOURS				
	550	1				
	576.1	2				
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:35%;">TECHNICIAN (Print) FRED SMITH</td> <td style="width:30%;">RECEIVED BY (Print) Gary Lova</td> </tr> <tr> <td>TECHNICIAN (Signature) <i>[Signature]</i></td> <td>RECEIVED BY (Signature) <i>[Signature]</i></td> </tr> </table>		TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Gary Lova	TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>	
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Gary Lova					
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>					
DISTRIBUTION	TOTAL	3				



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING POST-GRADING
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY Thurs	DATE 8/25	
LOCATION/TRACT 27742 Forbes Rd	LAGUNA NIGUEL	PROJECT ENG./GEOL D.A. M.S	YARDAGE TODAY	
CONTRACTOR ETA VISTA	FOREMAN Augie	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT				
<p>ON SITE AS REQUESTED TO OBSERVE FOUNDATION FOOTINGS &amp; PRESATURATION OF PHASE II &amp; NORTHERSKAN SECTION OF PHASE 8. BASED ON OBSERVATION &amp; PROBING OF THE FOUNDATIONS EXCAVATION, MATERIALS APPEAR TO BE FIRM &amp; UNYIELDING. EARTH MATERIALS ENCOUNTERED COMPRISED OF COMPACTED FILL WHICH IS SUITABLE FOR THEIR INTENDED USE. AND SUPPORT OF THE PROPOSED STRUCTURE. FOOTINGS SHOULD BE KEPT CLEAR OF ALL STUFF &amp; DEBRIS PRIOR TO CONCRETE POUR, AS WELL AS KEPT MOISTURE CONDITIONED. MOISTURE DENSITY TEST TAKEN IN UPPER 12" INDICATED INSITU MOISTURE CONTENT 3 TO 6% OVER OPTIMUM. READY FOR PLACEMENT OF VISQUEEN. INTERIOR PLUMBING TRENCHS PREVIOUSLY OBSERVED &amp; TESTED</p>				
			ACTIVITY CODE	HOURS
			560	3
TECHNICIAN (Print) FRED SMITH			RECEIVED BY (Print)	
TECHNICIAN (Signature) <i>[Signature]</i>			RECEIVED BY (Signature)	
DISTRIBUTION			TOTAL	3



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	2
JOB NO. 217601	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 8/26/16		
LOCATION/TRACT 27742 FORBES RD.	LAGUNA NICHOL	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR AMPAM/ETIVISA	FOREMAN JOE/AUGIE	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR SEWER HOOKUPS (2) FOR PHASE (8) AREAS TO BE RETESTED WAS NOT REWORKED. MET WITH SUPERINTENDANT MR GARY LOVE HE SAID HE WOULD HAVE SUB CONTRACTOR REWORK LATE TODAY OR FIRST PART OF NEXT WEEK.</p> <p>OBSERVED FOUNDATION FOOT AT NORTH SIDE OF PHASES THAT HAD TO BE WIDEN. BASED ON OBSERVATION AND PROBING EXCAVATION EXPOSE COMPETANT COMPACTED FILL MATERIALS AND ARE SUSTRABLE FOR IT'S INTENDED USE. PLOTTED ON FIELD PLANS</p>					
				ACTIVITY CODE	HOURS
				576.1	1
				550	1
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)				
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature)				
DISTRIBUTION				TOTAL	2



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING POST-GRADING <input checked="" type="checkbox"/>
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JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 9/6/16
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL LAUNA NIQUEL	DA. MS.	YARDAGE TODAY
CONTRACTOR KANA PIPELINE	FOREMAN MAX	WEATHER CLEAR	YARDAGE TO DATE
EQUIPMENT ① EXCAVATOR			

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR (WATER LINE 12") TRENCH BACKFILL AND TO OBSERVE TIE BEAMS EXCAVATIONS TO GRADE BEAMS AT GARAGE ENTRANCE NORTH OF PHASE II.

MEET WITH FOREMAN FOR KANA AND LAUNA NIQUEL WATER INSPECTOR MR MATT CROWL. TODAY CONTRACTOR WILL BE REMOVING BLOW OFFS AND CONNECTING 12" WATER LINE TOGETHER IN (2) LOCATION ① ALONG WESTERN P.L. ② ALONG EASTERN P.L. THE OPERATION TO BE OBSERVED BY MR CROWL. CONTRACTOR SAID HE WOULD START SHADING THUESDAY.

OBSERVED THE EXCAVATION OF (5) TIE BEAM EXCAVATIONS. THE EXCAVATIONS ARE EXCAVATED IN COMPACTED FILL MATERIALS. BASE ON OBSERVATIONS AND PROBING THE BOTTOM OF EXCAVATIONS MATERIALS ARE SUITABLE FOR THEIR INTENDED USE. FOOTING EXCAVATIONS SHOULD BE KEPT MOISTURE CONDITIONED AND FREE OF ALL SLOUGH.

AM PM PROVIDED TEST HOLES FOR SEWER HOOK UPS RETEST AND PROBING INDICATED FIRM + UNWIELDING CONDITIONS MEETING 90% OR GREATER RELATIVE COMPACTION

	ACTIVITY CODE	HOURS
	576.2	1.5
	550	1.0
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)	
TECHNICIAN (Signature)	RECEIVED BY (Signature)	
DISTRIBUTION	TOTAL	2.5

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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING POST-GRADING <input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY TUE	DATE 9/27/16	
LOCATION/TRACT 27742 FORBES RD	LAGUNA NIGUEL	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY	
CONTRACTOR KANA // AQUATIC TECH.	FOREMAN NICK // CENTENO	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① BACKHOE W/ COMPACTION WHEEL // ① BOBCAT				
<p>ON SITE AS REQUEST FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN EXCAVATION FOR MANHOLE THAT TIES INTO TANK (D) AND PUMP STATION BASED ON OBSERVATION + PROBING BOTTOM OF EXCAVATION WAS LOOSE. BACKHOE WITH COMPACTION WHEEL COMPACTED BOTTOM OF EXCAVATION PROBING BOTTOM INDICATED FIRM + UNYIELDING CONDITION AND CONSIDERED SUITABLE FOR ITS INTENDED USE.</p>				
<p>POOL EXCAVATIONS COURTYARD (B)</p> <p>ON SITE TO OBSERVE FOUNDATION EXCAVATIONS FOR SWIMMING POOL SPA AND WADING POOL IN COURTYARD (B) BASED ON OBSERVATIONS AND PROBING THE FOUNDATIONS EXCAVATIONS APPEAR TO BE FIRM + UNYIELDING EARTH MATERIALS ENCOUNTERED ARE COMPRISED OF COMPACTED FILL WHICH IS SUITABLE FOR THE SUPPORT OF THE PROPOSED STRUCTURES. EXCAVATIONS SHOULD BE KEPT FREE OF ALL SLOUGH + DEBRIS PRIOR TO PLACEMENT OF CONCRETE. CONTRACTOR OR SUPERINTENDANT SHOULD MAINTAIN 120-130 OPTIMUM MOISTURE CONTENT.</p>				
			ACTIVITY CODE	HOURS
			576.3	2
			550	1
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)			
TECHNICIAN (Signature) <i>Fred Smith</i>	RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION			TOTAL	3





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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 6/22/16		
LOCATION/TRACT 20042 FORRES RD	LARUNA NIGUEL	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY		
CONTRACTOR RC GRADING	FOREMAN	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① LOADER ① SKIPLoader ① WATER TRUCK					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STRUCTURAL BACKFILL ALONG SOUTHERN PL NORTH SIDE OF WALL IN FIRE LANE. CONTRACTOR REMOVED LOOSE SPOILS THATS BEEN STOCK PILED OF STORM DRAIN + TEMPORARY WATER LINE THAT WAS REMOVED. BOTTOM OF REMOVAL OF SPOILS WAS TO FIRM + UNYIELDING CONDITIONS. BOTTOM SCAPFIED, MOISTURE CONDITIONED AND COMPACTED. DEPTH OF FILL 2 1/2 - 4 FEET. AREA BACKFILLED IS APPROX 140' L X 22' W. LOADER HAULING MATERIALS, SKIPLoader PROCESSING AS LABORER MOISTURE CONDITIONING WITH 2" HOSE FROM WATER TRUCK AS NEEDED. MATERIALS PLACED IN APPROX 6-8 INCH LIFT AND MECHANICALLY COMPACTED BY LOADER AND SKIPLoader WHEEL ROLLING EACH LIFT BASED ON OBSERVATION PROBING AND RANDOM DENSITY TEST. MATERIALS APPEAR TO BE FIRM AND UNYIELDING MEETING 90% OR RELATIVE COMPACTION.</p>					
				ACTIVITY CODE	HOURS
				577	8
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print) BOB PEREZ			
TECHNICIAN (Signature)		RECEIVED BY (Signature)			
DISTRIBUTION				TOTAL	8



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MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING <input checked="" type="checkbox"/>
		POST-GRADING <input checked="" type="checkbox"/>

JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 4/27/16
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL LAGINA NIQUEL DA MS	YARDAGE TODAY	
CONTRACTOR ALCO I/R C GRADING	FOREMAN MATT H GREG	WEATHER CLEAR	YARDAGE TO DATE

EQUIPMENT  
 (1) EXCAVATOR (1) MINI EXCAVATOR (1) BACKHOE (1) LOADER // LOADER BOBCAT WHACKIE

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN, SEWER AND RETAINING WALL OPERATIONS. ALCO'S STORM DRAIN OPERATION CONSIST OF BACKFILLING APPROX 100 FEET OF TRENCH THAT THE DEPTH OF FILL ABOVE THE PIPE ZONE 2-4 FEET LABORER USING GARDEN HOSE TO MOISTURE CONDITION MATERIALS AS LOADER PROCESSES PRIOR TO PLACEMENT. 3/4" ROCK USED FOR SHADING TO A MINIMUM 12" ABOVE AND STORM DRAIN DETECTION TAPE PLACED. LOADER FEEDING BACKHOE WITH COMPACTION WHEEL MATERIALS PLACED IN APPROX 12-18 INCH LIFTS. AT PHASE II CONTRACTOR FOR (SEWER) MAIN + LATERALS WILL CONTINUE TO DIG ALONG SOUTHERN PL. PLACED 3/4" ROCK MINIMUM 6" FOR BEDDING INSTALL PIPE FOR CITY INSPECTION TOMORROW.

