

CONDITIONALLY
APPROVED

BY:  DATE: 04/03/2023
COMMUNITY DEVELOPMENT DEPARTMENT

SIGN SPECIALISTS CORPORATION

Sign Program for:
Crown Cabot Financial Center
28202 Cabot Rd.
Laguna Niguel, CA 92677

Prepared for:



Birtcher Anderson & Davis Associates
as Agent for Owner



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[illegible]

Purpose and Intent:

The purpose of this Sign Program is to establish uniform criteria for the design, construction, and placement of signs on and around the site for current and future Tenants. The program is designed to provide for signage that is visually integrated and aesthetically sensitive to the surrounding land uses while taking advantage of the building's architecture and proximity to the 73 Toll Road. This Sign Program is in full conformance with the zoning regulation requirements governing signage in the City of Laguna Niguel.

Preparing Sign Plans:

For all Tenant signs, a reputable sign contractor licensed by the State of California is required. This requirement is applicable to all signs approved by this Sign Program.

Approvals:

The design and construction of any exterior Tenant sign requires both the Landlord's and the City's written approval BEFORE fabrication or installation, based upon the following criteria:

1. Conformity to the sign criteria established for the site, including fabrication and method of installation, and the requirements of the City's municipal codes and guidelines. The Landlord and the City shall refuse approval of any sign that does not conform to these standards.
2. Minor exceptions to these criteria will be reviewed on a case-by-case basis by the Landlord and are also subject to the approval by the City of Laguna Niguel. Exceptions will usually only be granted if the proposal would result in a sign design that is better than the one designated consistent with the criteria.
3. Harmony of the proposed sign with the design standards of this Sign Program for any future Tenant of the building.
4. All sign permit requirements of the Building Code of the City of Laguna Niguel.
5. City Planning Department approval, subject to the restrictions applicable to this zone. Where not otherwise addressed or specifically prohibited herein, the City of Laguna Niguel's zoning regulations shall apply.
6. The installing sign company shall provide a photocopy of the final inspection and approval given by the City's Inspector to the Landlord within thirty (30) business days of sign installation.

Submittal Procedure:

Three (3) colored copies of the sign plans shall be submitted first to the Landlord. After receiving the Landlord's approval, the approved set may be filed with the City of Laguna Niguel for a sign permit. All sign plans must include the following:

1. A scaled drawing of each elevation upon which a sign will be erected, showing all dimensions of both the sign and the wall and/or street frontage of the sign location.
2. A plot plan indicating the location of all of proposed signs.
3. Clear call-out and indication of all colors and materials used for the proposed signs. Physical samples may be required at Landlord's discretion.

Submit plans for Landlord approval to:

Birtcher Anderson & Davis Associates
31920 Del Obispo Street, Suite 260
San Juan Capistrano, CA 92675

General Sign Criteria and Restrictions:

General Criteria: Sign area is defined as the entire area within a perimeter defined by a continuous line composed of right angles which enclose the extreme outer limits of lettering, logo or trademarks together with any frame or structural trim forming a part of the display used to differentiate the sign from the background against which it is placed. All paint on aluminum or acrylic shall be Matthew’s satin acrylic polyurethane over proper primer.

Colors and Fonts: The face colors and type styles of all signs shall require separate review and approval by the Landlord and the City, subject to zoning and design standards.

Wall Sign Design: Wall signs shall be consistent with the exhibits to this Sign Program (see Exhibits F & G). Metal “can” signs are not permitted, unless used as a part of the channel letter sign as a logo or trademark and, in such case, shall be similar in size to the letters, and will be counted as a part of the sign in calculating the allowable size of the sign.

Free Standing Sign Design: Free Standing Signs shall be consistent with the exhibits to this Sign Program (see Exhibit H), and shall incorporate like materials, finishes and surfaces, and accents as shown.

Tenant Responsibilities: Tenants shall pay for all signs materials and installation (including final connections, transformers, and labor), ongoing maintenance, and removal of obsolete signs upon termination of their lease. The Tenant's sign contractor must file for and obtain all licenses and permits required by the City of Laguna Niguel.

Repair: All Tenants shall repair any damage to the building caused by the installation, use, or maintenance of their signs. Tenants shall also perform all necessary repairs to maintain their signs in good and safe operating condition.

Performance: Tenants shall be responsible for the performance of their sign contractors.

Obsolete Signs: Tenant shall be responsible for the removal of any obsolete sign within thirty (30) business days after vacating the premises. Removal of the sign shall include repair of the wall back to its original condition.

Proof of Permit: The installing sign contractor shall provide a photocopy of the final inspection as approved by the City's Inspector to the Landlord within thirty (30) business days of sign installation.

Maintenance: Tenant shall be responsible for keeping all signs in good repair. The Landlord shall notify the Tenant in writing of any noncompliance with the terms of this Sign Program. The Tenant must remedy any problems so identified within thirty (30) business days of receiving such notice.

Sign Fabrication and Installation:

Tenants should review these restrictions with their sign contractors prior to proceeding. Any deviations shall require separate review and approval by the Landlord and the City, subject to zoning and design standards. The fabrication and installation of all signs shall be subject to the following restrictions:

Channel Letters: Internally-illuminated letters shall be fabricated with aluminum backs, 5” deep sides, and illuminate with LEDs.

Letter Faces: Illuminated channel letter faces shall be flat surfaced White acrylic with translucent vinyl.

Trim Cap: Retainer trim cap shall be ¾” white or black trim cap or painted to match the letter face.

Letter Returns: Sides of letters are to be white painted to match the building fascia.

Drain Holes: All channel letters shall have at least one (1) 3/16” drain hole at the bottom of each letter. The hole(s) shall be tented to obscure visibility when lit.

Electrical Service: Tenant shall be responsible for providing primary electrical service terminations to the sign area, to be located on the rear side of the fascia.

Labels: No sign company labels will be permitted on the exposed surfaces of any sign, except those required by UL or the City. All tags should be placed in an inconspicuous place.

Other Specifications: No exposed neon, incandescent, or fluorescent lamps are allowed. Underwriters Laboratory (UL) approved housings and labels are required on all letters. All signs shall be fabricated and installed with in accordance with all applicable building, electrical, and sign codes. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition.

Wall Sign Design Criteria and Standards:

1. Only non-corrosive construction materials, including bolts, framing and clips, shall be used on exterior signs to prevent rust staining of architectural surfaces.
2. Conduit, tubing, or lamps, as well as miscellaneous cabinets, conductors, transformers, and other equipment, shall be concealed from public view.
3. All signs shall be individual letters to be located only on the spaces and surfaces specifically provided for same on the building elevations. No other signage is permitted on the exterior of the building.
4. The advertising or information content of any sign shall be limited to letters designating the business name or establishment trade logo. Tenants shall display their established trade names only. No subtitles, phone numbers, website information, or slogans are allowed.

- 5. The face colors and type of all signs shall be subject to Landlord's approval. Signs shall be designed by the sign contractor to reflect a visually exciting look. Established trade logos and colors shall be permitted providing they are architecturally consistent with the building, and compatible with surrounding uses and the criteria described herein.
- 7. A wireway (a low profile aluminum cabinet containing electrical wiring and components mounted between the channel letter/logo and the building fascia) must be used for each wall sign at glass locations to reduce the number of penetrations through the glass panels of the building fascia. Wireway must be painted to match the building fascia.
- 8. The Landlord shall install and maintain individual address numerals.
- 9. Tenant shall not affix or maintain upon any exterior glass or other exterior surface of the business any signs other than those described herein.
- 10.Wall signs shall not be permitted on freestanding exterior walls or fences on the property.
- 11.Any single tenant shall be allowed only one wall sign of any of the types/locations below.

