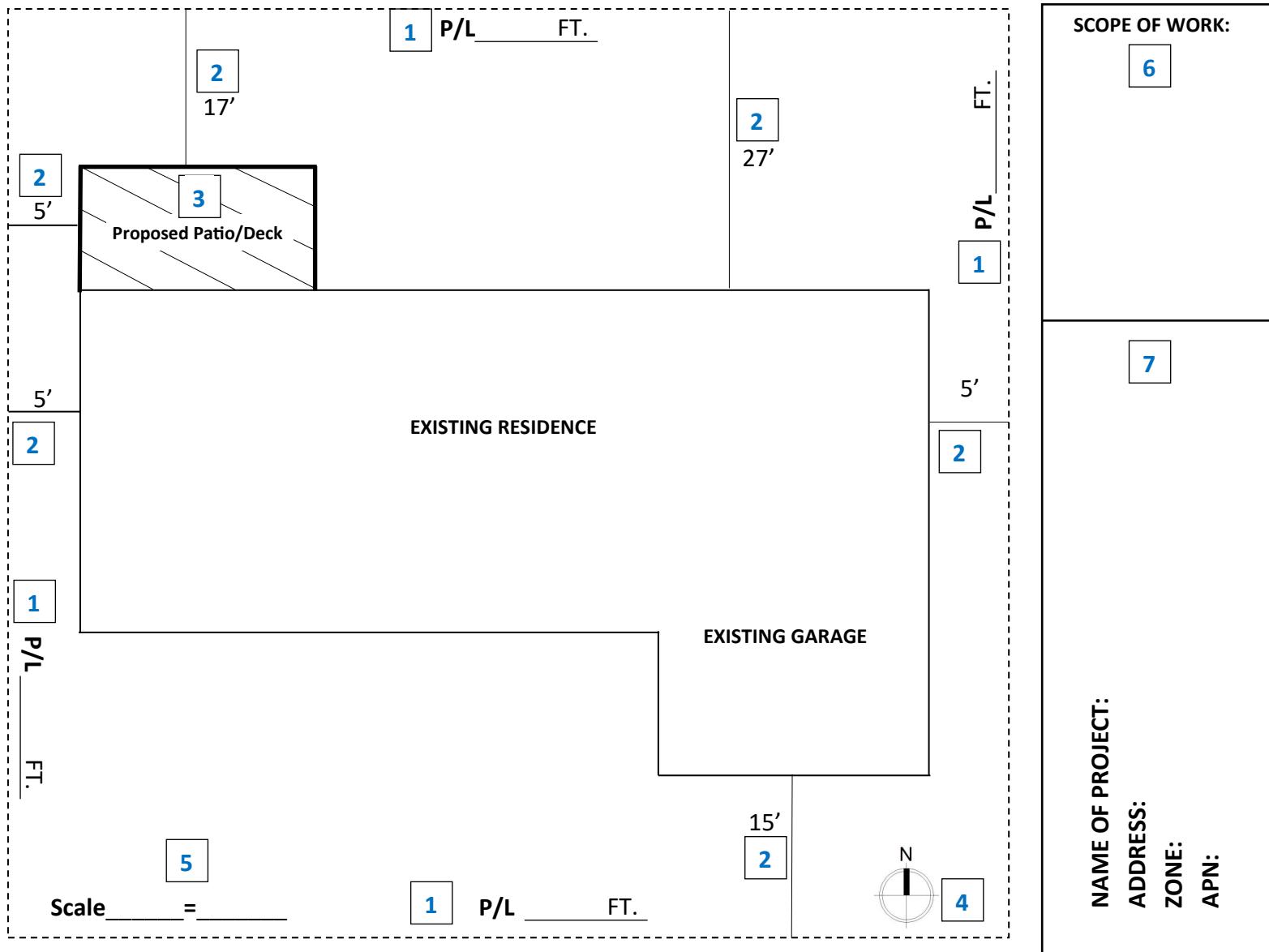




**City of Laguna Niguel
Community Development Department
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Laguna Niguel, CA 92677
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SITE PLAN INSTRUCTIONS - FORM 205



PLOT PLAN CHECKLIST

Review the correlating numbers on the sample plot plan and fill in the appropriate information.

- 1** Accurate shape and dimensions of the entire property.
Include property line dimensions.
- 2** Setbacks from property lines from existing and proposed structure(s).
- 3** Area of proposed work to be done. Include the total area and height of the proposed structure.
- 4** North arrow (pointing up).
- 5** Scale Bar.
- 6** Scope of work. Include details on all areas of proposed work.
- 7** Property information. Include the name of project, property address, zoning designation, and APN.

RESIDENTIAL DEVELOPMENT STANDARDS

Table 3.2 below specify standards for the development of property within residential districts; however, RP district standards marked with an asterisk shall be established by means of an approved precise plan for each project.

TABLE 3.2

DEVELOPMENT STANDARD		DISTRICT						
		RS-1 Rural residential	RS-2 Residential estate	RS-3 Single family	RS-4 Single family	RP Planned residential	RA Attached residential	RM Multi- family
Max. structure height (ft.)	35	35	35	35	35	35	35	35
Min. lot size (sq. ft.)	4 ac	8,000	3,000	3,000	*	2,000	n/a	
Min. front yard setback (ft.)	20	17 ¹	17 ¹	17 ¹	*	17	n/a	
Min. side yard setback (ft.) ²	8	8	5	5	*	0/5 3	n/a	
Min. rear yard setback (ft.)	25	25	15 ⁴	10 ⁴	*	10 ⁴	n/a	
Min. setback from tops and toes of slopes 2:1 or steeper and over 10' high (ft.) ⁵	Main building	10	10	10	10	10	10	10
	>Accessory structures ⁵	3	3	3	3	3	3	3
Min. driveway length (ft.) ⁶	20 ⁶	20 ⁶	20 ⁶	20 ⁶	*	20 ⁶	20 ⁶	
Min. common open area (% of net site area)	n/a	n/a	n/a	n/a	25 ⁷	n/a	25 ⁷	
Min. perimeter setbacks (ft.)	n/a	n/a	n/a	n/a	10/25 ⁸	n/a	10/25 ⁸	

* RP standards shall be as shown on approved precise plan for each project. See appendix A.

¹ For setbacks for side-entry type garages, the front setback may be reduced to 10 feet for the garage portion only, in accordance with Sec. 9-1-35.4 (garages, carports, driveways).

² Min. side setback = 10 feet adjacent to streets.

³ For RA attached dwellings, 0 feet on attached side and 5 feet min. on open side.

⁴ Where a rear yard abuts a street, the rear setback shall be a minimum 20 feet.

⁵ See Sec. 9-1-35.3 for additional development standards for accessory structures.

⁶ Per Sec. 9-1-35.4, driveways for garages/carports must be min. 20 feet in length. See Sec. 9-1-63 (Residential parking requirements) for min. driveway widths.

⁷ In accordance with Sec. 9-1-35.13.

⁸ 10 feet min. at any point; 25 feet min. average over the entire perimeter. Exception: along scenic highways designated in the general plan, 25 feet min. at any point (measured from curbline) per Sec. 9-1-35.13.