I.R.C. GRADING IS IN COURTYARD (A) TO FINISH BACKFILLING CONTRACTOR SCORFING UPPER 6-8 INCHES WITH LOADER. LABORER USING FIRE HOSE 2" TO MOISTURE CONDITION. OPERATION VERY SLOW LOADER HAULING FROM STOCK PILE AT SOUTH SIDE OF SITE BOBCAT SPREADING ALONG SIDE OF WALLS AND TRACKING WHERE HE CAN FOR COMPACTION. WHACKER USED ALONG WALLS + AROUND CLEANOUT RISERS LOADER WHEEL ROLLING EVERY OTHER LIFT. LABORER PICKING ANY LARGE ROCK, TRASH AND DEBRIS VISIBLE BY EYE BOBCAT HAULS THEM TO TRASH BINS. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST

MATERIALS APPEAR TO BE FIRM + UNYIELDING	ACTIVITY CODE	HOURS
MEETING 90% OR GREATER RELATIVE COMPACTION FOR	576.3	1.5
ALL FILLS PLACED TODAY.	576.1	1.5
TECHNICIAN (Print) EPED SMITH	RECEIVED BY (Print) BOB DENEZ	579.1
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>	2.0
DISTRIBUTION	TOTAL	5.0



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING POST-GRADING <input checked="" type="checkbox"/>
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JOB NO. 2126.01	CLIENT/PROJECT ALLIANCE PES	DAY THUR	DATE 4/28/11
LOCATION/TRACT 20747 FORBES RD	PROJECT ENG./GEOL LAQUINA NIQUEI	YARDAGE TODAY NA MS	
CONTRACTOR ALCO/RC GRADING	FOREMAN MATT/GREG	WEATHER CLEAR	YARDAGE TO DATE

EQUIPMENT  
 (1) EXCAVATOR (1) BOB CAT (1) MINI EXCAVATOR (1) LOADER (1) BOBCAT //  
 (1) LOADER (1) BOBCAT (1) WHACKER

ON SITE AS REQUESTED FOR CONTINUED OBSERVATION AND TESTING SERVICE FOR STORM DRAIN, SEWER AND RETAINING WALL OPERATIONS. ALCO'S OPERATIONS TODAY ARE FOR STORM DRAIN IN COURTYARD (B) FINISH DIGGING APPROX 50' OF LATERAL BOTTOM OF TRENCH BASED ON PROBING APPEARS TO BE FIRM + UNYIELDING 4-6 INCHES OF 3/4" ROCK Laid FOR BEDDING, 12" HDPE PIPE, SHADED WITH 3/4" ROCK MINIMUM 12" AND PLACED STORM DRAIN DETECTION TAPE. SPILLS EXCAVATED FROM TRENCH ARE FILL MATERIALS THAT ARE MOISTURE CONDITION AS NEEDED DEPTH OF FILL 12-18 INCHES LOADER USED TO BACK FILL AND MECHANICALLY COMPACT BY WHEEL ROLLING WITH A FULL BUCKET. MAIN SEWER IN PHASE II TRENCHES ARE PROBED APPEAR TO BE FIRM + UNYIELDING 4-6 INCHES OF 3/4" ROCK PLACED FOR BEDDING, 6+8 INCH PVC, SIZE 35 Laid AND SHADED WITH 3/4" ROCK MINIMUM 12" COVERAGE. THEN SEWER LINE DETECTION TAPE PLACED. SURVEY ON SITE SHOT FLOW LINE. WILL BACKFILL TOMORROW.

RC GRADING FINISHING PLACING FILL MATERIALS IN COURTYARD (A) FOR RETAINING WALL + STORM DRAIN DETENTION TANK (A). FILL MATERIALS PLACED IN APPROX 6-8 INCH LIFTS MECHANICALLY COMPACTED BY WHACKER ALONG WALLS AROUND CLEAN OUTS, THEN BOBCAT TRACKING + LOADER WHEEL ROLLING FILL PLACED TO TOP OF APPROX SUBGRADE. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.

	ACTIVITY CODE	HOURS
	574.3	1.5
	576.1	4.5
TECHNICIAN (Print) FRED SMITH	579.1	20
TECHNICIAN (Signature) <i>[Signature]</i>		
DISTRIBUTION	TOTAL	80

RECEIVED BY (Print) <b>BUB PENEZ</b>	
RECEIVED BY (Signature) <i>[Signature]</i>	



**ALBUS-KEEFE & ASSOCIATES, INC.**

GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING	
		POST-GRADING	✓

JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY FRI	DATE 4/29/16
LOCATION/TRACT 77742 FAIRBES RD	PROJECT ENG./GEOL DA MS	YARDAGE TODAY	
CONTRACTOR ALCO	FOREMAN MATT	WEATHER CLEAR	YARDAGE TO DATE

EQUIPMENT  
 (1) EXCAVATOR (1) BACKHOE (1) MINI EXCAVATOR (1) LOADER (1) SOBCAT

ONSITE AS REQUESTED FOR CONTINUED OBSERVATION AND TESTING SERVICE FOR STORM DRAIN + SEWER TRENCH BACKFILL. IN COURT YARD (A) APPROX 40' OF STORM DRAIN FOR AREA DRAIN DUG, BEDDING PLACED, PIPE 12" HDPE LAID, SHADED WITH 3/4" ROCK 12" COVERAGE MINIMUM AND STORM DRAIN DETECTION TAPE PLACED. DEPTH OF FILL PLACED 12-18 INCHES. LOADER USED TO SPREAD MATERIALS AND MECHANICALLY COMPACT.

SEWER LINE TRENCH BACKFILL IN PHASE II CONSIST OF MATERIALS MOISTURE CONDITIONED AS NEEDED. DEPTH OF FILL ABOVE PIPE ZONE 4-6 1/2 FEET. FILL OPERATIONS STARTED AT SOUTH END WORKING NORTH. MATERIAL ARE MOISTURE CONDITIONED AS NEEDED LOADER USED TO HELP PROCESS AND FEED INTO TRENCH AS EXCAVATOR WITH COMPACTION WHEEL APPLIES MECHANICAL EFFORT. EXCAVATOR OPERATOR ALSO BENCHING INTO VERTICALS TO TIE THE FILLS TOGETHER. APPROX 275' OF TRENCH WAS BACKFILLED AND TESTED. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNIFORM MEETING 90% OR GREATER RELATIVE COMPACTION.

MR CHRIS WRIGHT ON SITE TO RELIEVE ME. CONTRACTOR STEPPED BACK FILL TO DIG LATERAL THEY FORGOT OR MISSED MR WRIGHT TO OBSERVE.

SUPERINTENDANT INFORMED I WAS GOING OFF SITE AND THAT CHRIS WRIGHT IS ON SITE IN MY PLACE.	ACTIVITY CODE	HOURS
	576.3	1.5
	576.1	5.0

TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) R. R. PINTZ	C.W. 576.1	1.5
TECHNICIAN (Signature) <i>Fred Smith</i>	RECEIVED BY (Signature) <i>R.R. Pintz</i>		
DISTRIBUTION		TOTAL	8.0



**ALBUS-KEEFE & ASSOCIATES, INC.**

GEOTECHNICAL CONSULTANTS

MEMO NO.		<b>DAILY FIELD REPORT/MEMO</b>		GRADING	
				POST-GRADING <input checked="" type="checkbox"/>	
JOB NO. 2176.01		CLIENT/PROJECT ALLIANCE RE		DAY THUR	DATE 5/5/16
LOCATION/TRACT 27742 FORBES RD		PROJECT ENG./GEOL D.A. M.S.		YARDAGE TODAY	
CONTRACTOR ALCO		FOREMAN MATT		WEATHER CLOUDY	
EQUIPMENT ① EXCAVATOR ① LOADER ① BACKHOE ① MINI EXCAVATOR				YARDAGE TO DATE	
<p style="text-align: center;">ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN IN PHASE II CONTRACTOR FINISHED TRENCHING. EXCAVATION OF TRENCHES ARE IN PREVIOUSLY COMPACTED FILL. BASED ON OBSERVATION AND PROBING THE BOTTOM OF THE TRENCH EXCAVATION MATERIALS APPEAR TO BE FIRM + UNYIELDING AND SUITABLE FOR ITS INTENDED USE. A 6" LIFT OF 3/4" ROCK PLACED FOR BEDDING, PIPE INSTALLED OK'D BY CITY INSPECTOR MR ABDULLAH SHADED WITH 3/4" ROCK TO A MINIMUM OF 12" ABOVE THE PIPE. STORM DRAIN DETECTION TAPE PLACED AND ON SITE NATIVE MATERIALS PLACED IN APPROX 12-15 INCH LIFTS FOR BACKHOE WITH COMPACTION WHEEL TO MECHANICALLY COMPACT AREAS WHERE EXCAVATOR WAS USED TO COMPACT WITH A COMPACTION WHEEL MATERIALS WERE PLACED IN APPROX 18-24 INCH LIFTS. MOISTURE CONDITIONING OF MATERIALS NOT NEEDED DO TO INSITU MOISTURE CONTENT 2-6% OVER OPTIMUM SURVEY ON SITE TO SHOOT FLOW LINE CIVIL ON SITE OBSERVED AND OK'D CONNECTION GOING TO TANK (D) BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p> <p>ALCO ALSO HAS A CREW PRESURE TESTING SEWER MAINLINE THAT IS OBSERVED AND VERIFIED BY CITY INSPECTOR</p>					
				ACTIVITY CODE	HOURS
				576.3	8
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print)	
TECHNICIAN (Signature) <i>[Signature]</i>				RECEIVED BY (Signature) <i>[Signature]</i>	
DISTRIBUTION				TOTAL	8



**ALBUS-KEEFE & ASSOCIATES, INC.**

GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 5/4/16		
LOCATION/TRACT 24742 FORBES RD	PROJECT ENG./GEOL LAGUNA NICHUEL	D.A. MS	YARDAGE TODAY		
CONTRACTOR ALCO	FOREMAN MATT	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR ① MINI EXCAVATOR ① BACKHOE ① LOADER					
<p>ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN TRENCH OPERATIONS. CONTRACTOR CONTINUING TO EXCAVATE STORM DRAIN TRENCHES IN PHASE II. BASED ON OBSERVATION &amp; PROBING THE BOTTOM OF EXCAVATIONS THAT ARE IN PREVIOUSLY COMPACTED FILL. MATERIALS APPEAR TO BE FIRM + UNYIELDING AND SUITABLE FOR ITS INTENDED USE. CONTRACTOR PLACING A MINIMUM 6" OF 3/4" ROCK FOR BEDDING AND INSTALLING PIPE PVC (SDR 35). PIPE'S ARE CENTER LOADED TO HOLD PIPE IN PLACE. MR ABDULLAH CITY INSPECTOR FOR CITY OF LAGUNA NICHUEL ON SITE AND OK'D APPROX 200' OF STORM DRAIN TO BE SHADED AND BACKFILLED. OPERATIONS SLOWED DOWNED DUE TO CONTRACTOR WAITING ON ROCK DELIVERY. A MINIMUM OF 12" 3/4" ROCK PLACED ABOVE PIPE AND STORM DRAIN DETECTION TAPE PLACED ON TOP. SURVEY ALSO ON SITE TO SHORT FLOW LINE. CIVIL TO LOOK AT CONNECTION AT TANK (D) PRIOR TO FILL OPERATION AT THIS CONNECTION. MR ABDULLAH TO ALSO TO OBSERVE AGAIN AFTER CONNECTIONS ARE COMPLETE. FILL MATERIALS ARE PLACED IN APPROX 24" LIFTS AND COMPACTED BY EXCAVATOR WITH COMPACTATION WHEEL. CONTRACTOR'S FOREMAN INFORMED OF LOW DENSITY TEST RESULTS. AREA OF CONCERN WAS REWORKED AND RETESTED. THE INSITU MOISTURE CONTENT IN MATERIALS 1-4% OVER OPTIMUM. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST FOR APPROX 65' OF FILL, MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.</p>					
				ACTIVITY CODE	HOURS
				576.3	8
TECHNICIAN (Print) FRED SMITH				RECEIVED BY (Print)	
TECHNICIAN (Signature) <i>Fred Smith</i>				RECEIVED BY (Signature) <i>[Signature]</i>	
DISTRIBUTION				TOTAL	8



# ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.		DAILY FIELD REPORT/MEMO		GRADING	
				POST-GRADING <input checked="" type="checkbox"/>	
JOB NO. 2176.01		CLIENT/PROJECT ALLIANCE RES		DAY TUE	DATE 5/3/16
LOCATION/TRACT 27747 FORBES RD		PROJECT ENG./GEOL DA MS		YARDAGE TODAY	
CONTRACTOR ALCO		FOREMAN MATT		WEATHER CLEAR	
EQUIPMENT		YARDAGE TO DATE			
① EXCAVATOR ① LOADER ① BACKHOE ① MINI EXCAVATOR					
<p>ON SITE AS REQUESTED FOR CONTINUED OBSERVATION AND TESTING SERVICE FOR STORM DRAIN TRENCHING AND BACKFILL OPERATION IN PHASE II. MR ABDULLAH CITY INSPECTOR CITY OF LAGUNA NIGUEL ON SITE MID MORNING. MR ABDULLAH OBSERVED APPROX 140' OF 8" PVC SCHEDULE 40 PIPE. AT SOUTHWEST END OF TANK (D) CONTRACTOR DID NOT HAVE THE COUPLING AND ASKED IF THEY COULD USE A RUBBER TYPE COUPLER WITH CLAMPS. MR ABDULLAH SAID CIVIL HAD TO MAKE THAT CALL AND IF IT WAS OK HE NEEDED IT IN WRITING. HE ALSO WANTED TO SEE CONNECTION BEFORE IT WAS COVERED. STORM DRAIN TRENCH BACKFILL CONSISTED OF BACKFILLING APPROX 100' ALONG SOUTHERN P.L. PIPE WAS SHADED WITH 3/4" ROCK TO 12" MINIMUM OVER TOP OF PIPE DETECTION TAPE PLACED. DEPTH OF FILL ABOVE PIPE ONE 3 1/2 - 5 FEET. ANOTHER APPROX 80' OF TRENCH WAS DUG THIS TRENCH IS 6 1/2 FEET WIDE. DUG TO INSTALL (2) 8" PIPE 3 FEET APART. TRENCH EXCAVATION WAS IN PREVIOUSLY COMPACTED FILL MATERIALS. BASED ON OBSERVATION AND PROBING TRENCH MATERIALS APPEAR TO BE FIRM UNLESS IN DEPTH OF TRENCH AT WEST END APPROX 6' AT EAST END 4 1/2 FEET. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM UNLESS IN DEPTH OF TRENCH OR GREATER RELATIVE COMPACTION.</p>					
				ACTIVITY CODE	HOURS
				576.3	8
TECHNICIAN (Print) FRED SMYTH		RECEIVED BY (Print)			
TECHNICIAN (Signature)		RECEIVED BY (Signature)			
DISTRIBUTION				TOTAL	8



# ALBUS-KEEFE & ASSOCIATES, INC.

GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>			GRADING	
				POST-GRADING	<input checked="" type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALTANCE RES	DAY MON	DATE 5/2/16		
LOCATION/TRACT 27742 FORRES RD	LAQUINA NIEGUEL	PROJECT ENG./GEOL D.A. MS.	YARDAGE TODAY		
CONTRACTOR ALCO	FOREMAN MAT	WEATHER CLEAR	YARDAGE TO DATE		
EQUIPMENT ① EXCAVATOR W/ COMPACTION WHEEL ① MINI EXCAVATOR W/ BACKHOE ① LOADER					
ON SITE AS REQUESTED FOR OBSERVATION AND TESTING					
SERVICE SEWER LINE AND STORM DRAIN OPERATIONS. CONTRACTOR FINISHED LAST 100' OF SEWER IN PHASE II FILL MATERIALS PLACED IN APPROX 24" LIFTS AND MECHANICALLY COMPACTED BY EXCAVATOR WITH 3' WHEEL. NO MOISTURE CONDITIONING NEEDED IN SITU MOISTURE CONTENT 3-5% OVER OPTIMUM DEPTH OF FILL 2-4 FEET.					
OVER AT SOUTH END OF TANK (A) CONTRACTOR HAD TO DIG DOWN APPROX 7 FEET AND INSTALLED CLEAN OUT PIPE. DEPTH OF FILL ABOVE 3/4" BACK APPROX 5 FEET. BACKHOE WITH COMPACTION WHEEL MECHANICALLY COMPACTED MATERIALS ARE PLACED IN APPROX 18" LOOSE LIFTS LABORED WITH HOSE HOOKED TO FIRE HYDRANT MOISTURE CONDITIONED AS NEEDED BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM & UNYIELDING MEETING 10% OR GREATER RELATIVE COMPACTION.					
				ACTIVITY CODE	HOURS
				576.1	5
TECHNICIAN (Print) FRED SMITH		RECEIVED BY (Print)			
TECHNICIAN (Signature) <i>Fred Smith</i>		RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION				TOTAL	5





**ALBUS-KEEFE & ASSOCIATES, INC.**  
GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>		GRADING	<input checked="" type="checkbox"/>
			POST-GRADING	<input type="checkbox"/>
JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY WED	DATE 4/27/16	
LOCATION/TRACT 27747 FORBES RD	LAQUINA NIGUEL	PROJECT ENG./GEOL D.A. MS	YARDAGE TODAY	
CONTRACTOR R.C. GRADING	FOREMAN ARFC	WEATHER CLEAR	YARDAGE TO DATE	
EQUIPMENT ① EXCAVATOR				
<p>ON SITE AS REQUESTED TO OBSERVE THE EXCAVATION REMOVAL FOR RETAINING WALL FOOTING IN SOUTHEAST CORNER OF THE SITE P.L. OBSERVED THAT THE DEWATERING HAS DROPPED WATER ELEVATION BELOW ELE 2.53 THE EXCAVATION BOTTOM EXPOSED SATURATED ALLUVIAL MATERIALS AS ANTICIPATED AND AS OBSERVED IN OUR REFERENCE REPORT DATED MAY 15 2014. SOFT, WET AND YIELDING CONDITIONS OF THE BOTTOM OF THE EXCAVATION. THE EXCAVATION WAS DEEPENED BY APPROX 3' BELOW BOTTOM OF FOOTING A MERTER 140 FABRIC Laid ACROSS THE BOTTOM OF THE EXCAVATION @ 2 1/2 - 3 FEET OF 3/4" ROCK PLACED AND TAMPED. THE FABRIC WAS WRAPPED UP THE SIDES AND OVER LAPPED THE TOP OF ROCK BY 12-18 INCHES AND IS SUITABLE FOR IT'S INTENDED USE.</p>				
			ACTIVITY CODE	HOURS
			550	1.0
TECHNICIAN (Print) FRIEDSMITH	RECEIVED BY (Print)			
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>			
DISTRIBUTION			TOTAL	1.0



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING	
		POST-GRADING	<input checked="" type="checkbox"/>

JOB NO. 2171.01	CLIENT/PROJECT ALL TANCE RES	DAY TUE	DATE 9/26/16
LOCATION/TRACT 27747 FORBES RD	LAGUNA NIGUEL	PROJECT ENG/GEOL DA MS	YARDAGE TODAY
CONTRACTOR ALCO	FOREMAN MATT	WEATHER CLEAR	YARDAGE TO DATE
EQUIPMENT (1) EXCAVATOR (1) MINI EXCAVATOR (1) BACKHOE (1) LOADER (1) ROBCAT			

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN + SEWER LINE TRENCH OPERATIONS. ALCO'S OPERATION IN COURT YARD (13) CONSISTED OF LOADER OPERATOR PROCESSING AS LABORER WITH GARDEN HOSE MOISTURE CONDITIONING THEN FIELD MATERIALS INTO TRENCH IN APPROX 2 FOOT LIFTS AS EXCAVATOR WITH COMPACTION WHEEL COMPACTS. DEPTH OF FILL ABOVE PIPE ZONE 2-4 FEET AT SOUTH END OF TANK (C) MANHOLE WAS CORED AND CONNECTED TO THE TANK. MR. ABDULLAH OBSERVED CONNECTION BUT WANTS SURVEY TO SHOOT ELEVATION + CIVIL TO LOOK AT AND OK CONNECTION PRIOR TO COVERAGE

IN PHASE II EAST OF TANK (D) ALCO STARTING TO DIG FOR SEWER LINE. DEPTH AND LOCATION OF SEWER LINE MAIN TRENCH IS ALSO PART OF IMPORT SAND FOR SHADING OF TANK (D) AND SHADING HAD LOW DENSITY TEST RESULTS WHEN PLACED. PER CONVERSATION WITH MR. ALBUS OF AKA, MR. ALBUS SAID SO THE LATERAL MOVEMENT OF PIPE WILL NOT SHEET REMOVE IMPORT TO APPROX 12" BELOW SPRING LINE AND COMPACT, LABORER MOISTURE CONDITIONED AS NEEDED AS EXCAVATOR COMPACTED. ~~RETEST~~ RETEST TAKEN FOR IMPORT SAND EAST AND WEST SIDE OF TANK (D) ~~BASED ON~~ BASED ON OBSERVATIONS, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.

	ACTIVITY CODE	HOURS
	576.3	2.5
	576.1	2.5
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) <del>_____</del>	
TECHNICIAN (Signature)	RECEIVED BY (Signature)	
DISTRIBUTION	TOTAL	5.0



**ALBUS-KEEFE & ASSOCIATES, INC.**

GEOTECHNICAL CONSULTANTS

<b>MEMO NO.</b>	<b>DAILY FIELD REPORT/MEMO</b>	<b>GRADING</b>
		<b>POST-GRADING</b> <input checked="" type="checkbox"/>

JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY MON	DATE 4/25/16
LOCATION/TRACT 27747 FORBES RD	LAGUNA NIQUEL	PROJECT ENG./GEOL D.A. M.S.	YARDAGE TODAY
CONTRACTOR ALCO	FOREMAN LANCE	WEATHER CLEAR	YARDAGE TO DATE

EQUIPMENT  
 (1) EXCAVATOR (1) BACKHOE (1) MINI EXCAVATOR (1) LOADER (1) ROBCAT

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN TRENCH OPERATIONS. TRENCHING OPERATIONS CONTINUED IN COURTYARD (B) DEPTH OF CUTS RANGE FROM 6' - 3 1/2' FEET. TRENCHING IS CUT IN PREVIOUSLY COMPACTED FILL BOTTOM OF EXCAVATIONS BASED ON PROBING APPEAR TO BE FIRM + UNYIELDING AND SUITABLE FOR IT'S INTENDED USE 3/4" ROCK PLACED AS BEDDING AND PIPE INSTALLED 15" - 10" - 8" HDPE PIPE PLACED CENTER LODGED. MR ABDULLAD ON SITE FOR CITY OF LAGUNA NIQUEL HE OK'D APPROX 75' OF PIPE TO BE SHADED AND COVERED. 3/4" ROCK WAS PLACED TO A MINIMUM OF 12" ABOVE THE PIPE FOR SHADING BASED ON OBSERVATION AND MEASURING OF THE SHADING CONTRACTOR INFORMED HE DID NOT HAVE 12" OF ROCK THERE WAS ONLY ABOUT 6" CONTRACTOR ADDED MORE ROCK AND LAID STORM DRAIN DETECTION TAPE. NATIVE BACKFILL OPERATIONS WILL START TOMORROW

	ACTIVITY CODE	HOURS				
	576.3	3				
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:35%;">TECHNICIAN (Print) FRED SMITH</td> <td style="width:35%;">RECEIVED BY (Print)</td> </tr> <tr> <td style="width:35%;">TECHNICIAN (Signature) <i>[Signature]</i></td> <td style="width:35%;">RECEIVED BY (Signature) <i>[Signature]</i></td> </tr> </table>		TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)	TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>	
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print)					
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>					
DISTRIBUTION	TOTAL	3				



**ALBUS-KEEFE & ASSOCIATES, INC.**  
 GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING
		POST-GRADING <input checked="" type="checkbox"/>

JOB NO. 2176 (01)	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 4/21/16
LOCATION/TRACT 27742 FORBES RD	PROJECT ENG./GEOL LADUNA M. GUEL	YARDAGE TODAY	
CONTRACTOR ALCO	FOREMAN LANCE	WEATHER CLEAR	YARDAGE TO DATE

EQUIPMENT  
 (1) EXCAVATOR w/ COMPACTION WHEEL (1) MENT EXCAVATOR (1) BACKHOE  
 (1) WALKER (1) ROBOCAT

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN TRENCH BACKFILL OPERATIONS. IN PHASE II AT THE NORTH END OF TANK (1) EXCAVATOR SHAVED CONNECTING PIPE TO PUMP STATION. DEPTH OF FILL PLACED AROUND MANHOLE APPROX 5' FILL MATERIALS PLACED IN APPROX 24" LIFTS AND MECHANICALLY COMPACTED BY EXCAVATOR WITH COMPACTION WHEEL. EACH LIFT WAS COMPACTED IN A 360° AROUND. IN COURTYARD (3) TRENCH BACKFILL FOR STORM DRAIN TRENCH BOTTOM ARE OBSERVED AND PROBED. MATERIALS APPEAR TO BE FIRM + UNYIELDING. ± 6" 3/4 ROCK BEDDING, PIPE LAY AND MINIMUM 12" 3/4" ROCK SHADING. FILL PLACED ABOVE PIPE ZONE 3-5 FEET FILL MATERIALS PLACED IN APPROX 18-24 INCH LIFTS AND MECHANICALLY COMPACTED BY BACKHOE WITH COMPACTION WHEEL. LABOR WITH CAPDEN HOSE MOISTURE CONDITIONING MATERIALS AS NEEDED. CONTRACTOR INFORMED OF LOW DENSITY TEST RESULTS. AREA OF CONCERN WAS REWORKED AND RETESTED. CONTRACTOR CHANGED TO PLACING MATERIAL IN APPROX 12-15 INCH LIFTS. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST MATERIALS APPEAR TO BE FIRM + UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.