High Rise Wall Signs:

3 out of the 4 locations (front and back) may be permitted/used at any time
These signs are to identify the Major Tenants, and will be located on the topmost fascia of the building. A Major Tenant is defined as a tenant that occupies twenty (20%) or more of the square footage in the building. All High Rise Wall Signs are subject to the following criteria:

Location: High Rise Wall Signs are to be located at the top parapet level of the building. Placement areas are as described in Exhibits A, B, & C of this Sign Program and assigned at Landlord discretion.

Number: There will be a maximum of **three (3)** High Rise Wall Signs for the project with a maximum of one (1) sign per tenant.

Mounting: Letters are to be mounted per the diagrams in Exhibit G with appropriate fasteners as approved by City of Laguna Niguel building code.

Design Criteria and Standards: As specified under Wall Sign Criteria and Standards.

Eyebrow Wall Signs:

No eyebrow wall signs are permitted.

Entry Canopy Wall Signs:

These signs are to identify individual Tenants, and will be located on the curved canopy area above the primary entrances to the building between the ground and second floor. All individual Entry Canopy Wall Signs are subject to the following criteria:

Location: Wall signs shall be confined to the areas of the fascia described in Exhibit D of this Sign Program and assigned at Landlord discretion.

Number: There will be a maximum of two (2) Entry Canopy Wall Signs for the project with a maximum of one (1) sign per tenant.

Mounting: Letters are to be mounted directly to the fascia of the building with appropriate fasteners as approved by City of Laguna Niguel building code.

Design Criteria and Standards: As specified under Wall Sign Criteria and Standards.

Parking Garage Signs:

No parking structure signage is permitted.

Monument Ground Sign:

This sign is to identify the property and tenants to vehicular traffic and shall be designed and fabricated in accordance with the images and designs in Exhibit H of this Sign Program.

Size: The sign shall not exceed four **and a half** feet (4.5') in height or eleven feet (11') in length.

Location: The Monument Ground Sign shall be located in the planter adjacent to the project entrance oon Cabot Road as shown on the Site / Plot Plan of this Sign Program.

Number: The building shall be allowed one (1) Monument Ground Sign.

Design Criteria and Standards:

- 1. Only non-corrosive construction materials, including bolts, framing and clips, shall be used on exterior signs to prevent rust staining of architectural surfaces.
- 2. Conduit, tubing, or lamps, as well as miscellaneous cabinets, conductors, transformers, and other equipment, shall be concealed.
- 3. The design of all signs shall conform to the exhibits shown in this Sign Program.
- 4. The advertising or information content of any sign shall be limited to the name and address of the project and/or tenant names.
- 5. Individual logos are not allowed.

Prohibited Signs:





All signs not specifically permitted by this Sign Program or by City of Laguna Niguel Sign Ordinance shall be prohibited.

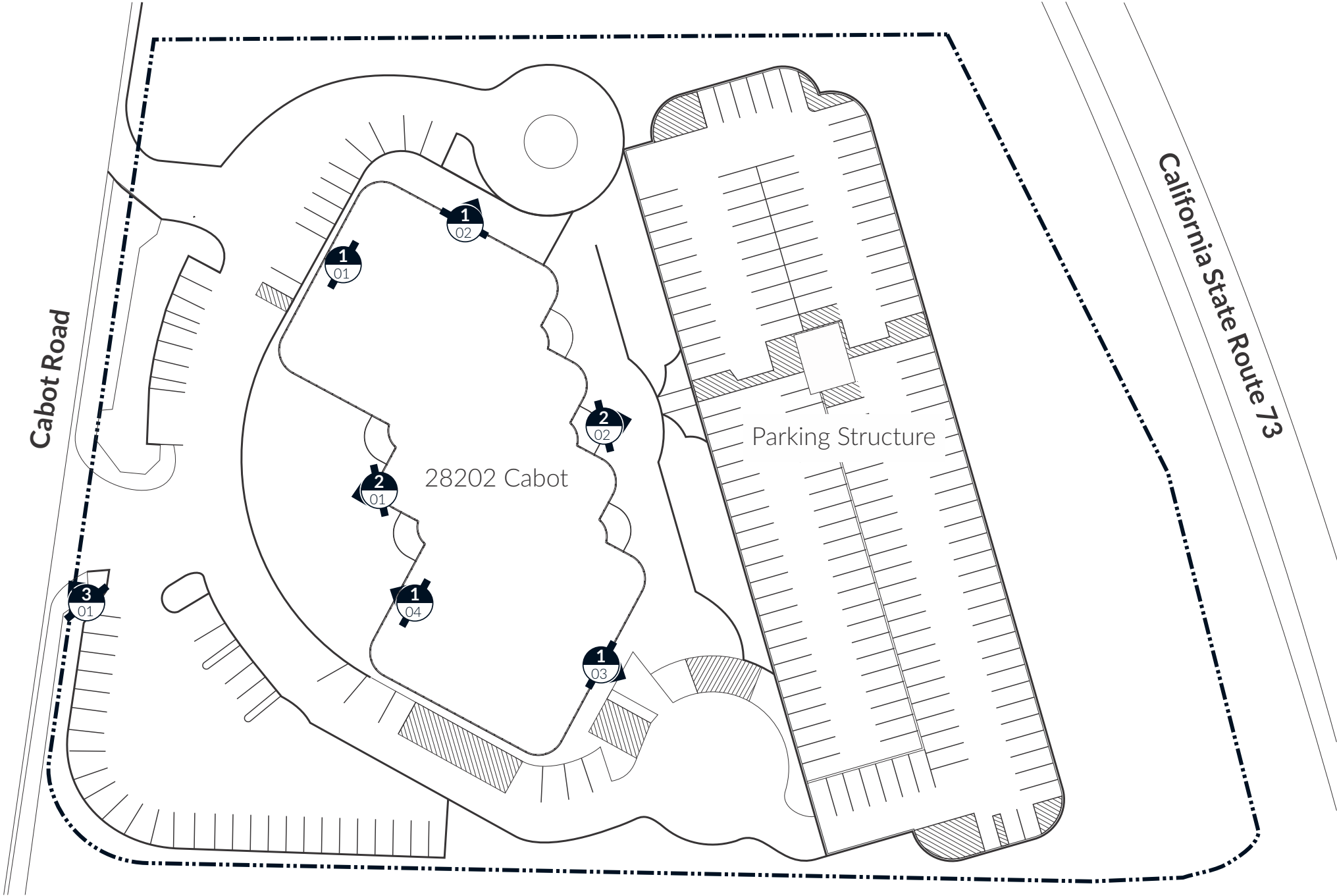
Maintenance:

- 1. All signs shall be maintained in a safe and attractive condition. Damaged signs shall be removed or repaired within seven (7) business days from the date of the damage, absent compelling mitigating circumstances.
- 2. Burned out lighting shall be replaced within seven (7) business days of notification by the City or Landlord.
- 3. Signs defaced by graffiti shall be cleaned within forty-eight (48) hours of after defacement is noted.

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LEGEND

-  High Rise Wall Sign
-  Entry Canopy Wall Sign
-  Monument Sign
-  Property Line



PROJECT: Crown Cabot Financial Center

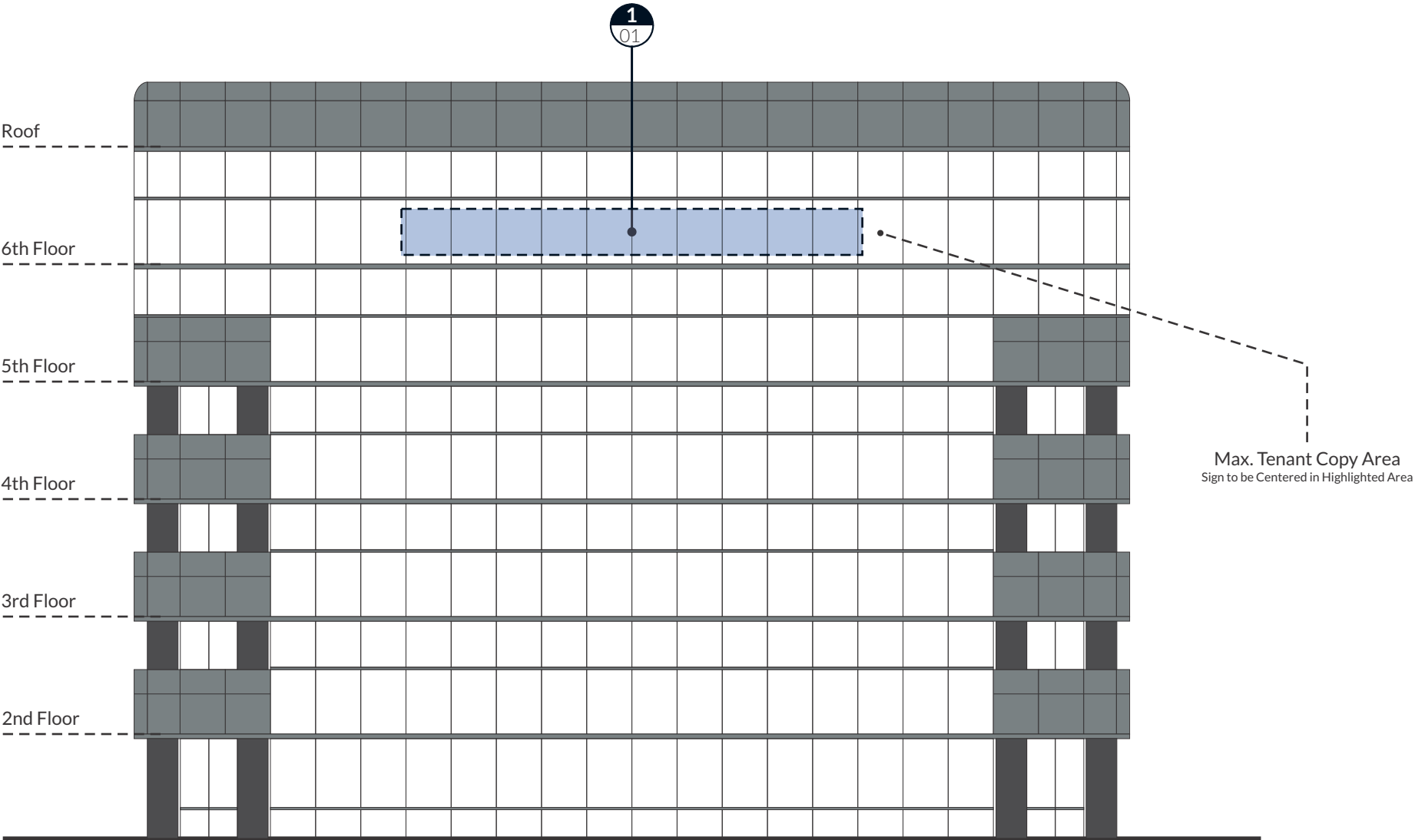
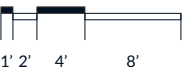
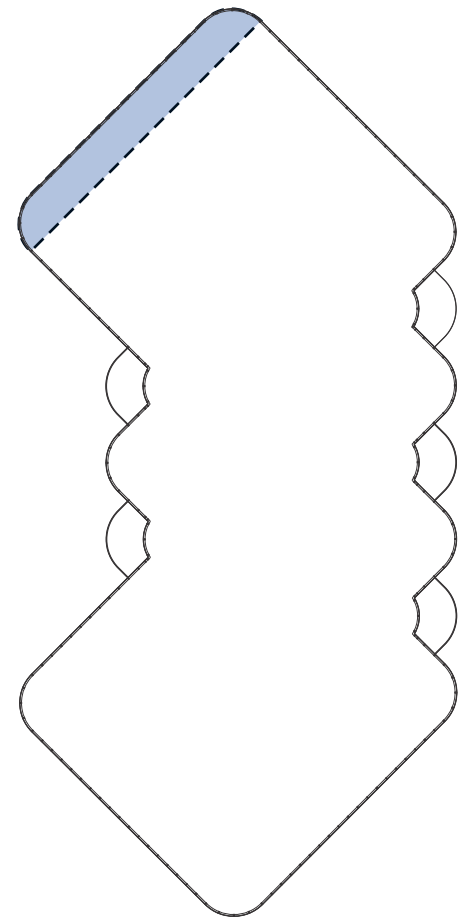
Location: 28202 Cabot Road
Laguna Niguel, CA 92677

Scale: 1/4" = 1'-0"

Designer: Jeff Sherman

Version: 1.0 - 10.25.2021
2.0 - 11.10.2021
3.0 - 11.17.2021
4.0 - 03.08.2022
5.0 - 09.23.2022
6.0 - 09.26.2022
7.0 - 11.11.2022 - DN

*Sizing provided here is based on overall building and sign area dimensions. Tenant leasehold may reduce the size allowed per Laguna Niguel Municipal Code



Location	Width of Sign Area	Height of Sign Area	Maximum Sign Length	Maximum Sign Height	Maximum Area of Sign
1 01	108'-0"	7'-0"	50'-0"	5'-0"	50 sq. ft.