	ACTIVITY CODE	HOURS
	576.3	4
TECHNICIAN (Print) FRED SMITH		
TECHNICIAN (Signature) <i>[Signature]</i>		
RECEIVED BY (Print)		
RECEIVED BY (Signature) <i>[Signature]</i>		
DISTRIBUTION	TOTAL	4



**ALBUS-KEEFE & ASSOCIATES, INC.**

GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING	<input type="checkbox"/>
		POST-GRADING	<input checked="" type="checkbox"/>

JOB NO. 2176.01	CLIENT/PROJECT ALLSANCE RES	DAY FRI	DATE 5/13/16
LOCATION/TRACT 27942 FORBES RD	PROJECT ENG/GEOL LADINA NIGUEL	WEATHER CLEAR	YARDAGE TODAY
CONTRACTOR ALCO	FOREMAN MATT		YARDAGE TO DATE

EQUIPMENT  
① BACKHOE W/ COMPACTION WHEEL

ON SITE AS REQUESTED FOR OBSERVATION AND TEST SERVICE FOR STORM DRAIN TRENCH BACKFILL OPERATION AT NORTHWEST CORNER OF THE SITE. THE EXPOSE 15" HDPE PIPE WAS SHADED WITH 3/4" ROCK AND DETECTION TAPE LAID PRIOR TO COVERAGE. ON STAND BY WAITING FOR CONTRACTOR TO GET HOSES FOR MOISTURE CONDITIONING. MATERIALS ARE VERY DRY. ONCE OPERATION BEGAN BACKHOE WITH COMPACTION WHEEL PROCESSED AS LABORED MOISTURE CONDITION. LABORER ALSO PICKED ANY TRASH OR DEBRIS VISIBLE BY EYE THEY WERE HAUL AND PLACED IN DUMPSTER TO BE HAULED OFF SITE. MECHANICAL EFFORT APPLIED BY BACKHOE. BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST RESULTS MATERIALS APPEAR TO BE FIRM UNWEEDING MEETING 90% OR GREATER RELATIVE COMPACTION

ALCO IS ALSO FLUSHING AND RUNNING CAMERA THROUGH SEWER SYSTEM

		ACTIVITY CODE	HOURS
		576.3	5.5
STAND BY 2 HRS			
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) Eric Spector		
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>		
DISTRIBUTION		TOTAL	5.5



**ALBUS-KEEFE & ASSOCIATES, INC.**

GEOTECHNICAL CONSULTANTS

MEMO NO.	<b>DAILY FIELD REPORT/MEMO</b>	GRADING	<input type="checkbox"/>
		POST-GRADING	<input checked="" type="checkbox"/>

JOB NO. 2176.01	CLIENT/PROJECT ALLIANCE RES	DAY THUR	DATE 5/12/16
LOCATION/TRACT 27747 FORBES RD	PROJECT ENG./GEOL LAQUANA NICHOL	YARDAGE TODAY	
CONTRACTOR ALCO	FOREMAN MATT	WEATHER CLEAR	YARDAGE TO DATE
EQUIPMENT ① BACK HOE ① WHACKER			

ON SITE AS REQUESTED FOR OBSERVATION AND TESTING SERVICE FOR STORM DRAIN TRENCH BACK FILL OPERATION.

OPERATION TODAY CONSIST OF CONTRACTOR REMOVING APPROX 35 FEET OF SPOILS PUSH IN ALONG SIDE NORTHWEST CORNER OF TANK (C) DATED 2/18/16 WHEN CONTRACTOR WAS BACK FILLING ALONG WESTERN SIDE OF TANK. FOREMAN AT TIME PULLED SHOING PLATE DID NOT HAVE ROOM TO OPERATE. SO HE SAID HE WOULD FIX THIS SECTION LATER.

REMOVAL TO APPROX 35' L X 10' DEEP ALONG SIDE TANK 3/4 ROCK PLACED UP TO SPRING FILL PLACED COMPACTED UP ALONG VERTICAL AS FILL CAME UP ROCK PLACED ALONG SIDE TANK FOR SHADING WHACKER USED TO COMPACT ROCK. ONCE SHADING WAS COMPLETE BACK HOE WITH COMPACTION WHEEL COMPACTED THE UPPER 4'. MATERIALS PLACED IN APPROX 18 INCH LIFTS. MOISTURE CONDITIONED AS NEEDED. UPPER 4-8 INCHES WHEEL ROLLED TO SEAL OFF SURFACE BASED ON OBSERVATION, PROBING AND RANDOM DENSITY TEST INDICATE MATERIALS APPEAR TO BE FIRM UNYIELDING MEETING 90% OR GREATER RELATIVE COMPACTION.

CHRIS WRIGHT ON SITE TO COLLECT SAMPLE OF BASE MATERIAL FOR OFF SITE USE IN CAPE DRIVE AND DELIVERED SAMPLE TO LAB

		ACTIVITY CODE	HOURS
		576.3	8
STANDBY TIME 2 HRS	CHRIS WRIGHT	740	1.5
TECHNICIAN (Print) FRED SMITH	RECEIVED BY (Print) ERIC SPECTOR		
TECHNICIAN (Signature) <i>[Signature]</i>	RECEIVED BY (Signature) <i>[Signature]</i>		
DISTRIBUTION		TOTAL	9.5

Final Grading Release

PERMIT NUMBER G14-15

DATE 4/16/18

TRACT 6081

LOCATION 27742 Forbes Rd - Multi-Family Residential

LOTS APPROVED 1

OWNER Alliance Residential Company

Owner's Address 450 Newport Beach, Ca. 92660

Special requirements \_\_\_\_\_

Grading  
Inspector [Signature]

Grading  
Supervisor \_\_\_\_\_

Final Grading Release

PERMIT NUMBER G14-15

DATE 4/16/18

TRACT 6081

LOCATION 27742 Forbes Rd - Multi-Family Residential

LOTS APPROVED 1

OWNER Alliance Residential Company

Owner's Address 450 Newport Beach, Ca. 92660

Special requirements \_\_\_\_\_

Grading  
Inspector [Signature]

Grading  
Supervisor \_\_\_\_\_





## CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

### GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.  
23241 Arroyo Vista  
Rancho Santa Margarita, CA 92688  
(949) 888-6513 • Fax: (949) 888-1380 • email: info@gmugeo.com

Page 1

REFERENCE NO.: G14-015

DATE: April 2, 2018

PROJECT DESCRIPTION: Rough & Post-Grading Final Reports

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: Paul Hyun Jin Kim, RCE 77214

ENGINEERING GEOLOGIST: None

DOCUMENT REVIEWED: (1) "Response to Geotechnical Review Sheet dated March 21, 2018, Proposed Mixed-Use Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 30, 2018.

REFERENCES: See Pages 2 and 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED  
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED  
 REQUEST ADDITIONAL DATA FOR REVIEW

REVIEWED BY: \_\_\_\_\_

Lisa Bates, PG, CEG 2293  
Associate Engineering Geologist

DISTRIBUTION:

Abdullah Sharif, City of Laguna Niguel (via email)  
Mr. Paul Kim, Albus-Keefe & Associates, Inc. (via email)  
Mr. Mark Wilson, Alliance Residential (via email)



## CITY OF LAGUNA NIGUEL

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### GEOTECHNICAL REVIEW SHEET

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Page 2

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REFERENCE NO.: G14-015

DATE: April 2, 2018

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015; (11) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015; (12) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015; (13) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (14) "Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (15) "Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016; (16) "Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc.,



## CITY OF LAGUNA NIGUEL

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30111 Crown Valley Parkway  
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### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Rancho Santa Margarita, CA 92688  
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Page 3

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REFERENCE NO.: G14-015

DATE: April 2, 2018

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dated January 28, 2016; (17) "Notice of Completion of Rough Grading, Phase 1 Slab-On-Grade Portion of Proposed Residential Building (Clubhouse, Residential Ground Level and Leasing Office Building Pads), Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 11, 2016; (18) "Recommendations for Ground Support of the Proposed Storm Drain Detention Tank "A", Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 17, 2016; (19) "Interim Geotechnical Report of Rough Grading, Residential and Parking Structure Buildings, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated (revised) February 26, 2016; (20) "Notice of Completion of Rough Grading for the Proposed Residential Building and Parking Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 2, 2016; (21) "Interim Geotechnical Report of Rough Grading, Slab-On-Grade Portion of Residential Building – Phase 2, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated April 26, 2016; (22) "Final Geotechnical Report of Rough Grading, Residential and Parking Structure Buildings, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 22, 2018; (23) "Geotechnical Report of On-Site Post-Grading Services, Broadstone Laguna Niguel, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 23, 2018..



**CITY OF LAGUNA NIGUEL**

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**REVIEW SHEET**

Reviewed by:

EEI Geotechnical & Environmental Solutions  
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Rancho Santa Margarita, CA 92688  
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

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REFERENCE NO.: G14-015

DATE: November 13, 2017

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PROJECT DESCRIPTION: Soil Management Final Report

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

ENVIRONMENTAL FIRM: Tetra Tech BAS

THEIR JOB NO.: None

ENGINEER: Marina Grigorova, PE

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DOCUMENT REVIEWED: (1) "Summary Report for Fuel Impacted Soil Removal and Destruction of Groundwater Monitoring Wells, Broadstone Laguna Niguel Development, 27742 Forbes Road, Laguna Niguel, California," prepared by Tetra Tech BAS, dated May 6, 2016.

REFERENCES: See Page 2

**ACTION:**

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED - *See Attached*  
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED  
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel (via email)  
Mr. Mark Wilson, Alliance Residential (via email)



## CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway  
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### REVIEW SHEET

Reviewed by:

EEl Geotechnical & Environmental Solutions  
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Page 2

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REFERENCE NO.: G14-015

DATE: November 13, 2017

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015; (11) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015; (12) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015; (13) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (14) "Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (15) "Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016; (16) "Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure,



**CITY OF LAGUNA NIGUEL**

30111 Crown Valley Parkway  
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**GEOTECHNICAL REVIEW SHEET**

Reviewed by:

GMU GEOTECHNICAL, INC.  
23241 Arroyo Vista  
Rancho Santa Margarita, CA 92688  
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G14-015

DATE: March 1, 2016

PROJECT DESCRIPTION: Rough Grading, Residential and Parking Structure Buildings

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: None

DOCUMENT REVIEWED: "Interim Geotechnical Report of Rough Grading, Residential and Parking Structure Buildings, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated (revised) February 26, 2016.