PROJECT: Crown Cabot Financial Center

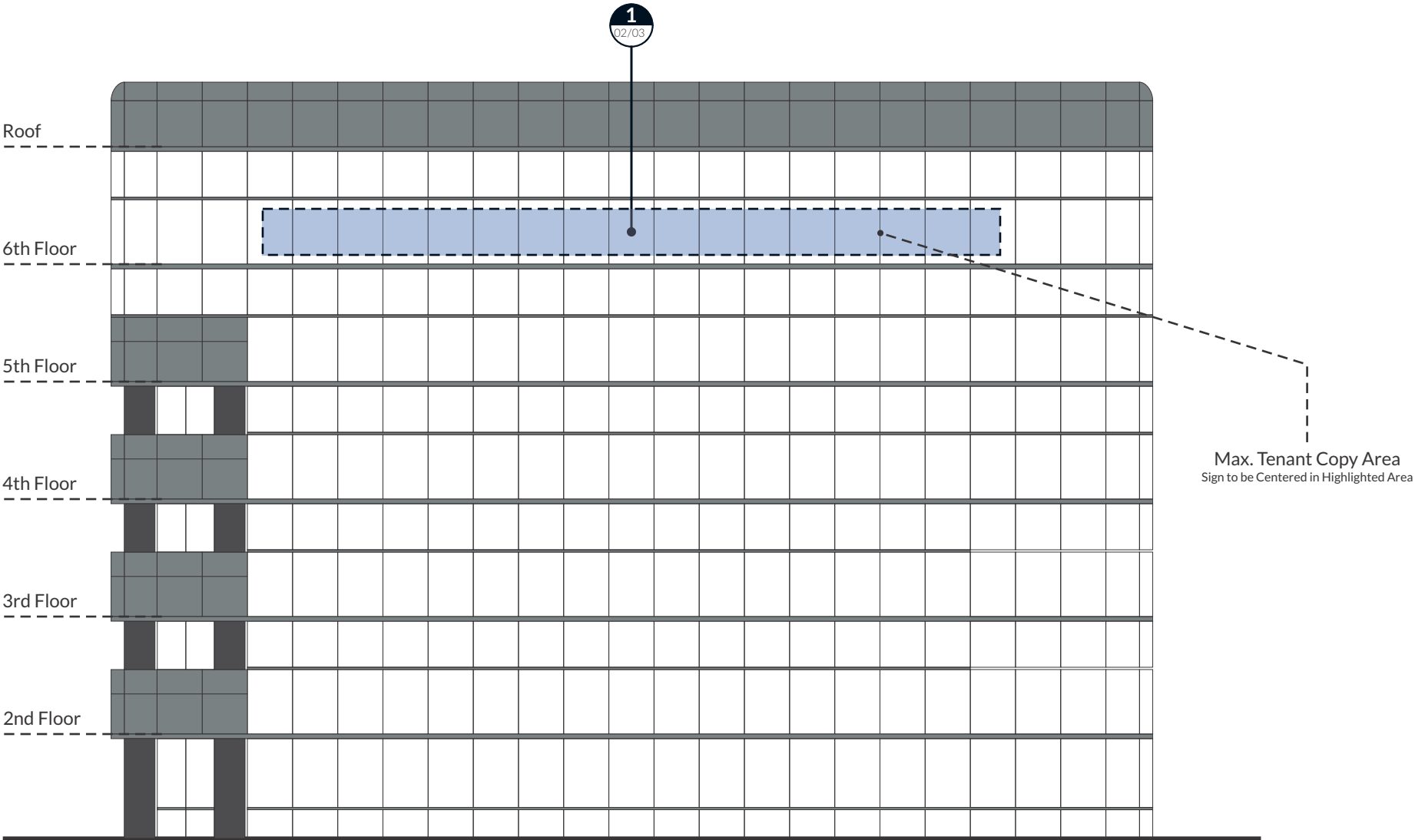
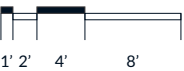
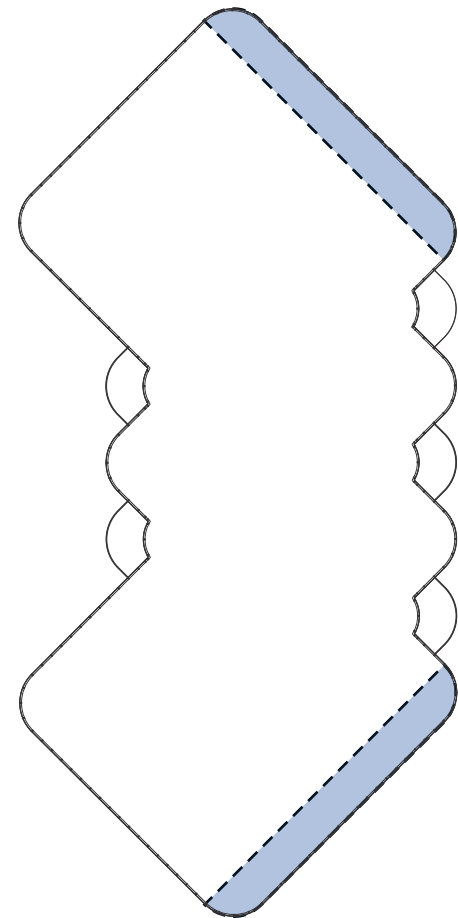
Location: 28202 Cabot Road
Laguna Niguel, CA 92677

Scale: 1/16" = 1'-0"

Designer: Jeff Sherman
Version: 1.0 - 10.25.2021
2.0 - 11.10.2021
3.0 - 11.17.2021
4.0 - 03.08.2022
5.0 - 09.23.2022
6.0 - 09.26.2022
7.0 - 11.11.2022 - DN

EXHIBIT B – TOLL-ROAD FACING ELEVATIONS (TYPICAL)

*Sizing provided here is based on overall building and sign area dimensions. Tenant leasehold may reduce the size allowed per Laguna Niguel Municipal Code



Location	Width of Sign Area	Height of Sign Area	Maximum Sign Length	Maximum Sign Height	Maximum Area of Sign
1 02	113'-0"	7'-0"	80'-0"	5'-0"	150 sq. ft.
1 03	113'-0"	7'-0"	80'-0"	5'-0"	150 sq. ft.