REFERENCES: See Page 2

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED  
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED - *See Comment*  
 REQUEST ADDITIONAL DATA FOR REVIEW

COMMENT

1. Once the remaining work described on Page 1, Section 1.0 of the report is complete, a final as-graded report should be submitted and approved prior to issuance of occupancy permits.

REVIEWED BY:

Lisa Bates, PG, CEG 2293  
Associate Engineering Geologist

DISTRIBUTION:

Abdullah Sharif, City of Laguna Niguel (via email)  
Mr. David E. Albus, Albus-Keefe & Associates, Inc. (via email)  
Mr. Michael Spira, Albus-Keefe & Associates, Inc. (via email)  
Mr. Michael McCann, Alliance Residential (via email)



## CITY OF LAGUNA NIGUEL

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Laguna Niguel, California 92677  
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### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

---

REFERENCE NO.: G14-015

DATE: March 1, 2016

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015; (11) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015; (12) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015; (13) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (14) "Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (15) "Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016; (16) "Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 28, 2016; (17) "Notice of Completion of Rough Grading, Phase 1 Slab-On-Grade Portion of Proposed Residential Building (Clubhouse, Residential Ground Level and Leasing Office Building Pads), Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 11, 2016; (18) "Recommendations for Ground Support of the Proposed Storm Drain Detention Tank 'A', Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 17, 2016.

**FEE SHEET (PAGE 1 OF 3)**
**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (2) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014.	12/5/14	NOT APPROVED	\$ 1,905.00
(1) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (2) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (3) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015.	4/7/15	NOT APPROVED	\$ 1,492.50
(1) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (2) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015.	7/2/15	CONDITIONAL APPROVAL	\$1,200.00
Same as above, but revised comments	7/9/15	CONDITIONAL APPROVAL	\$ 285.00
"Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.	9/9/15	CONDITIONAL APPROVAL	\$305.00



**FEE SHEET (PAGE 2 OF 3)**
**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
"Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 10, 2015.	9/11/15	CONDITIONAL APPROVAL	\$292.50
(1) "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015. (2) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015. (3) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.	9/22/15	CONDITIONAL APPROVAL	\$ 825.00
(1) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (2) "Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (3) "Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016.	2/2/16	CONDITIONAL APPROVAL	\$517.50



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**FEE SHEET (PAGE 3 OF 3)**

**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
"Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 28, 2016.	2/3/16	CONDITIONAL APPROVAL	\$ 405.00
"Notice of Completion of Rough Grading, Phase I Slab-On-Grade Portion of Proposed Residential Building (Clubhouse, Residential Ground Level and Leasing Office Building Pads), Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 11, 2016.	2/12/16	CONDITIONAL APPROVAL	\$ 292.50
"Recommendations for Ground Support of the Proposed Storm Drain Detention Tank "A", Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 17, 2016.	2/18/16	APPROVED	\$292.50
Site visit and inspection by Assoc. Geologist	2/19/16	---	\$ 450.00
"Interim Geotechnical Report of Rough Grading, Residential and Parking Structure Buildings, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated (revised) February 26, 2016.	3/1/16	CONDITIONAL APPROVAL	\$ 967.50

} entered 3/3/16

**FEE SHEET (PAGE 2 OF 3)**
**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

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(1) “Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015. (2) “Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015. (3) “Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.	9/22/15	CONDITIONAL APPROVAL	\$ 825.00
(1) “Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (2) “Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (3) “Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016.	2/2/16	CONDITIONAL APPROVAL	\$517.50

**FEE SHEET (PAGE 3 OF 3)**
**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

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"Notice of Completion of Rough Grading, Phase 1 Slab-On-Grade Portion of Proposed Residential Building (Clubhouse, Residential Ground Level and Leasing Office Building Pads), Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 11, 2016.	2/12/16	CONDITIONAL APPROVAL	\$ 292.50
"Recommendations for Ground Support of the Proposed Storm Drain Detention Tank "A", Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 17, 2016.	2/18/16	APPROVED	\$292.50
Site visit and inspection by Assoc. Geologist	2/19/16	---	\$ 450.00
"Interim Geotechnical Report of Rough Grading, Residential and Parking Structure Buildings, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated (revised) February 26, 2016.	3/1/16	CONDITIONAL APPROVAL	\$ 967.50

*Entered  
3/3/16*



**CITY OF LAGUNA NIGUEL**

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**GEOTECHNICAL REVIEW SHEET**

Reviewed by:

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(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G14-015

DATE: February 18, 2016

PROJECT DESCRIPTION: Storm Drain Detention Tank "A" Grading

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: None

DOCUMENT REVIEWED: "Recommendations for Ground Support of the Proposed Storm Drain Detention Tank "A", Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 17, 2016.

REFERENCES: See Page 2

**ACTION:**

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED
- REQUEST ADDITIONAL DATA FOR REVIEW

REVIEWED BY:

Lisa Bates, PG, CEG 2293  
Associate Engineering Geologist

DISTRIBUTION:

Abdullah Sharif, City of Laguna Niguel (via email)  
Mr. David E. Albus, Albus-Keefe & Associates, Inc. (via email)  
Mr. Michael Spira, Albus-Keefe & Associates, Inc. (via email)  
Mr. Michael McCann, Alliance Residential (via email)



## CITY OF LAGUNA NIGUEL

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### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Page 2

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REFERENCE NO.: G14-015

DATE: February 18, 2016

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015; (11) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015; (12) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015; (13) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (14) "Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (15) "Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016; (16) "Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 28, 2016; (17) "Notice of Completion of Rough Grading, Phase 1 Slab-On-Grade Portion of Proposed Residential Building (Clubhouse, Residential Ground Level and Leasing Office Building Pads), Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 11, 2016.

**FEE SHEET (PAGE 1 OF 3)**
**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

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(1) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (2) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (3) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015.	4/7/15	NOT APPROVED	\$ 1,492.50
(1) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (2) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015.	7/2/15	CONDITIONAL APPROVAL	\$1,200.00
Same as above, but revised comments	7/9/15	CONDITIONAL APPROVAL	\$ 285.00
"Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.	9/9/15	CONDITIONAL APPROVAL	\$305.00

**FEE SHEET (PAGE 2 OF 3)**

ATTENTION: Abdullah Sharif, City of Laguna Niguel

REFERENCE NO.: G14-015  
 PROJECT ADDRESS: 27742 Forbes Road

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(1) “Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015. (2) “Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015. (3) “Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.	9/22/15	CONDITIONAL APPROVAL	\$ 825.00
(1) “Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (2) “Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (3) “Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016.	2/2/16	CONDITIONAL APPROVAL	\$517.50





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**FEE SHEET (PAGE 3 OF 3)**

**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
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“Recommendations for Ground Support of the Proposed Storm Drain Detention Tank “A”, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated February 17, 2016.	2/18/16	APPROVED	\$292.50

} entered  
2/18/16



**CITY OF LAGUNA NIGUEL**

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**GEOTECHNICAL REVIEW SHEET**

Reviewed by:

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Page 1

REFERENCE NO.: G14-015

DATE: February 12, 2016

PROJECT DESCRIPTION: Residential Buildings Grading (Clubhouse, Residential, Leasing Office)

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: None

DOCUMENT REVIEWED: "Notice of Completion of Rough Grading, Phase 1 Slab-On-Grade Portion of Proposed Residential Building (Clubhouse, Residential Ground Level and Leasing Office Building Pads), Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated February 11, 2016.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED  
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*  
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel (via email)  
Mr. David E. Albus, Albus-Keefe & Associates, Inc. (via email)  
Mr. Michael Spira, Albus-Keefe & Associates, Inc. (via email)  
Mr. Michael McCann, Alliance Residential (via email)



## CITY OF LAGUNA NIGUEL

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### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Page 2

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REFERENCE NO.: G14-015

DATE: February 12, 2016

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#### COMMENT

1. At the completion of all rough grading, a complete rough grade report will be required.

REVIEWED BY: \_\_\_\_\_

Lisa Bates, PG, CEG 2293  
Associate Engineering Geologist



## CITY OF LAGUNA NIGUEL

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Page 3

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REFERENCE NO.: G14-015

DATE: February 12, 2016

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015; (11) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015; (12) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015; (13) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (14) "Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (15) "Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016; (16) "Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 28, 2016.

## FEE SHEET (PAGE 1 OF 3)

**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

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"Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.	9/9/15	CONDITIONAL APPROVAL	\$305.00

**FEE SHEET (PAGE 2 OF 3)**

**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
“Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 10, 2015.	9/11/15	CONDITIONAL APPROVAL	\$292.50
(1)“Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015. (2) “Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015. (3) “Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.	9/22/15	CONDITIONAL APPROVAL	\$ 825.00
(1) “Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (2) “Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (3) “Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016.	2/2/16	CONDITIONAL APPROVAL	\$517.50

**FEE SHEET (PAGE 3 OF 3)**

**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
<p>“Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe &amp; Associates, Inc., dated January 28, 2016.</p>	2/3/16	CONDITIONAL APPROVAL	\$ 405.00
<p>“Notice of Completion of Rough Grading, Phase 1 Slab-On-Grade Portion of Proposed Residential Building (Clubhouse, Residential Ground Level and Leasing Office Building Pads), Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe &amp; Associates, Inc., dated February 11, 2016.</p>	2/12/16	CONDITIONAL APPROVAL	\$ 292.50



**ALBUS-KEEFE & ASSOCIATES, INC**  
GEOTECHNICAL CONSULTANTS

February 11, 2016  
J.N.: 2176.01

Mr. Michael McCann  
Alliance Residential  
450 Newport Center Drive, Suite 550  
Newport Beach, California 92660

**Subject: Notice of Completion of Rough Grading, Phase 1 Slab-On-Grade Portion of Proposed Residential Building (Club House, Residential Ground Level and Leasing Office Building Pads), Laguna Niguel Crossing Site, Laguna Niguel, California.**

**References:** Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California, by Albus-Keefe & Associates, Inc. dated May 15, 2014 (J.N. 2176.00).

Dear Mr. McCann,

This correspondence is intended to notify you that rough grading for the Phase 1 slab-on-grade portion of the proposed residential building was completed on February 10, 2016. The limits of the Phase 1 slab-on-grade portion of the proposed residential building under the purview of this letter are identified on the attached plan, Plate 1. The rough grading work was performed by RC Grading under the observation and testing by *Albus-Keefe & Associates, Inc.* The rough grading work generally involved the removal of the upper 2 feet of existing artificial fill materials and fill placement to achieve the desired pad grades. Retaining wall construction and backfill was also required at the north end of the club house building pad to achieve the desired pad grade. Based on our observation and testing services, the rough grading was performed in substantial conformance with the project plans and specifications, the grading codes of the City of Laguna Niguel, and applicable portions of the referenced geotechnical report. The subject pad areas, as identified on the attached Plate 1, are deemed suitable for its intended use. Recommendations provided in our referenced report dated May 15, 2014 remain applicable to design and construction of the project.

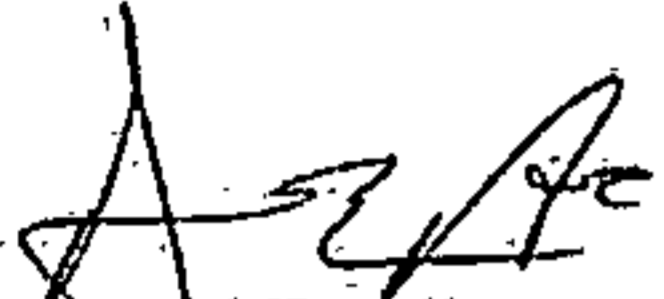
The rough grading work within the purview of this letter has been observed and tested in a manner consistent with the standard of care currently exercised by members of the profession practicing in the same general locality under similar conditions. No warranty of contractor's work is expressed or implied. A report will be prepared that provides results of compaction testing, results of laboratory testing, and other details of our observations for the work discussed herein.

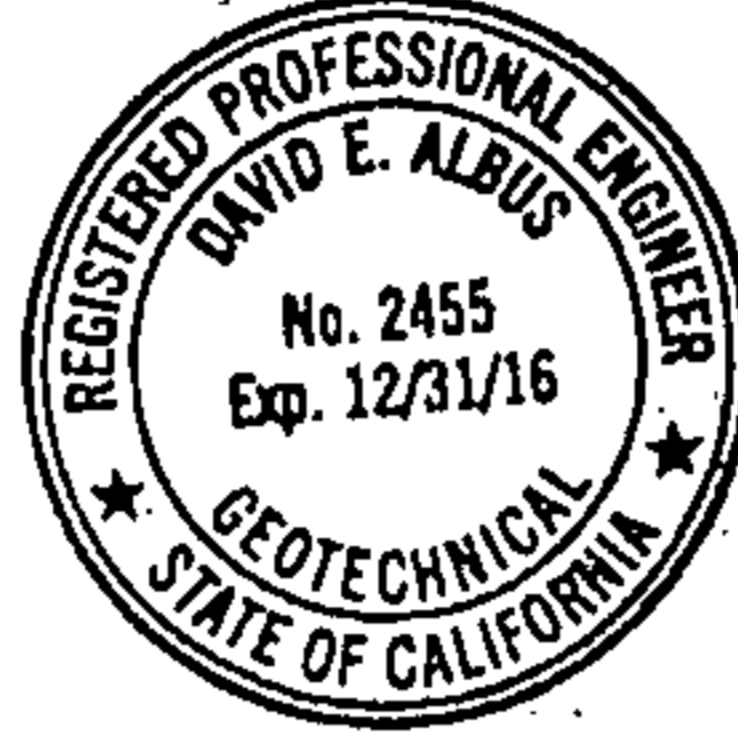


We appreciate this opportunity to be of service to you. If you should have any questions regarding the contents of this report, please do not hesitate to call our office.

Sincerely yours,

*ALBUS-KEEFE & ASSOCIATES, INC.*

  
David E. Albus  
Principal Engineer  
GE 2455



Enclosure:

Plate 1 – Limits of Approval

NOTE: ALL OFFSETS ARE TO  
THE EXCAVATION UNDER ENVELOPE  
2' OFF THE OUTERMOST  
BLDG. FACE

LIMIT OF  
THIS REPORT


LOT 42  
PAD  
CLUB  
HOUSE

1/2 PAINTED  
ON FOOTING

LOT 42 PAD  
RESIDENTIAL  
GROUND LEVEL

LEASING  
OFFICE

Not to Scale



**ALBUS-KEEFE & ASSOCIATES, INC.**  
GEOTECHNICAL CONSULTANTS

LIMITS OF APPROVAL

Job No.: 2176.01    Date: 02/11/16    Plate: 1

**HUNSAKER**  
LAND SURVEYING, INC.  
P.O. BOX 4079 COSTA MESA, CA 92626  
949-263-4843 HUNSAKER.S.COM

**Rough Grading Release** Podium Structure

PERMIT NUMBER G14-15 DATE 2/4/16

TRACT \_\_\_\_\_

LOCATION 27742 Forbes Rd - Alliance Residential

LOTS APPROVED Podium Areas (Podium structure)

OWNER Alliance Residential

Owner's Address \_\_\_\_\_

Special requirements See attached soil letters dated 1/22/16, 2/3/16, Civil Eng & Conditional approval of soil report

Grading Inspector [Signature]

Grading Supervisor dated 2/2/16



## CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

### GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.  
23241 Arroyo Vista  
Rancho Santa Margarita, CA 92688  
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G14-015

DATE: February 2, 2016

PROJECT DESCRIPTION: Proposed Residential Podium Structure Grading – Construction Release

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (2) "Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (3) "Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED  
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*  
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel (via email)  
Mr. David E. Albus, Albus-Keefe & Associates, Inc. (via email)  
Mr. Michael McCann, Alliance Residential (via email)



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Page 2

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REFERENCE NO.: G14-015

DATE: February 2, 2016

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#### COMMENT

1. At the completion of all rough grading, a complete rough grade report will be required.

REVIEWED BY: \_\_\_\_\_

Lisa Bates, PG, CEG 2293  
Associate Engineering Geologist



**CITY OF LAGUNA NIGUEL**

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Page 1

REFERENCE NO.: G14-015

DATE: February 3, 2016

PROJECT DESCRIPTION: Proposed Residential Parking Structure Grading – Construction Release

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: "Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 28, 2016.

REFERENCES: See Page 3

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Page 2

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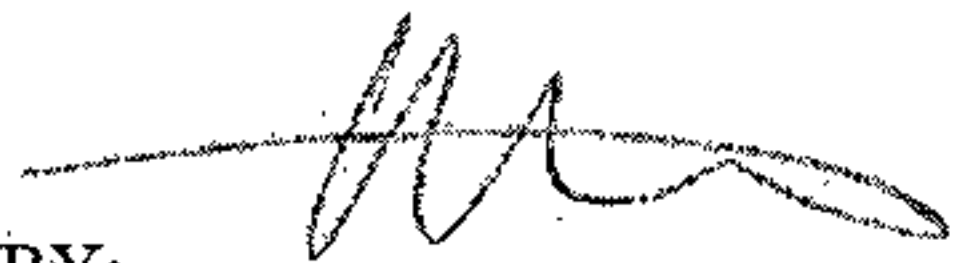
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Associate Engineering Geologist



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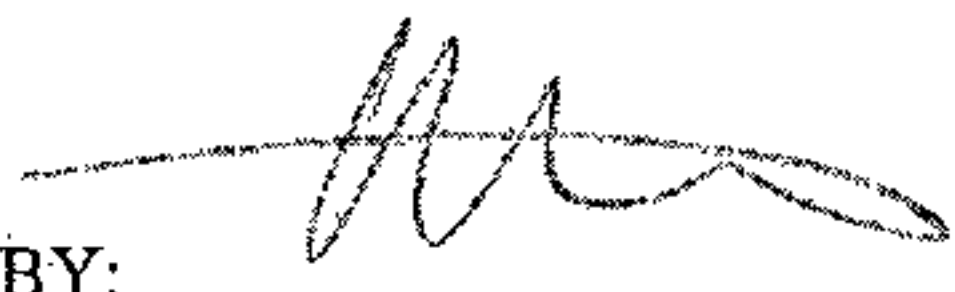
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Page 3

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REFERENCE NO.: G14-015

DATE: February 3, 2016

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015; (11) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015; (12) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015; (13) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (14) "Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (15) "Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016.

## FEE SHEET (PAGE 1 OF 3)

**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (2) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014.	12/5/14	NOT APPROVED	\$ 1,905.00
(1) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (2) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (3) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015.	4/7/15	NOT APPROVED	\$ 1,492.50
(1) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (2) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015.	7/2/15	CONDITIONAL APPROVAL	\$1,200.00
Same as above, but revised comments	7/9/15	CONDITIONAL APPROVAL	\$ 285.00
"Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.	9/9/15	CONDITIONAL APPROVAL	\$305.00

**FEE SHEET (PAGE 2 OF 3)**
**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
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(1) “Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015. (2) “Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015. (3) “Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.	9/22/15	CONDITIONAL APPROVAL	\$ 825.00
(1) “Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (2) “Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (3) “Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016.	2/2/16	CONDITIONAL APPROVAL	\$517.50



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### FEE SHEET (PAGE 3 OF 3)

ATTENTION: Abdullah Sharif, City of Laguna Niguel

REFERENCE NO.: G14-015  
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Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
"Notice of Completion of Rough Grading, Remaining Portions of Proposed Parking Structure, Foundation Grids 5.8-10.5 by G.6-H.5, 11.4-14 by A-D.5, 11.5-14 by D.5-G.6, and 11.4-14 by G.6-L, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 28, 2016.	2/3/16	CONDITIONAL APPROVAL	\$ 405.00

✓  
encl



## CITY OF LAGUNA NIGUEL

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Page 1

REFERENCE NO.: G14-015

DATE: February 2, 2016

PROJECT DESCRIPTION: Proposed Residential Podium Structure Grading – Construction Release

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (2) "Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (3) "Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016.

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DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel (via email)  
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Page 2

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REFERENCE NO.: G14-015

DATE: February 2, 2016

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#### COMMENT

1. At the completion of all rough grading, a complete rough grade report will be required.

REVIEWED BY: \_\_\_\_\_

Lisa Bates, PG, CEG 2293  
Associate Engineering Geologist



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

### GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.  
23241 Arroyo Vista  
Rancho Santa Margarita, CA 92688  
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 3

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REFERENCE NO.: G14-015

DATE: February 2, 2016

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015; (11) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015; (12) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.



## FEE SHEET (PAGE 1 OF 2)

**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (2) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014.	12/5/14	NOT APPROVED	\$ 1,905.00
(1) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (2) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (3) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015.	4/7/15	NOT APPROVED	\$ 1,492.50
(1) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (2) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015.	7/2/15	CONDITIONAL APPROVAL	\$1,200.00
Same as above, but revised comments	7/9/15	CONDITIONAL APPROVAL	\$ 285.00
"Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.	9/9/15	CONDITIONAL APPROVAL	\$305.00

**FEE SHEET (PAGE 2 OF 2)**
**ATTENTION:** Abdullah Sharif, City of Laguna Niguel

**REFERENCE NO.:** G14-015  
**PROJECT ADDRESS:** 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
“Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 10, 2015.	9/11/15	CONDITIONAL APPROVAL	\$292.50
(1) “Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015. (2) “Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015. (3) “Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.	9/22/15	CONDITIONAL APPROVAL	\$ 825.00
(1) “Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 15.2-15.5 by C-D.33, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated September 25, 2015; (2) “Summary Observations of Basement Excavation, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 14, 2016; (3) “Release for Podium Construction, Proposed Residential Structure, Laguna Niguel Crossing Site, Laguna Niguel, California,” prepared by Albus-Keefe & Associates, Inc., dated January 22, 2016.	2/2/16	CONDITIONAL APPROVAL	\$517.50

*Entered*



## CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

### GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.  
23241 Arroyo Vista  
Rancho Santa Margarita, CA 92688  
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G14-015

DATE: September 9, 2015

PROJECT DESCRIPTION: Proposed Parking Structure Partial Rough Grading

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.

REFERENCES: See Page 3

#### ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED  
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*  
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel  
Mr. David E. Albus, Albus-Keefe & Associates, Inc.  
Mr. Michael McCann, Alliance Residential



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
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### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Page 2

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REFERENCE NO.: G14-015

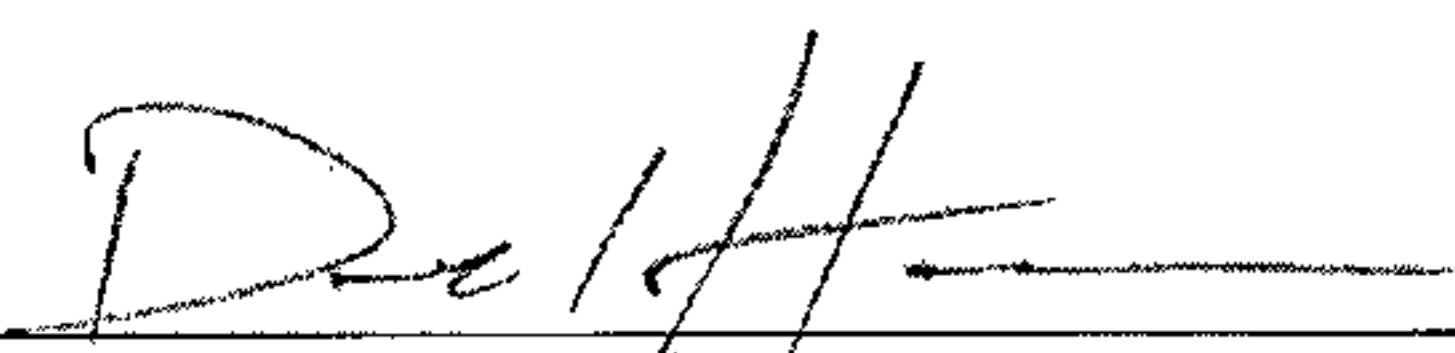
DATE: September 9, 2015

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#### COMMENT

1. If the remaining portions of the parking structure need to be released early, they will also need interim rough grade approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required.