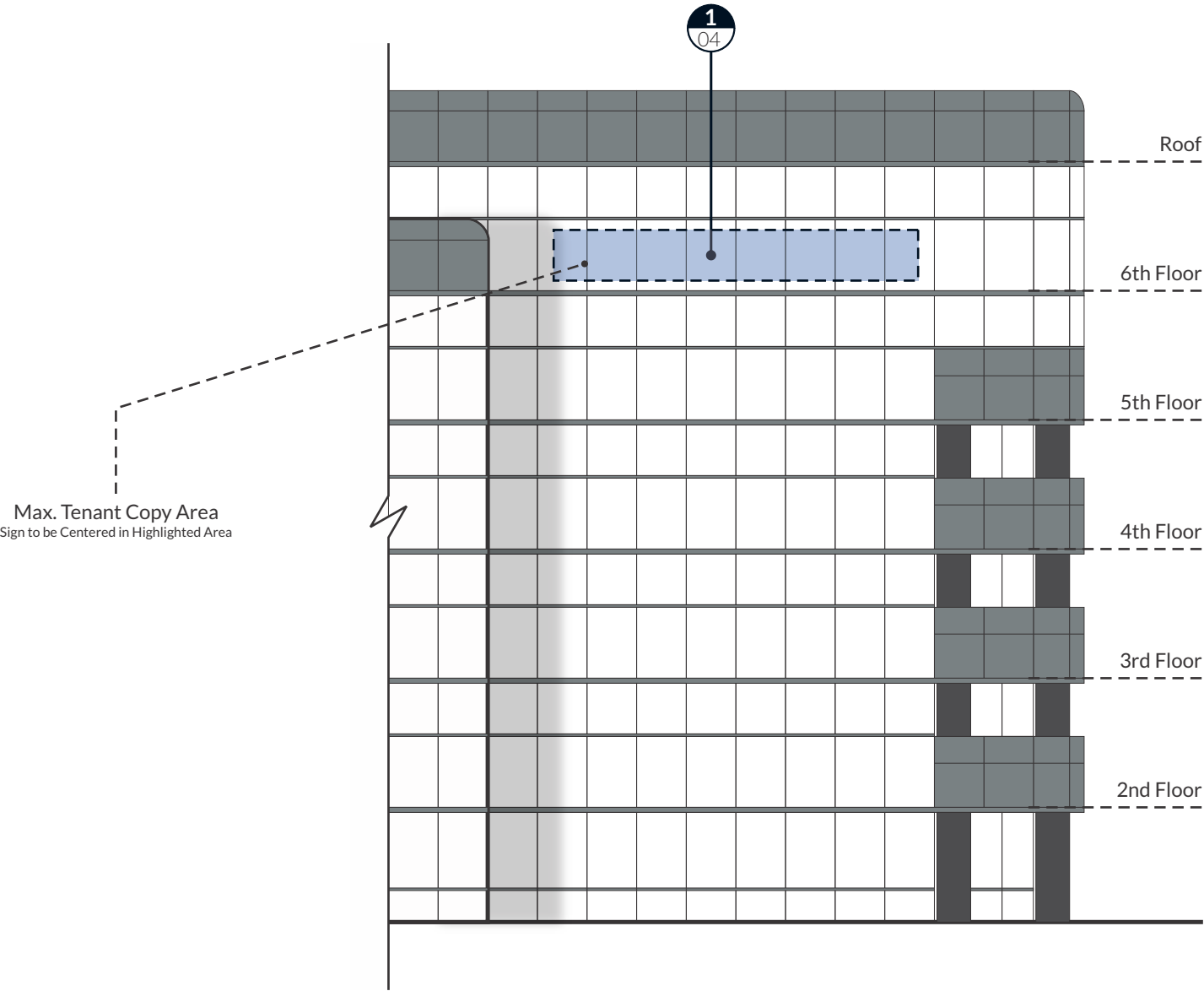
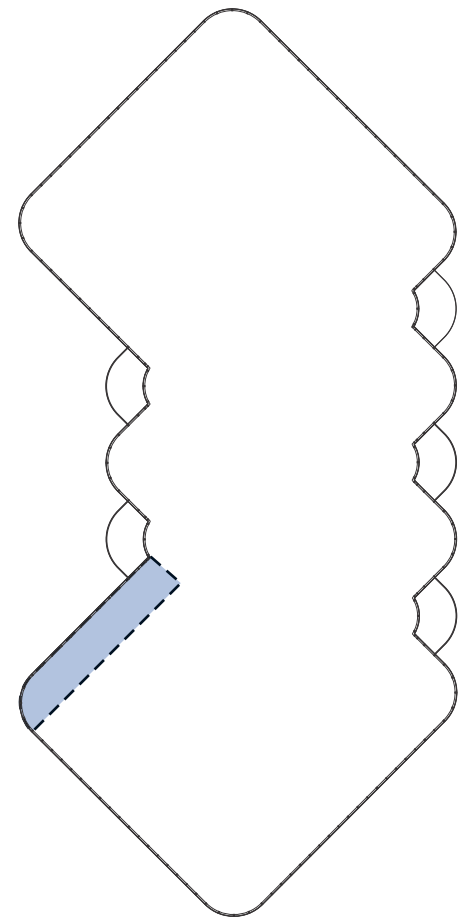
PROJECT: Crown Cabot Financial Center

Location: 28202 Cabot Road
Laguna Niguel, CA 92677

Scale: 1/16" = 1'-0"

Designer: Jeff Sherman
Version: 1.0 - 10.25.2021
2.0 - 11.10.2021
3.0 - 11.17.2021
4.0 - 03.08.2022
5.0 - 09.23.2022
6.0 - 09.26.2022
7.0 - 11.11.2022 - DN

*Sizing provided here is based on overall building and sign area dimensions.
Tenant leasehold may reduce the size allowed per Laguna Niguel Municipal Code



Location	Width of Sign Area	Height of Sign Area	Maximum Sign Length	Maximum Sign Height	Maximum Area of Sign
1 04	69'-0"	7'-0"	36'-0"	5'-0"	50 sq. ft.

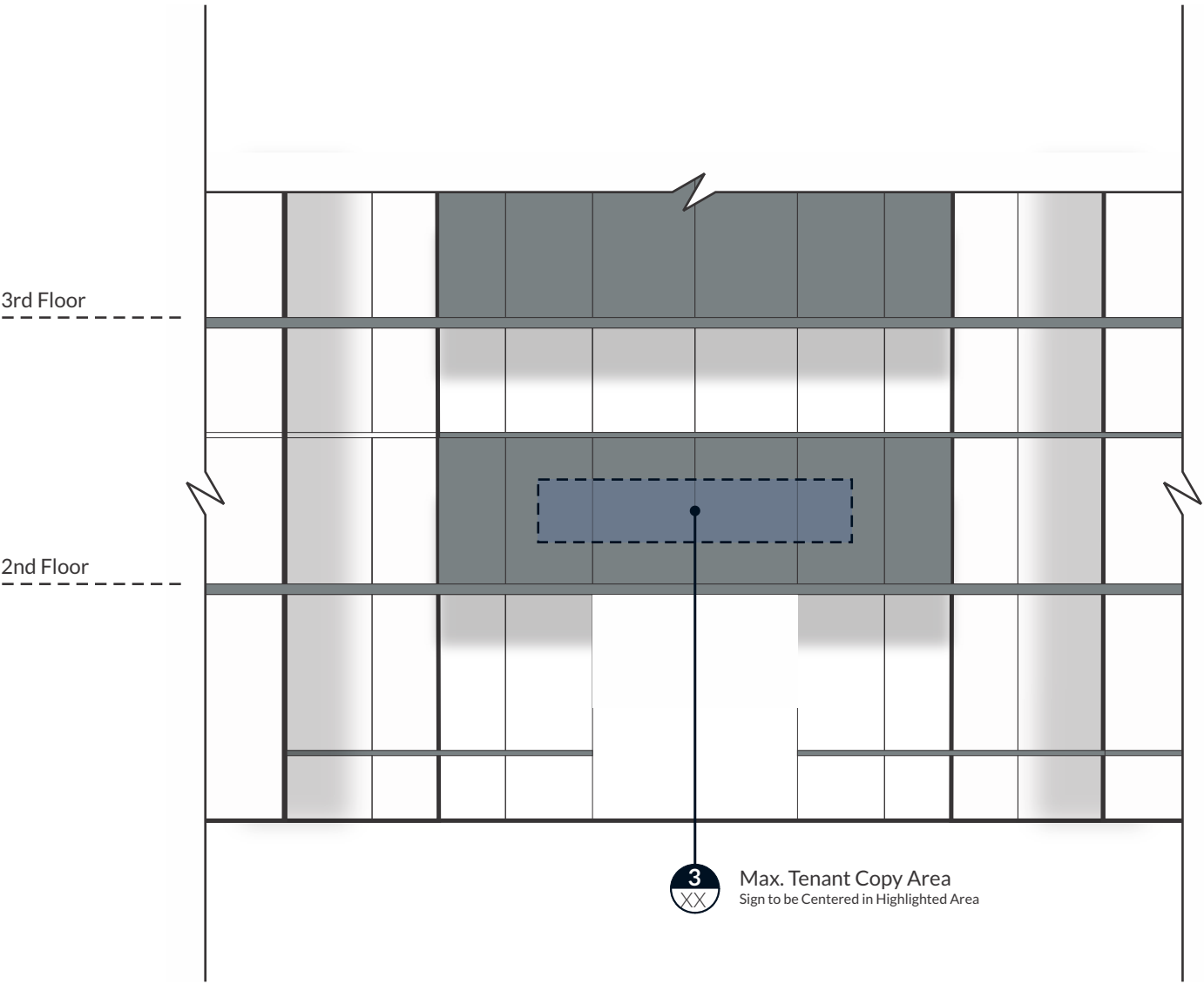
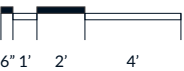
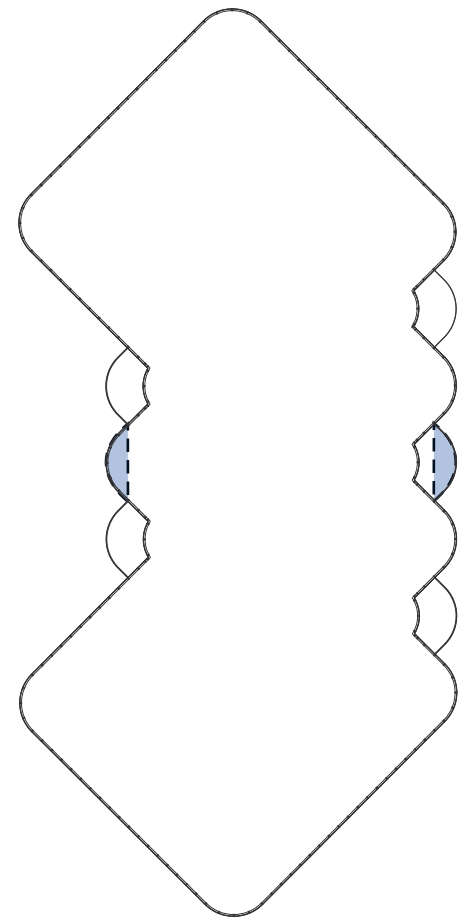
PROJECT: Crown Cabot Financial Center

Location: 28202 Cabot Road
Laguna Niguel, CA 92677

Scale: 1/16" = 1'-0"

Designer: Jeff Sherman
Version: 1.0 - 10.25.2021
2.0 - 11.10.2021
3.0 - 11.17.2021
4.0 - 03.08.2022
5.0 - 09.23.2022
6.0 - 09.26.2022
7.0 - 11.11.2022 - DN

*Sizing provided here is based on overall building and sign area dimensions.
Tenant leasehold may reduce the size allowed per Laguna Niguel Municipal Code



Site Location Photo



Location	Width of Sign Area	Height of Sign Area	Maximum Sign Length	Maximum Sign Height	Maximum Area of Sign
3 01	35'-0"	7'-0"	15'-0"	3'-0"	45 sq. ft.
3 02	35'-0"	7'-0"	15'-0"	3'-0"	45 sq. ft.

PROJECT: Crown Cabot Financial Center

Location: 28202 Cabot Road
Laguna Niguel, CA 92677

Scale: 1/8" = 1'-0"

Designer: Jeff Sherman

Version: 1.0 - 10.25.2021
2.0 - 11.10.2021
3.0 - 11.17.2021
4.0 - 03.08.2022
5.0 - 09.23.2022
6.0 - 09.26.2022
7.0 - 11.11.2022 - DN

- A

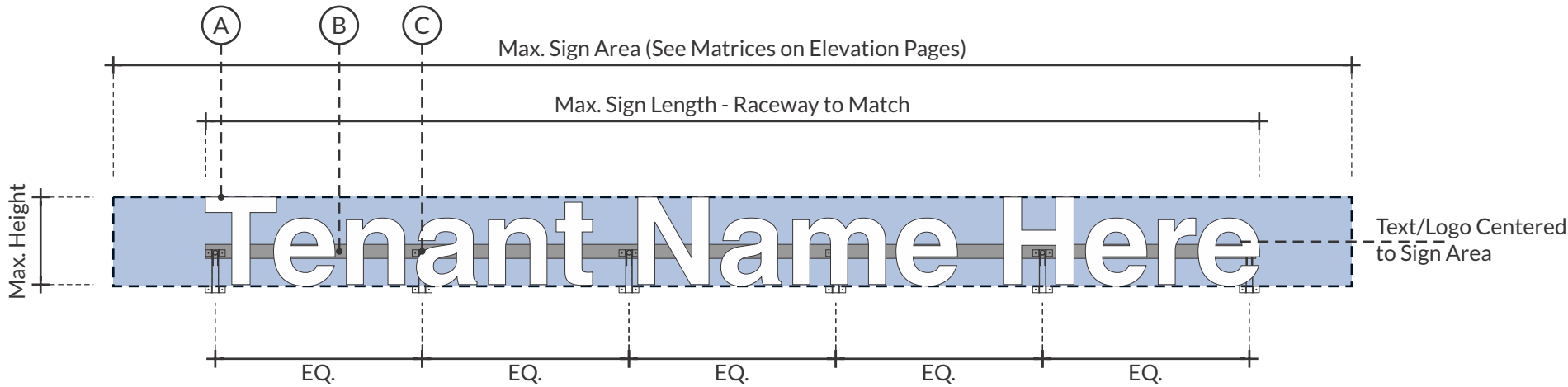
FABRICATION

5" deep internally-illuminated (LED) channel letter. "White" translucent acrylic faces, "Black" trim-cap, and "Gloss Black" returns.
- B

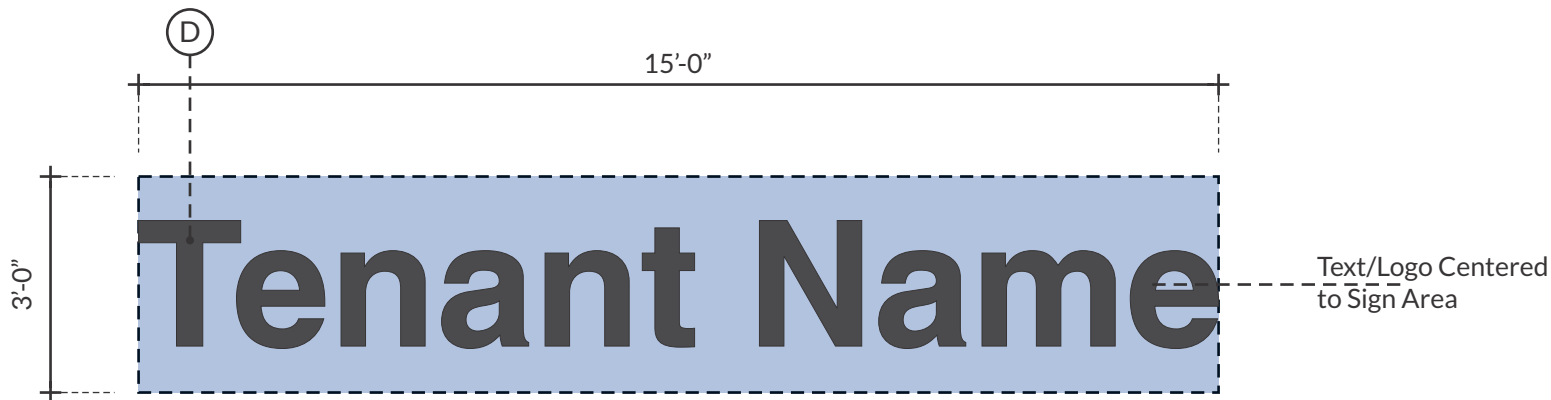
Raceway (see Exhibit G for details), all exposed surfaces painted to match building paint.
- C

Fabricated mounting brackets (min. 2 per sign, max. 8' spacing)
- D

5" deep internally-illuminated (LED) channel letter. "Day/Nite" translucent acrylic faces, "Black" trim-cap, and "Gloss Black" returns.
- *Only registered tenant names or logos may be displayed. In lieu of a registered logo, Helvetica Bold shall be used.