REVIEWED BY: \_\_\_\_\_

  
David Hansen, M.Sc., PE, GE 3056  
Senior Geotechnical Engineer

**Rough Grading Release Foundation Only**

PERMIT NUMBER G14-15

DATE 9/24/15

TRACT \_\_\_\_\_

LOCATION 27742 Forbes Rd.

LOTS APPROVED Foundation Only - See Grids below

OWNER Alliance Residential

Owner's Address \_\_\_\_\_

Special requirements Basement Excavation, Foundation Grids

Level by A-K

Grading  
Inspector [Signature]

Grading  
Supervisor \_\_\_\_\_



**CITY OF LAGUNA NIGUEL**

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Laguna Niguel, California 92677  
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**GEOTECHNICAL REVIEW SHEET**

Reviewed by:

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Rancho Santa Margarita, CA 92688  
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

REFERENCE NO.: G14-015

DATE: September 22, 2015

PROJECT DESCRIPTION: Proposed Residential Structure Partial Basement Excavation

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*
- REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel  
Mr. David E. Albus, Albus-Keefe & Associates, Inc.  
Mr. Michael McCann, Alliance Residential



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
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### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Page 2

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REFERENCE NO.: G14-015

DATE: September 22, 2015

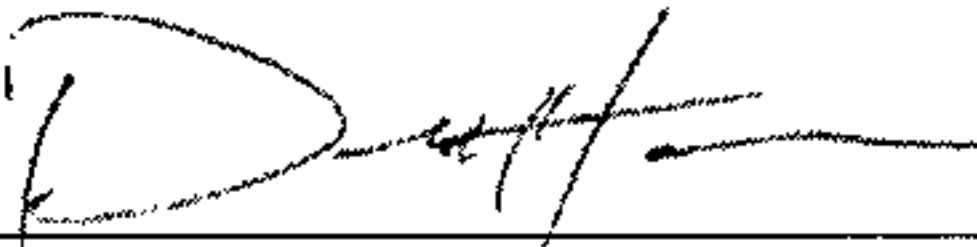
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#### COMMENT

1. If the remaining portions of the residential structure basement need to be released early, they will also need interim approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required.

REVIEWED BY: \_\_\_\_\_

  
David Hansen, M.Sc., PE, GE 3056  
Senior Geotechnical Engineer



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

### GEOTECHNICAL REVIEW SHEET

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Page 3

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REFERENCE NO.: G14-015

DATE: September 22, 2015

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015.



**Rough Grading Release** *Foundation Only*

PERMIT NUMBER G14-15

DATE 9/24/15

TRACT \_\_\_\_\_

LOCATION 27742 Forbes Rd.

~~LOTS~~ APPROVED Foundation only - See Grids below

OWNER Alliance Residential

Owner's Address \_\_\_\_\_

Special requirements Basement excavation within limits of

Foundation Grids 5.1 - 15.5 by B-N

Grading  
Inspector [Signature]

Grading  
Supervisor \_\_\_\_\_



**CITY OF LAGUNA NIGUEL**

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
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**GEOTECHNICAL REVIEW SHEET**

Reviewed by:

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Page 1

REFERENCE NO.: G14-015

DATE: September 22, 2015

PROJECT DESCRIPTION: Proposed Residential Structure Partial Basement Excavation

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) "Interim Report of Observations of Basement Excavation, Within Limits of Foundation Grids 5.1-15.5 by B-N, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED
- CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*
- REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel  
Mr. David E. Albus, Albus-Keefe & Associates, Inc.  
Mr. Michael McCann, Alliance Residential



**CITY OF LAGUNA NIGUEL**

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

**GEOTECHNICAL REVIEW SHEET**

Reviewed by:

GMU GEOTECHNICAL, INC.  
23241 Arroyo Vista  
Rancho Santa Margarita, CA 92688  
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 2

REFERENCE NO.: G14-015

DATE: September 22, 2015

**COMMENT**

1. If the remaining portions of the residential structure basement need to be released early, they will also need interim approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required.

REVIEWED BY: \_\_\_\_\_

David Hansen, M.Sc., PE, GE 3056  
Senior Geotechnical Engineer



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
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### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Page 3

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REFERENCE NO.: G14-015

DATE: September 22, 2015

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015, (11) "Interim Report of Observations of Basement Excavation, Foundation Grids 1-5.1 by A-K, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 2, 2015.

**Rough Grading Release** *Geopiers only*

PERMIT NUMBER G14-15

DATE 9/24/15

TRACT \_\_\_\_\_

LOCATION 27742 Forbes Rd.

LOTS APPROVED For Construction of Geopiers only - See Grids Below

OWNER Alliance Residential

Owner's Address \_\_\_\_\_

Special requirements Portion of parking structure Foundation

Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6

Grading Inspector AS

Grading Supervisor \_\_\_\_\_



## CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

### GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.  
23241 Arroyo Vista  
Rancho Santa Margarita, CA 92688  
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

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REFERENCE NO.: G14-015

DATE: September 22, 2015

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PROJECT DESCRIPTION: Parking Structure Partial Rough Grading – GEOPIER PERMIT ONLY

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

---

DOCUMENT REVIEWED: "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 3.5-5.8 by D.5-L and 5.8-11.5 by D.5-G.6, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 21, 2015.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED  
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*  
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel  
Mr. David E. Albus, Albus-Keefe & Associates, Inc.  
Mr. Michael McCann, Alliance Residential



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
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Page 2

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REFERENCE NO.: G14-015

DATE: September 22, 2015

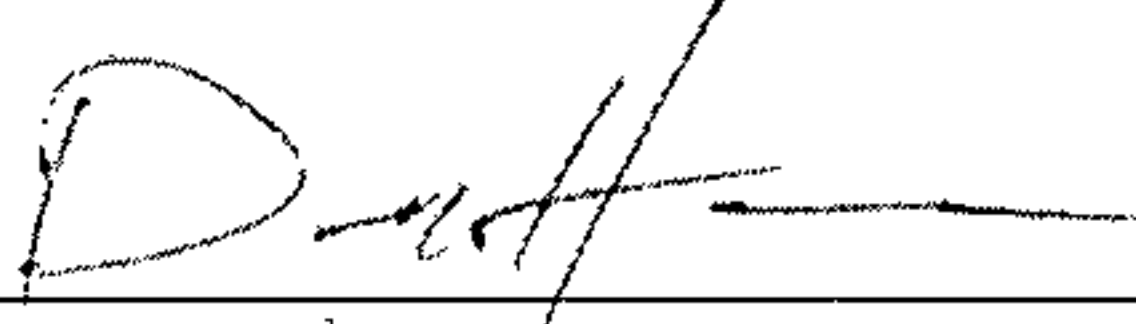
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#### COMMENT

1. If the remaining portions of the parking structure need to be released early, they will also need interim rough grade approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required. As stated in the reviewed letter, the report should include the results of all testing and observation. This report will be required prior to issuance of building permits.

REVIEWED BY: \_\_\_\_\_

  
David Hansen, M.Sc., PE, GE 3056  
Senior Geotechnical Engineer



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
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Page 3

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REFERENCE NO.: G14-015

DATE: September 22, 2015

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015; (11) "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015, (12) Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 10, 2015.



Rough Grading Release *Geopiers only*

PERMIT NUMBER G14-15

DATE 9/11/15

TRACT \_\_\_\_\_

LOCATION 27742 Forbes Rd - Alliance Residential

~~LOTS~~ APPROVED Geopiers Only - See Grids below

OWNER Alliance Residential

Owner's Address 450 Newport Center Dr. Ste 550

Special requirements Grids 1-3.5 by A-L and  
3.5-11.4 by A-D.S

Grading Inspector [Signature]

Grading Supervisor \_\_\_\_\_



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

### GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.  
23241 Arroyo Vista  
Rancho Santa Margarita, CA 92688  
(949) 888-6513 • Fax: (949) 888-1380 • email: info@gmugeo.com

Page 1

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REFERENCE NO.: G14-015

DATE: September 11, 2015

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PROJECT DESCRIPTION: Parking Structure Partial Rough Grading – GEOPIER PERMIT ONLY

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

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DOCUMENT REVIEWED: "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 10, 2015.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED  
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*  
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel  
Mr. David E. Albus, Albus-Keefe & Associates, Inc.  
Mr. Michael McCann, Alliance Residential



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
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### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Page 2

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REFERENCE NO.: G14-015

DATE: September 11, 2015


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#### COMMENT

1. If the remaining portions of the parking structure need to be released early, they will also need interim rough grade approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required. As stated in the reviewed letter, the report should include the results of all testing and observation. This report will be required prior to issuance of building permits.

REVIEWED BY: \_\_\_\_\_

  
Lisa Bates, PG, CEG 2293  
Associate Geologist



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
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Page 3

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REFERENCE NO.: G14-015

DATE: September 11, 2015

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015; (11) "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.



23241 Arroyo Vista  
 Rancho Santa Margarita  
 CA 92688

voice: 949.888.6513  
 fax: 949.888.1380  
 web: www.gmugeo.com

### FEE SHEET

ATTENTION: Abdullah Sharif, City of Laguna Niguel

REFERENCE NO.: G14-015  
 PROJECT ADDRESS: 27742 Forbes Road

Document(s) Reviewed	Date of Review Sheet	Status of Review	Charge
(1) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (2) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014.	12/5/14	NOT APPROVED	\$ 1,905.00
(1) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (2) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (3) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015.	4/7/15	NOT APPROVED	\$ 1,492.50
(1) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (2) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015.	7/2/15	CONDITIONAL APPROVAL	\$1,200.00
Same as above, but revised comments	7/9/15	CONDITIONAL APPROVAL	\$ 285.00
"Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.	9/9/15	CONDITIONAL APPROVAL	\$305.00
"Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 1-3.5 by A-L and 3.5-11.4 by A-D.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 10, 2015.	9/11/15	CONDITIONAL APPROVAL	\$292.50

Rough Grading Release *Geopiers only*

PERMIT NUMBER G14-15

DATE 9/9/15

TRACT \_\_\_\_\_

LOCATION 27742 Forbes Rd - Alliance

~~LOTS~~ APPROVED Geopiers only -

OWNER Alliance Residential Company

Owner's Address 450 Newport Center Dr., Newport Beach, CA

Special requirements Foundation Grids 5.8' - 11.4 by H.S.-1  
and 10.5 - 11.4 by G.6 - H.S.

Grading Inspector *[Signature]*

Grading Supervisor \_\_\_\_\_



## CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

### GEOTECHNICAL REVIEW SHEET

Reviewed by:

GMU GEOTECHNICAL, INC.  
23241 Arroyo Vista  
Rancho Santa Margarita, CA 92688  
(949) 888-6513 · Fax: (949) 888-1380 · email: info@gmugeo.com

Page 1

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REFERENCE NO.: G14-015

DATE: September 9, 2015

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PROJECT DESCRIPTION: Proposed Parking Structure Partial Rough Grading

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.01

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

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DOCUMENTS REVIEWED: (1) "Notice of Completion of Rough Grading, Portion of Proposed Parking Structure, Foundation Grids 5.8-11.4 by H.5-L and 10.5-11.4 by G.6-H.5, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated September 8, 2015.

REFERENCES: See Page 3

ACTION:

- RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED  
 CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED – *See COMMENT.*  
 REQUEST ADDITIONAL DATA FOR REVIEW

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel  
Mr. David E. Albus, Albus-Keefe & Associates, Inc.  
Mr. Michael McCann, Alliance Residential



## CITY OF LAGUNA NIGUEL

---

30111 Crown Valley Parkway  
Laguna Niguel, California 92677  
Phone (949) 362-4300 | Fax (949) 362-4340

### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Page 2

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REFERENCE NO.: G14-015

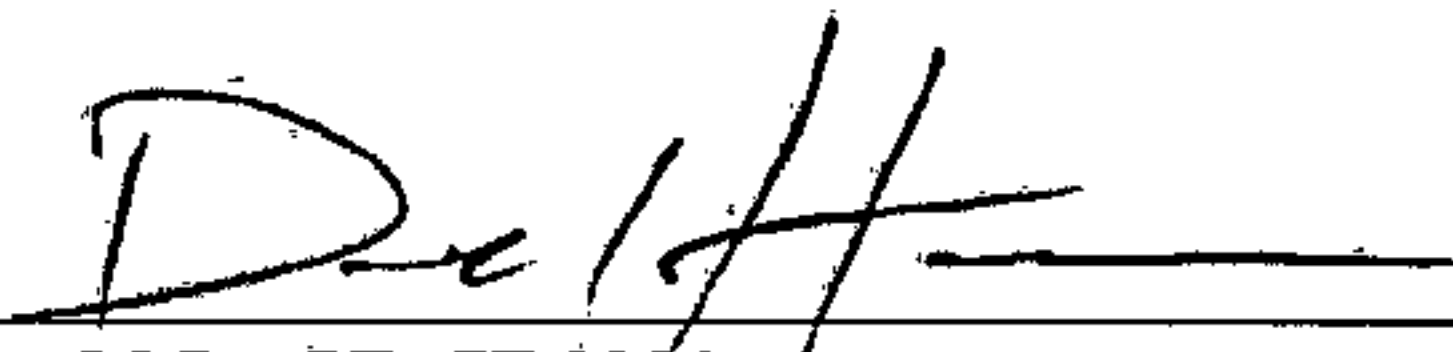
DATE: September 9, 2015

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#### COMMENT

1. If the remaining portions of the parking structure need to be released early, they will also need interim rough grade approval letters. In addition, at the completion of all rough grading, a complete rough grade report will be required.

REVIEWED BY: \_\_\_\_\_

  
David Hansen, M.Sc., PE, GE 3056  
Senior Geotechnical Engineer





## CITY OF LAGUNA NIGUEL

---

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Laguna Niguel, California 92677  
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Reviewed by:

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Page 3

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REFERENCE NO.: G14-015

DATE: September 9, 2015

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015; (9) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (10) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015.



## CITY OF LAGUNA NIGUEL

30111 Crown Valley Parkway  
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### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Page 2

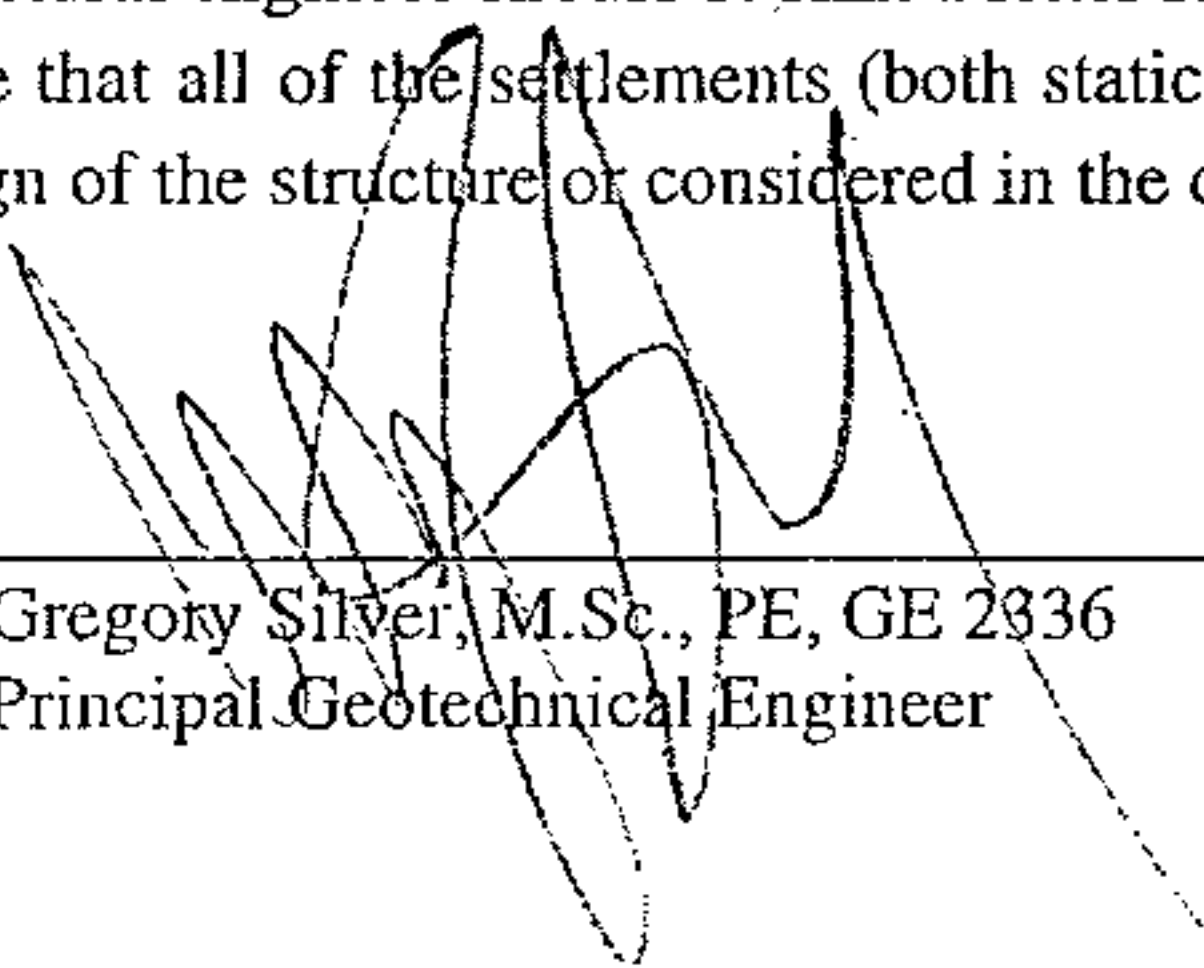
REFERENCE NO.: G14-015


DATE: April 7, 2015

#### COMMENTS

1. Item 7b from the previous review sheet was not addressed ("Please address seismic stability of the channel slope incorporating liquefied residual strengths"). Although the channel slope will essentially be replaced by a retaining wall, please include discussion of the potential for failure below the wall during a seismic event.
2. The following items may be addressed at a later date (i.e., these will be conditions of approval after resolution of Item 1 above):
  - a. The following plans must be reviewed and signed/review stamped by the geotechnical consultant:
    - i. Precise grading;
    - ii. Foundation and structural;
    - iii. Retaining wall;
    - iv. Shoring; and,
    - v. Geopier.
  - b. The structural engineer should submit a letter referencing the reference (1) response letter and state that all of the settlements (both static and seismic) have been incorporated into the design of the structure or considered in the design of the structure.

REVIEWED BY:

  
\_\_\_\_\_  
Gregory Silver, M.Sc., PE, GE 2336  
Principal Geotechnical Engineer

  
\_\_\_\_\_  
Lisa Bates, PG, CEG 2293  
Associate Geologist



## CITY OF LAGUNA NIGUEL

---

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Laguna Niguel, California 92677  
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### GEOTECHNICAL REVIEW SHEET

Reviewed by:

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Page 3

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REFERENCE NO.: G14-015

DATE: April 7, 2015

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014.



## CITY OF LAGUNA NIGUEL

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Page 1

REFERENCE NO.: G14-015

DATE: July 2, 2015

PROJECT DESCRIPTION: Proposed Mixed-Use Development

LOCATION: 27742 Forbes Road

DEVELOPER/OWNER: Alliance Residential

GEOTECHNICAL FIRM: Albus-Keefe & Associates, Inc.

THEIR JOB NO.: 2176.00

GEOTECHNICAL ENGINEER: David E. Albus, GE 2455

ENGINEERING GEOLOGIST: Patrick M. Keefe, CEG 2022

DOCUMENTS REVIEWED: (1) "Response to City of Laguna Niguel's Review Sheet dated April 7, 2015, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 12, 2015; (2) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date July 1, 2015.

REFERENCES: See Page 3

**ACTION:**

RECOMMENDED APPROVAL OF DOCUMENT SUBMITTED

CONDITIONAL APPROVAL OF DOCUMENT SUBMITTED

REQUEST ADDITIONAL DATA FOR REVIEW – See **COMMENTS**.

*Please send responses directly to the City of Laguna Niguel, Attention: Abdullah Sharif.  
GMU Geotechnical can only accept responses forwarded from the City.*

DISTRIBUTION: Abdullah Sharif, City of Laguna Niguel  
Mr. Patrick Keefe, Albus-Keefe & Associates, Inc.  
Mr. Michael McCann, Alliance Residential



## CITY OF LAGUNA NIGUEL

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Page 2

REFERENCE NO.: G14-015

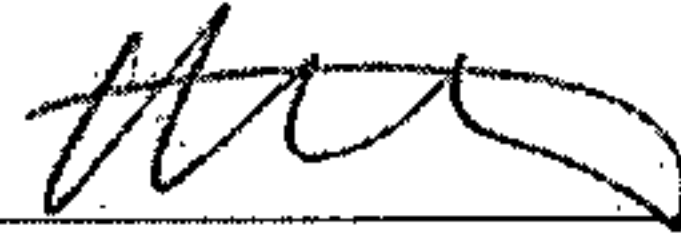
DATE: July 2, 2015

#### COMMENTS

1. The following plans must be reviewed and signed/review stamped by the geotechnical consultant:
  - i. Precise grading;
  - ii. Foundation and structural;
  - iii. Retaining wall;
  - iv. Shoring; and,
  - v. Geopier.
2. The structural engineer should submit a letter referencing the geotechnical documents and state that all of the settlements (both static and seismic) have been incorporated into the design of the structure or considered in the design of the structure.

REVIEWED BY:

  
Gregory Silver, M.Sc., PE, GE 2336  
Principal Geotechnical Engineer

  
Lisa Bates, PG, CEG 2293  
Associate Geologist



## CITY OF LAGUNA NIGUEL

---

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### GEOTECHNICAL REVIEW SHEET

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Page 3

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REFERENCE NO.: G14-015

DATE: July 2, 2015

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REFERENCES: (1) "Preliminary Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Gateway Site, 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated November 16, 2012; (2) "Response to City of Laguna Niguel's Geotechnical Review Sheet dated December 17, 2012 for the Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated January 31, 2013; (3) "Review of Revised Site Development Plans, Proposed Mixed-Use Redevelopment Property Located at 27742 Forbes Road, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated June 14, 2013; (4) "Revised Supplemental Geotechnical Investigation, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated May 15, 2014; (5) Precise Grading and Drainage Plans, Gateway Village, 27742 Forbes Road, prepared by KHR Associates, print date November 17, 2014; (6) "Response to City of Laguna Niguel's Review Sheet dated December 5, 2014, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 12, 2015; (7) "Review of Precise Grading Plans, Proposed Mixed-Use Residential and Commercial Development, Laguna Niguel Crossing Site, Laguna Niguel, California," prepared by Albus-Keefe & Associates, Inc., dated March 13, 2015; (8) Precise Grading and Drainage Plans, Broadstone Laguna Niguel, 27742 Forbes Road, prepared by KHR Associates, print date March 2, 2015.