1 High Rise Signs
Elevation View
SCALE
1/8" = 1'-0"

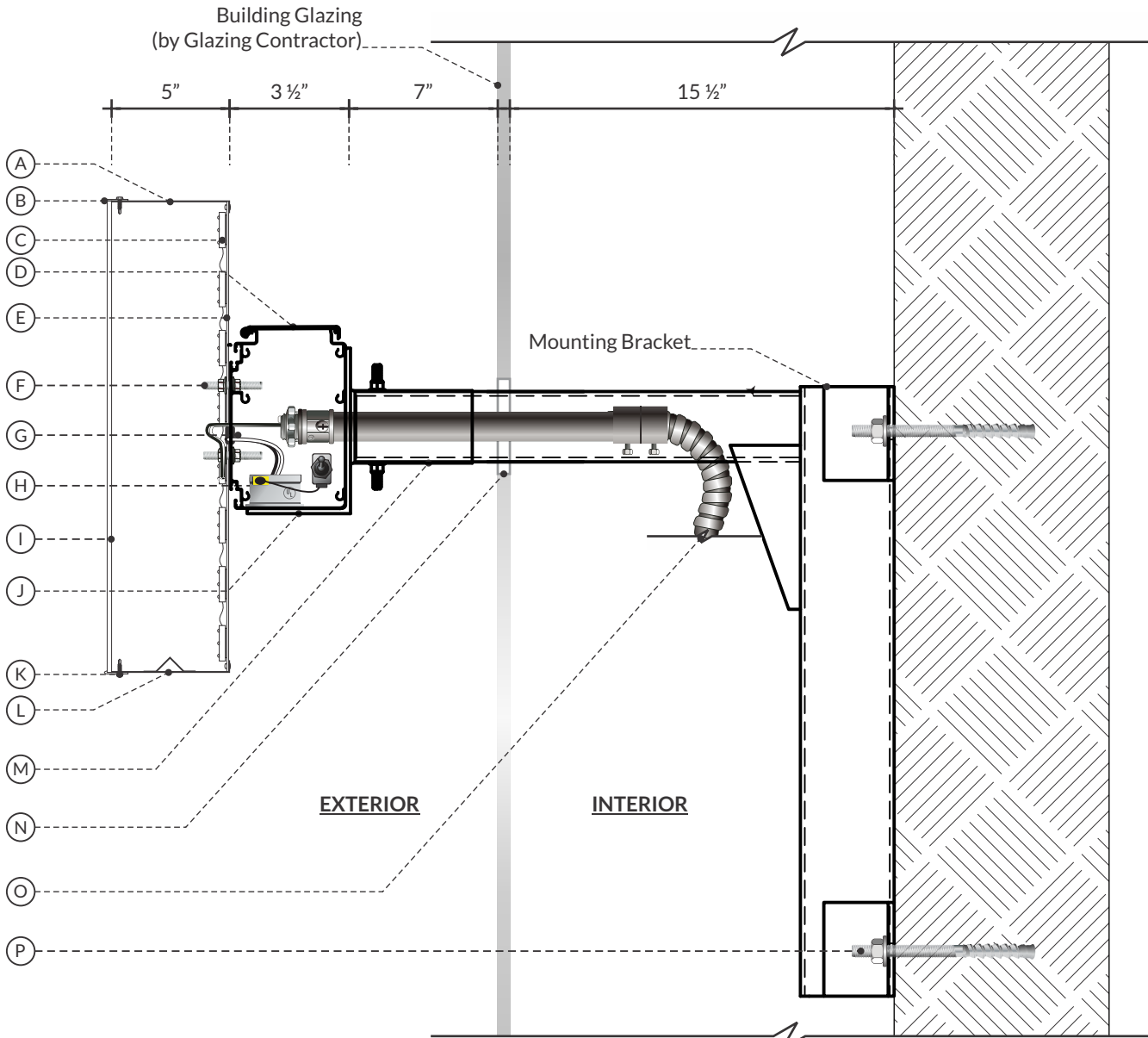


2 Entry Canopy Wall Signs
Elevation View
SCALE
3/8" = 1'-0"

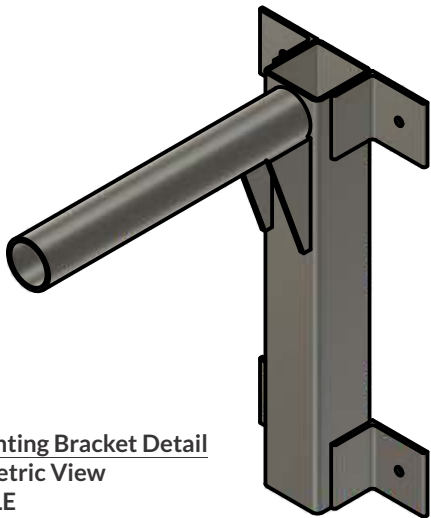
PROJECT:	Crown Cabot Financial Center
Location:	28202 Cabot Road Laguna Niguel, CA 92677
Scale:	As Noted
Designer:	Jeff Sherman
Version:	1.0 - 10.25.2021 2.0 - 11.10.2021 3.0 - 11.17.2021 4.0 - 03.08.2022 5.0 - 09.23.2022 6.0 - 09.26.2022 7.0 - 11.11.2022 - DN

EXHIBIT F – WALL SIGN FABRICATION & MOUNTING DETAIL (TYPICAL)

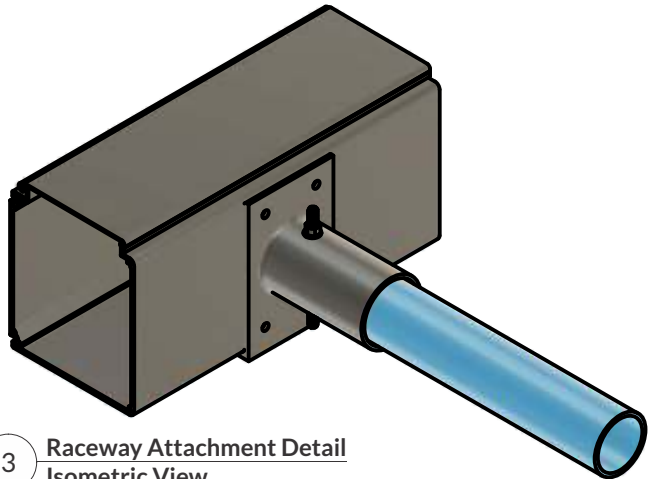
- FABRICATION / INSTALL**
- (A) 5" deep, .040" thick aluminum returns, "Gloss Black/White" Chan-L-Letter coil (or equiv)
 - (B) 1" Trim Cap. Jewelite "Black" (or equiv.)
 - (C) 6500°K White LEDs
 - (D) Removable access panel on top of raceway with countersunk fasteners
 - (E) .063" thick "Polar White" enamel-coated aluminum back
 - (F) 10-24 threaded rod & washers/nuts through sign back and into raceway
 - (G) Secondary feed (Class 2 low voltage) from power supply to letter, through rubber grommet
 - (H) 12v LED driver(s) with service disconnect switch inside raceway. Access panel on end of raceway for service access.
 - (I) 3/16" thick translucent "White" acrylic face
 - (J) ¼" weep holes in bottom of raceway (4 equally spaced)
 - (K) #8 x 1/2" screws (min. 4 per character)
 - (L) Tented weep holes (min. 1 per lowest point(s) per character)
 - (M) L angle bracket and sleeve/receiver
 - (N) Glazing penetration with sealant (by Glazing contractor)
 - (O) Primary electrical to dedicated circuit: AC 100-240V 50/60Hz with astronomical timeclock (by C-10 electrician)
 - (P) ½" x 5" concrete wedge anchors, 3 ½" min. embed depth



1 **Fabrication & Mounting Detail**
Section View
SCALE
N/A



2 **Mounting Bracket Detail**
Isometric View
SCALE
N/A



3 **Raceway Attachment Detail**
Isometric View
SCALE
N/A

Note:
Signs are intended to be installed in accordance with the installation instructions provided with the sign sections and the NEC. Authorities having jurisdiction are responsible for the ultimate decision to approve an installation. All work to comply with current California Building codes and current California Energy Efficiency Standards for sign lighting.

All electrical components UL listed per article 600



Note:
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



PROJECT: Crown Cabot Financial Center

Location: 28202 Cabot Road
Laguna Niguel, CA 92677

Scale: NTS

Designer: Jeff Sherman

Version: 1.0 - 10.25.2021
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6.0 - 09.26.2022
7.0 - 11.11.2022 - DN

- A

20" deep non-illuminated aluminum sign cabinet. All surfaces painted P1.
- B

"Black" cad-cut, surface applied vinyl copy
- C

Bottom-mounted flat-cut-out (FCO) aluminum lettering. All surfaces painted P1.
- D

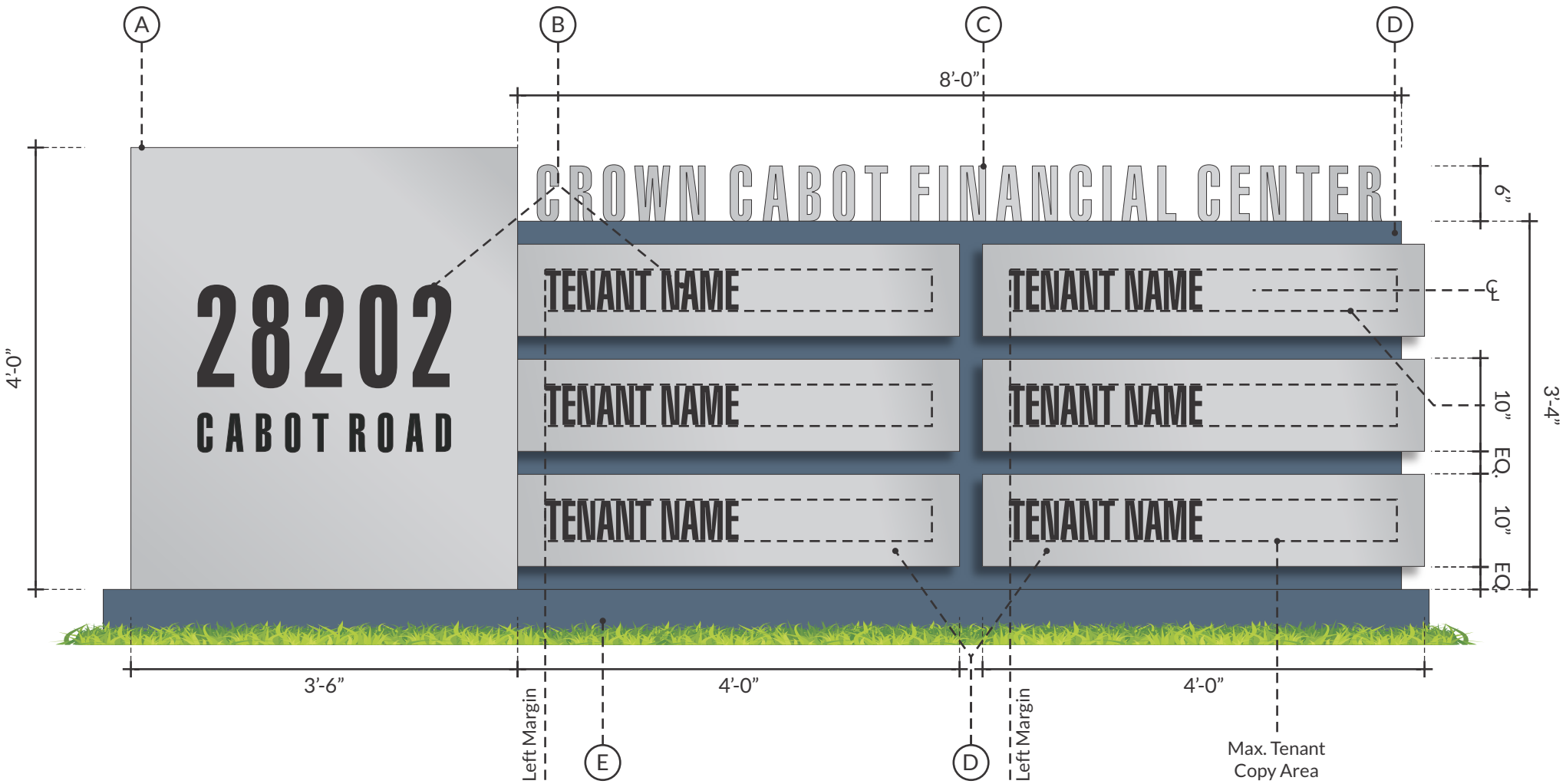
12" deep non-illuminated aluminum sign cabinet. All surfaces painted P2.
- E

1" deep non-illuminated aluminum sign cabinet. All surfaces painted P1.
- F

Concrete footing. Exposed areas above grade painted to match P2.

*Only registered tenant name may be displayed in building-standard typeface shown.

Logos or alternate copy are not allowed.



1 **Fabrication & Mounting Detail**
Section View
SCALE
N/A

MATERIAL/FINISH SCHEDULE

<div>P1</div>	FP342	<div></div>	Matthews Satin Paint "Brushed Aluminum"
<div>P2</div>	TBD	<div></div>	Matthews Satin Paint "Teal"
<div>V1</div>	03	<div></div>	Arlon 2100 Series Opaque Vinyl "Black"

2 **Existing Monument**
Photograph
SCALE
N/A



PROJECT: Crown Cabot Financial Center

Location: 28202 Cabot Road
Laguna Niguel, CA 92677

Scale: As Noted

Designer: Jeff Sherman
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3.0 - 11.17.2021
4.0 - 03.08.2022
5.0 - 09.23.2022
6.0 - 09.26.2022
7.0 - 11.11.2022 - DN